

THOMAS FARM COMMUNITY CENTER PERVIOUS PARKING LOT REPLACEMENT

700 FALLSGROVE DRIVE, ROCKVILLE, MD 20850

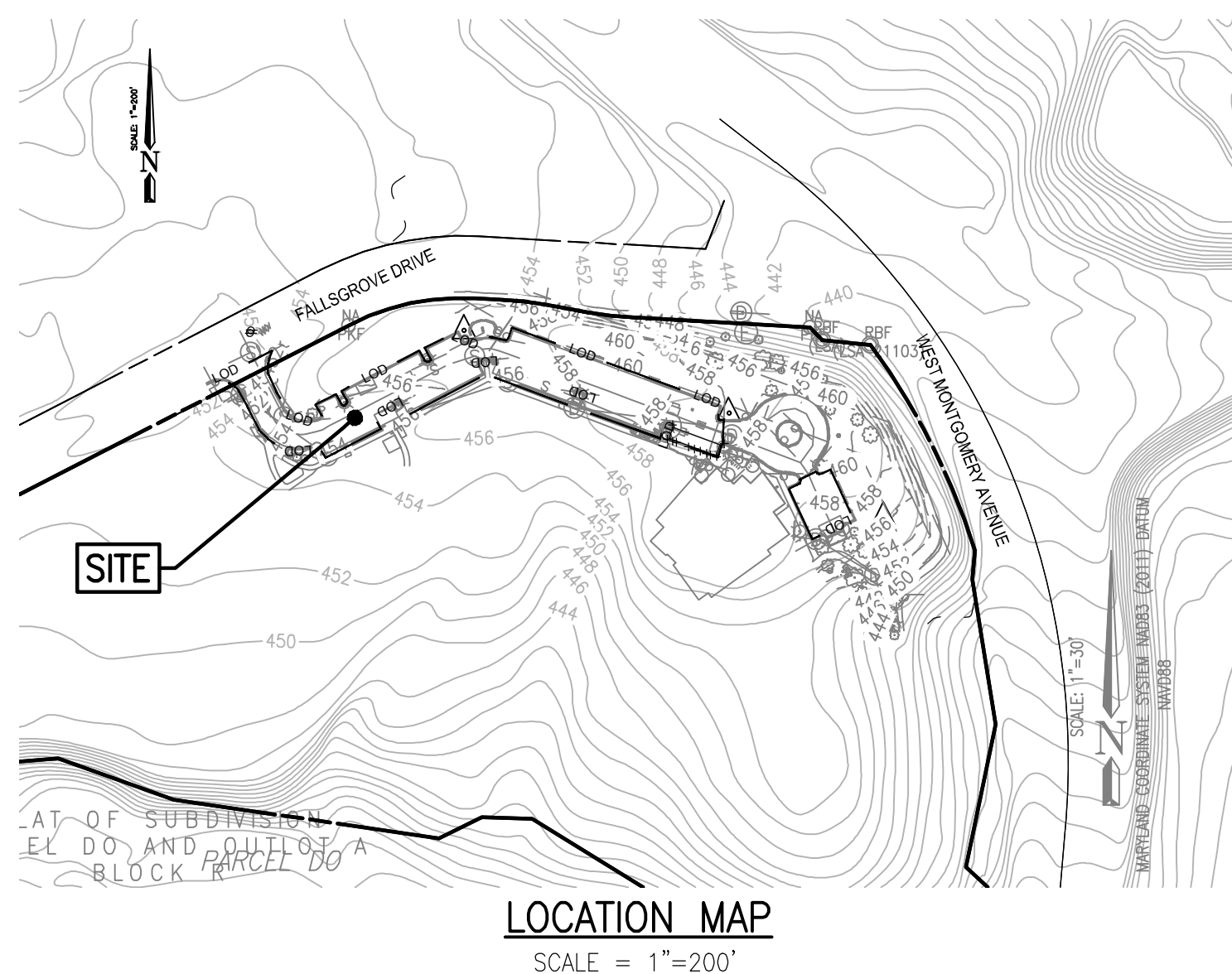
SMP2022-00008

CITY OF ROCKVILLE
MONTGOMERY COUNTY, MARYLAND



VICINITY MAP
SCALE 1"=2,000'
Map 5164, Grid A5
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OVERALL SEQUENCE OF CONSTRUCTION	
GENERAL NOTES:	
A. Comply with the Sediment Control Sequence of Construction located on the Existing Conditions and Demolition Plan.	
B. Changes to the approved plans require written approval from DPW Engineering and may require an approved 'relined' plan revisions before proceeding.	
1.	Contractor shall prepare and submit a proposed phasing, timing, closure sequence and joint layout for the entire project area to the Owner and Engineer for approval at least 30 days prior to any pavement demolition. The proposed phasing must incorporate and address the following concerns, in addition to requirements specified in the Sediment Control Sequence of Construction:
a.	The existing park and community building is to remain open to the public throughout the project. Maintain vehicular and pedestrian traffic at all times.
b.	Only half of the drive aisle width may be closed at any one time in order to maintain vehicular access. Contractor shall provide traffic control per details provided on Traffic Control Details Sheet with the exception of the parking lot located east of the concrete traffic circle.
c.	Phasing of work along the length of the parking lot shall be what the contractor can accomplish in a reasonable amount of time without blocking an excessive number of parking spaces at any one time.
d.	Contractor is responsible for ensuring that the existing stone subbase and/or subgrade is protected from contamination or compaction.
e.	At any point along the length of the parking lot, the sequence of construction across the width of the parking lot must be construction of the up gradient half of drive aisle and adjoining parking bay(s) first, and construction of the down gradient half of drive aisle and adjoining parking bay(s) second, in order to protect newly installed pervious pavement on the down gradient side from contamination.
f.	The Pave Drain system shall be installed in the parking bay(s) and the adjoining half of drive aisle shall be poured against the Pave Drain blocks.
2.	Prior to the start of work, a pre-construction meeting must be held on-site per the Sediment Control Sequence of Construction.
3.	Prior to the start of demolition, a pavement coordination meeting must be held on-site. In attendance must be the Owner, Engineer, Pave Drain Manufacturer Representative, Geotechnical Engineer of Record, General Contractor, and any subcontractors involved with the installation of the Pave Drain or concrete drive aisle. The pavement coordination meeting may occur immediately following the sediment control pre-construction meeting or on a separate day.
4.	Prepare the site per the Sediment Control Sequence of Construction, obtain the necessary approvals from the City Inspectors and then proceed with the project construction in accordance with the Sediment Control Sequence of Construction and the previously approved phasing, timing and closure sequence.



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OVERALL SHEET 1 OF 18

BEFORE BEGINNING CONSTRUCTION
CONTACT
"MISS UTILITY"
WWW.MISSUTILITY.NET
OR
1-800-257-7777
OR 811
AT LEAST 48 HOURS
PRIOR TO EXCAVATION



OWNER/APPLICANT:
CITY OF ROCKVILLE - RECREATION AND PARKS DEPARTMENT
111 MARYLAND AVENUE, ROCKVILLE, MD 20850
EMAIL: MDAZA@ROCKVILLEMD.GOV
PHONE: 240-314-8608

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www.cpja.com • Silver Spring, MD • Gaithersburg, MD • Annapolis, MD • Greenbelt, MD • Frederick, MD • Fairfax, VA

<p>DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 MARYLAND AVE. ROCKVILLE, MARYLAND</p>	<p>DESIGNED BY: SIV DRAFTED BY: ZOL CHECKED BY: SIV SUBMITTED BY: RAB</p>	<p>DESIGN PLAN APPROVAL</p> <p>PWK# _____ SCP# _____ SMP# SMP2022-00008 REVIEWED BY _____</p> <p>DIRECTOR OF PUBLIC WORKS APPROVAL DATE _____</p>	<p>AS BUILT PLAN APPROVAL</p> <p>THOMAS FARM COMMUNITY CENTER PERVIOUS PARKING LOT REPLACEMENT OVERALL COVER SHEET</p> <p>CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE _____</p>	<p>THOMAS FARM COMMUNITY CENTER PARCEL BF, BLOCK R ELECTION DISTRICT NO. 8 CITY OF ROCKVILLE, MARYLAND</p>	<p>DATE SUBMITTED: MARCH, 2022</p>	<p>SCALE 1"=30'</p>	<p>SHEET NO. 1 OF 1</p>	<p>FILE #</p>												
	<p>APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION OF REVISION</th> <th>P.E. INITIAL</th> <th>DATE</th> <th>DPW</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>									NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE					
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GENERAL SITE NOTES:

1. TOPOGRAPHIC SURVEY PERFORMED BY CPJ, DATED DECEMBER, 2020.
2. HORIZONTAL AND VERTICAL CONTROL ESTABLISHED FROM REAL TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) CONTROL POINTS. COORDINATES AND BEARINGS SHOWN HEREON ARE REFERRED TO THE MARYLAND COORDINATE SYSTEM (NAD83/1991). ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM OF 1986 (NAVD86).

BENCH MARK TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	N 521,881.99	E 1,259,402.51	456.27	CENTER OF INLET MANHOLE
2	N 521,798.47	E 1,259,175.04	454.66	CENTER OF INLET MANHOLE

3. CONTOURS AND PLANIMETRICS SHOWN OUTSIDE OF LIMIT OF WORK ARE BASED ON MONTGOMERY COUNTY GIS TOPOGRAPHY.
4. PROPERTY LINES SHOWN ARE BASED ON FIELD SURVEY PERFORMED BY CPJ DATED DECEMBER, 2020.
5. ONLY TREES WITH A 6" DIAMETER OR GREATER THAT ARE WITHIN THE LIMITS OF WORK WERE FIELD LOCATED.
6. FEMA FIRM # 24031C0327D & FIRM #24031C0331D, EFFECTIVE SEPTEMBER 29TH 2006 SHOW THAT THIS PROJECT SITE IS NOT WITHIN FEMA FLOODPLAIN LIMITS.



GENERAL NOTES
November 2016

1. The Applicant is the entity for which the City of Rockville Department of Public Works (DPW) has issued a permit. For DPW projects where a permit is not applicable, the entity for which the City contract is issued shall be considered the Applicant in these notes. The Applicant is responsible for all contractors, agents, subcontractors, or other entities completing work under this permit and/or approved plan.
2. The Applicant must arrange a pre-construction meeting prior to commencing any work. Provide at least 48 hours of notice to the following: City Project Inspector listed in the permit, City Forestry Inspector at 240-314-8713, if required by either a DPW and/or Forestry permit, or DPW Sediment Control Inspector at 240-314-8879, if required by permit.
3. The Applicant must contact Miss Utility at 1-800-257-7777 or #811 or missutility.net so that utilities are marked prior to holding any pre-construction meeting. Contact at City Utilities at 240-314-8420 & Transco Gas at 443-645-4776.
4. Information concerning existing underground utilities was obtained from available records. The Contractor must determine the exact location and elevation of existing utilities by digging test pits at the utility crossings well in advance of trenching. If clearance is less than shown on this plan, contact the Professional Engineer who stamped the design plans before proceeding with construction.
5. Maintain a minimum one-foot vertical clearance between all City utilities crossing any other utility. Unless otherwise noted, maintain a five-foot horizontal clearance with between a City utility with any other utility or structure. The only exception is that there shall be a ten-foot horizontal clearance between City water and sewer mains.
6. At the end of each day, all trenches shall be backfilled, all equipment secured, and the area left in a safe condition. Steel plates are allowed to remain no longer than seven days. Plates are to be notched (recessed) and pinned to the roadway. Plates must be large enough to allow a minimum of one-foot bearing on all four sides of the pavement surrounding the excavation. The steel plate requirements only apply to public streets.
7. The public road utility patch shall be in accordance with City Standard Detail #60, or as shown on the plans. All trenches in public streets shall be filled with compacted Graded Aggregate Base (GAB) from below the pavement to the top of the pipe embedment zone or to a depth of five-feet, whichever is less.
8. R&P normal working hours are Monday through Friday, except holidays, from 7 a.m. to 5 p.m. The City observes the following holidays: New Year's Day, Martin Luther King's Birthday, President's Day, Memorial Day, Independence Day, Labor Day, Veterans' Day, Thanksgiving Day, Thanksgiving Friday, and Christmas Day, and all days of general and congressional elections throughout the State. The Contractor will not be permitted to close lanes or do any work that requires the services of the City forces, outside of the normal working hours, unless listed in the permit or authorized by DPW in writing. However, the Contractor, with verbal permission of R&P, may be permitted to work outside of the normal work hours for clean-up activities or other such items that do not adversely impact traffic, residents or City services.
9. Traffic must be maintained on all roadways within the construction area as directed by DPW. No lane closure shall be permitted between 7:00-9:00 A.M. or 3:30-6:00 P.M. Monday through Friday. An exception is that lane closures are permitted on secondary residential streets at any time during normal working hours. Deployment and design of all traffic control devices shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). If required, traffic control plans shall be reviewed and approved by the Chief of the Traffic and Transportation Division. DPW may suspend lane closure or other traffic controls at any time during, or in advance of, inclement weather events.
10. Sheeting and shoring is the total responsibility of the Applicant. A Professional Engineer licensed in the State of Maryland shall seal these drawings. Provide three copies to R&P for informational purposes only.
11. In addition to all City permits, the Applicant is responsible to ensure that all necessary Federal, State and/or Montgomery County approvals and/or permits have been obtained in association with this approved plan.
12. Shop drawings must be prepared and sealed by a Professional Engineer licensed in the State of Maryland prior to fabrication. The Professional Engineer who sealed the design plans (but not the shop drawings) must approve the shop drawings for conformance to the approved design. Provide three copies of approved shop drawings to R&P prior to construction. Standard pre-cast structures previously approved by the Maryland State Highway Administration, Montgomery County and Washington Suburban Sanitation Commission do not require a shop drawing submission. Use actual field soils data for design of pipes and structures. All pipes and structures in paved areas shall be designed for HS-20 vehicle loading.
13. Upon completion of construction, the Applicant shall provide three sets of red lined As-Built prints (24" x 36") for review and approval by DPW. The drawings must contain the original approval signatures and Professional Engineer's seal and signature (a scanned image of the original mylar is acceptable). The As-Built shall be sealed by a Professional Engineer or Professional Surveyor, as appropriate and must be licensed by the State of Maryland. The seal shall note that it is only for the As-Built and shall include an as-built certification acceptable to DPW. Upon receipt of written approval, the Applicant shall provide approved As-Built mylar drawings along with the original mylars (with all original signatures) to DPW prior to the release of the permit.
14. The Contractor must comply with the Montgomery County Noise Control Ordinance. Please refer to the Montgomery County Department of Environmental Protection at 240-777-7770, askdep@montgomerycountymd.gov, or www.montgomerycountymd.gov/DHEP.
15. Contractor is responsible for performing an actual field survey of the existing condition.

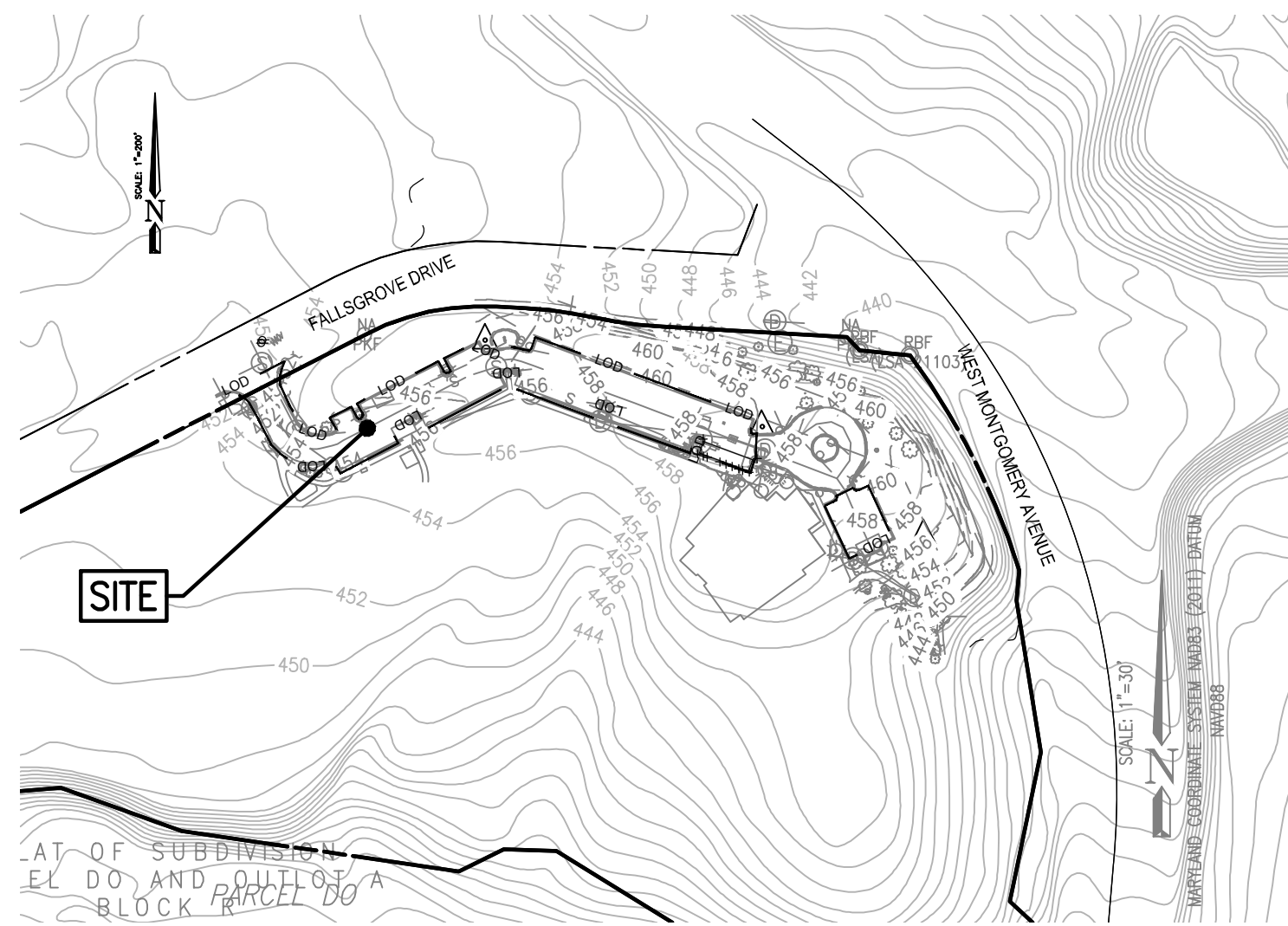
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THOMAS FARM COMMUNITY CENTER PERVIOUS PARKING LOT REPLACEMENT

700 FALLSGROVE DRIVE, ROCKVILLE, MD 20850

SMP2022-00008

CITY OF ROCKVILLE
MONTGOMERY COUNTY, MARYLAND



LOCATION MAP

SCALE = 1"=200'

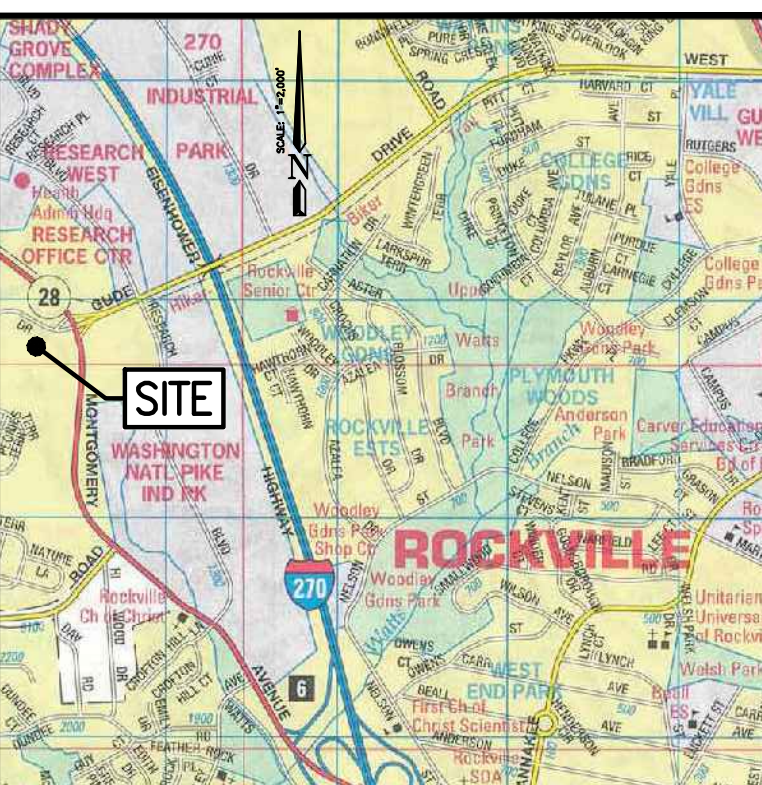
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5	STORMWATER MANAGEMENT DETAILS
6	DRAINAGE AREA MAP



GEOTECHNICAL NOTES
November 2016

1. The Contractor shall be responsible for all subgrade inspection and soil compaction testing associated with any work within a City right-of-way, private property subject to a public access easement, or private property subject to City easement for public utilities or public improvements; and/or any work associated with a sediment control facility, or stormwater management practice. This work shall be completed by or under the supervision of a Professional Engineer licensed in the State of Maryland. For the purposes of these notes and associated approved plans, this Engineer shall be referred to as the Geotechnical Engineer and shall be an independent firm from the Applicant.
2. Any plans subject to NRCS-MD Pond Code 378 Standards/Specifications, as shown on the plans, shall supersede these notes when these notes are less stringent or in case of conflict. Any reference to the Engineer in the 378 Standard/Specifications shall be the Professional Engineer who stamped and sealed the design plans. Any reference to the Geotechnical Engineer shall be the Geotechnical Engineer as defined above or the Geotechnical Engineer who completed certain aspects of the pond design.
3. All inspections, tests, supporting data, reports, and certifications shall be provided to the City of Rockville Department of Recreation & Parks (R&P) and shall be sealed by the Geotechnical Engineer. Daily inspection reports, if requested by the City, can be provided without being immediately sealed by the Geotechnical Engineer. These reports shall be compiled, reviewed, sealed and then submitted to R&P at a later date as agreed upon by the City.
4. The Geotechnical Engineer shall approve all fill materials that are used for the project. The Geotechnical Engineer shall obtain samples of proposed fill materials and perform all required testing to determine that fill materials are in conformance with this plan.
5. The Geotechnical Engineer shall provide a report that certifies the subgrade preparation and fill/backfill placement are in conformance with this plan. The certification applies to all fill, backfill, and subgrade operations subject to this plan as detailed in Note #1, including utility trenches. When constructing new roadway pavement this certification report shall be provided prior to the placement of Graded Aggregate Base (GAB). All other certifications shall be provided as requested by the City.
6. All fill and/or backfill material shall be free from organics, frozen material, rocks/stones greater than one and a half inches in any dimension, waste metal products, unsightly debris, toxic material, or other deleterious materials shall be a minimum of 105 pounds per cubic foot for the maximum dry density according to AASHTO T-190, Method C, and shall not have a liquid limit greater than 30 nor a plasticity index greater than six according to ASTM D-4318. All other materials shall meet the requirements stated in Category 900 of the latest edition of the Maryland State Highway Administration (MSHA) Standard Specifications for Construction and Materials.
7. Compact the material that is one foot below the top of subgrade to at least 92 percent of the maximum dry density per AASHTO T-190. Compact the top one foot to at least 97 percent of the maximum dry density. When necessary, add water or dry the layer in order to compact to the required density. Generally the material shall be within two percent of the optimum moisture content but may be outside of this range if approved by the Geotechnical Engineer.
8. Fill and backfill materials must completely fill all spaces under and adjacent to the structure or pipe. For Stormwater Management embankments, the Applicant shall scarify each lift with a sheepsfoot roller or claw to a minimum depth of two-inches prior to placing the next lift. The Applicant shall scarify embankments parallel with the centerline of the dam core and perpendicular to the principal spillway. Bedding shall be provided in accordance with details indicated on the construction drawings. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four-feet, measured horizontally, to any part of a structure. Under no circumstances shall the Applicant drive equipment over any part of a corrugated metal pipe unless there is a compacted fill of 24-inches or greater over the structure or pipe.
9. At a minimum, compaction tests shall be completed for every lift of fill or backfill. The testing frequency shall be at least once per 150 linear feet of trench or once per 1,500 square feet of fill. At a minimum, there shall be at least one compaction test per lift and a least two compaction tests per day. The Geotechnical Engineer shall supply DPW with certified compaction test results, including certification of pipe bedding subgrade and fill subgrade.
 - A. Scarifying, moisture conditioning, and re-compaction of the GAB materials.
 - B. Undercutting soft of unsuitable areas of GAB and replacing with compacted GAB.
10. Prior to placing any roadway fill on existing grades (original grade after topsoil has been stripped, fill prepared by others outside of this plan or fill not prepared under the supervision of the Geotechnical Engineer), scarify the minimum top eight inches of soil material. Compact this layer to the compaction requirements in these Notes. Proof-roll this compacted layer using a fully loaded dump truck (minimum 20 ton payload capacity). The Geotechnical Engineer shall inspect the proof-rolling and determine if the subgrade is acceptable or if there are areas that require remediation. Subgrade areas that fail proof-rolling shall be remediated to the satisfaction of the Geotechnical Engineer by either of the following methods:
 - A. Scarifying, moisture conditioning, and re-compaction of the subgrade materials.
 - B. Undercutting soft of unsuitable areas of subgrade and backfilling with compacted select borrow (MSHA Section 916).
 - C. Undercutting of soft or unsuitable areas of subgrade and placing a layer of geotextile covered by # MSHA 57 coarse aggregate (Table 901A).
11. Except when specified, do not place layers exceeding eight-inches un-compacted depth. Place the material in horizontal layers across the full width of the embankment. Perform all rolling in a longitudinal direction along the embankment. Begin at the outer edges and progress towards the center. Vary the travel paths of traffic and equipment over the width of the embankment to aid in obtaining uniform compaction.
12. Uniformly grade areas to a smooth surface, free of irregular surface changes. Grade and prepare the subgrade section to the lines, grades, cross sections and/or elevations shown on the plans. At all times, maintain the subgrade surface in such condition as to readily drain.
 - A. Scarifying, moisture conditioning, and re-compaction of the subgrade materials.
 - B. Undercutting soft of unsuitable areas of subgrade and replacing with compacted GAB.
13. Do not place backfill or fill soil material on surfaces that are muddy, frozen, or contain frost or ice. Vehicular and equipment traffic shall be distributed across the prepared surface in such a manner as to prevent disturbance. Repair any damage to the prepared subgrade to the satisfaction of the Geotechnical Engineer. The Geotechnical Engineer must approve the storage or stockpiling of heavy loads on a roadway subgrade.
14. Unsuitable existing fill, soft or loose natural soils, organic material, and rubble shall be stripped to approved grades as determined by the Geotechnical Engineer.
15. Protect all structures and utilities from any damage in the handling, processing or compacting of embankment or backfill material. Exercise caution near arches, retaining walls, culverts and utility trenches to prevent undue strain or movement. The Geotechnical Engineer may require the use of specially selected material adjacent to structures to protect against damage. Do not use rock greater than one and a half inches in any dimension adjacent to structures.
16. When placing and compacting embankment on hillsides or against existing embankments, continuously bench the slopes where the slope is steeper than 4:1 when measured at right angles to the roadway or embankment centerline. Perform the benching operation as the embankment is constructed in layers. Maintain a bench width of at least five-feet. Begin each horizontal cut at the intersection of the original ground and the vertical sides of the previous cut. If the material cut from the benches meets fill requirements, compact this material along with the new embankment material.
17. When placing fill over existing pavement, thoroughly break up, scarify, or remove the pavement as specified or as directed by the Geotechnical Engineer.
18. Prior to the placement of asphalt pavement, proof-roll the compacted graded aggregate base (GAB) layer using a fully loaded dump truck (minimum 20 ton payload capacity). The Geotechnical Engineer shall inspect the proof-rolling and determine if the GAB is acceptable or if there are areas that require remediation. GAB areas that fail proof-rolling shall be remediated to the satisfaction of the Geotechnical Engineer by either of the following methods:
 - A. Scarifying, moisture conditioning, and re-compaction of the GAB materials.
 - B. Undercutting soft of unsuitable areas of GAB and replacing with compacted GAB.

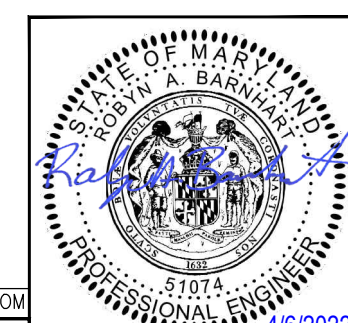
Note: This pavement rehabilitation project requires special geotechnical considerations, such that Items 2, 7, 8, 9, 10, 11, 16, 17, and 18 do NOT apply for this project; however, the Geotechnical Engineer may require certain additional evaluations and testing upon removal of the existing pavement. The Geotechnical Engineer shall observe all exposed subgrades prior to any stone or pavement replacement.



VICINITY MAP
SCALE 1"=2,000'
Map 5164, Grid A5
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OVERALL SHEET 2 OF 18

OWNER/APPLICANT:
CITY OF ROCKVILLE - RECREATION AND PARKS DEPARTMENT
111 MARYLAND AVENUE, ROCKVILLE, MD 20850
EMAIL: MDZA@ROCKVILLEMD.GOV
PHONE: 240-314-8608



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DEPARTMENT OF PUBLIC WORKS
CITY OF
ROCKVILLE
111 MARYLAND AVE. ROCKVILLE, MARYLAND

DESIGNED BY: SIV
DRAFTED BY: ZOL
CHECKED BY: SIV
SUBMITTED BY: RAB

DESIGN PLAN APPROVAL

Craig L. Simoneau
2022.04.27
14:32:57-04'00"

PWK# _____ SCP# _____
SMP# SMP2022-00008

REVIEWED BY: _____

DIRECTOR OF PUBLIC WORKS APPROVAL DATE

AS BUILT PLAN APPROVAL

CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE

THOMAS FARM COMMUNITY CENTER
PERVIOUS PARKING LOT REPLACEMENT
STORMWATER MANAGEMENT COVER SHEET

THOMAS FARM COMMUNITY CENTER
PARCEL BF, BLOCK R
ELECTION DISTRICT NO. 8
CITY OF ROCKVILLE, MARYLAND

APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL

NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE

DATE SUBMITTED: MARCH, 2022

SCALE: 1"=30'

SHEET NO. 1 OF 6 FILE #

MASTER LEGEND

EX. CONTOURS	----
EX. INDEX CONTOURS	----
EX. GIS CONTOURS	----
EX. WATER	— W — W —
EX. SEWER WATER	— S — S —
EX. OVERHEAD UTILITIES	— OHW — OHW —
EX. GAS LINE	— G — G —
EX. ELECTRICAL	— E — E —
EX. TREE LINE	~~~~~
EX. CLEANOUT	○
EX. SEWER MANHOLE	⊙
EX. STORM DRAIN MANHOLE	⊙
EX. ELECTRIC MANHOLE	⊙
EX. LIGHT POLE	⊙
EX. SIGN	⊙
EX. WATER VALVE	⊙
EX. FIRE HYDRANT	⊙
EX. GEOTHERMAL WELLS	⊙
SOIL DIVIDE	— RuB —
SOIL TYPE	— RuB —
EX. ASPHALT PAVING TO BE MILLED AND OVERLAID	▨
EX. PERVIOUS CONCRETE PAVING TO BE REMOVED AND REPLACED WITH CONVENTIONAL CONCRETE	▨
EX. DISABILITY PARKING TO BE REMOVED AND REPLACED WITH CONVENTIONAL CONCRETE	▨
EX. PERVIOUS CONCRETE TO BE REMOVED AND REPLACED WITH NEW PAVEDRAIN PAVING	▨
EX. CONCRETE TO REMAIN	▨
PARKING BAY NO.	2
EX. ELECTRIC CAR CHARGING STATION	⊙
EX. STORM DRAIN INLET	⊙
EX. TREE AND CRITICAL ROOT ZONE	⊙
BENCH MARKS	1
EX. SIDEWALK	▨

LIMIT OF DISTURBANCE	— LOD —
DRAINAGE AREA DIVIDE	—
SUB-DRAINAGE AREA DIVIDE	—
SOIL BORING LOCATION	⊙
PROPERTY LINE	—
GAS LINE EASEMENT	—
GAS LINE B.R.L.	—
SLOPE EASEMENT	—
PUBLIC UTILITY EASEMENT	—

MASTER LIST OF ABBREVIATIONS

AC	-	ACRE(S)	HSG	-	HYDROLOGIC SOIL GROUP
ACI	-	AMERICAN CONCRETE INSTITUTE	INV.	-	INVERT
ASTM	-	AMERICAN SOCIETY FOR TESTING MATERIALS	L	-	LENGTH OF CURVE (CURVE DATA)
¢	-	CENTERLINE	L.F.	-	LINEAR FEET
C/C	-	CENTER-TO-CENTER	MH	-	MANHOLE
CF	-	CUBIC FEET	MSHA	-	MARYLAND STATE HIGHWAY ADMINISTRATION
cfs	-	CUBIC FEET PER SECOND	NAF	-	MAGNETIC NAIL FOUND
CL	-	CLASS	NTS	-	NOT TO SCALE
C.M.P.	-	CORRUGATED METAL PIPE	RCN	-	RUNOFF CURVE NUMBER
CN	-	CONCRETE	R.C.P.	-	REINFORCED CONCRETE PIPE
CPv	-	CHANNEL PROTECTION VOLUME	S.S.	-	SIDE SLOPE
D	-	DEPTH	S.W.M.	-	STORMWATER MANAGEMENT
DA	-	DRAINAGE AREA	T	-	TANGENT (CURVE DATA)
D50	-	50TH PERCENTILE OF DIAMETER	Tc	-	TIME OF CONCENTRATION
D.I.P.	-	DUCTILE IRON PIPE	TYP.	-	TYPICAL
EX.	-	EXISTING	UX	-	UTILITY BOX
FP	-	FLAG POLE	V	-	VELOCITY
f.p.s.	-	FEET PER SECOND	WQv	-	WATER QUALITY VOLUME
FT	-	FEET	∅	-	DIAMETER
GALV.	-	GALVANIZED	RBF	-	REBAR AND CAP FOUND
H.D.P.E.	-	HIGH DENSITY POLYETHYLENE			
HGL	-	HYDRAULIC GRADE LINE			

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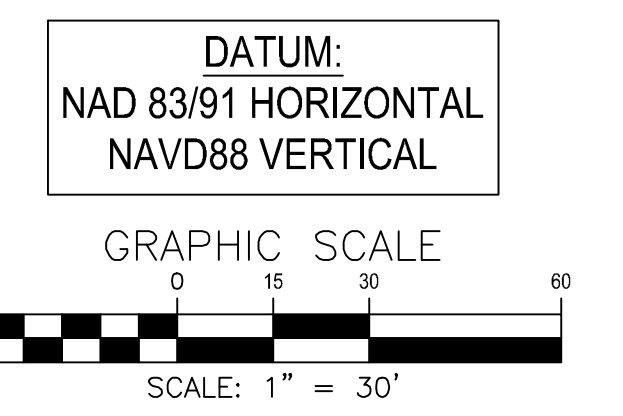
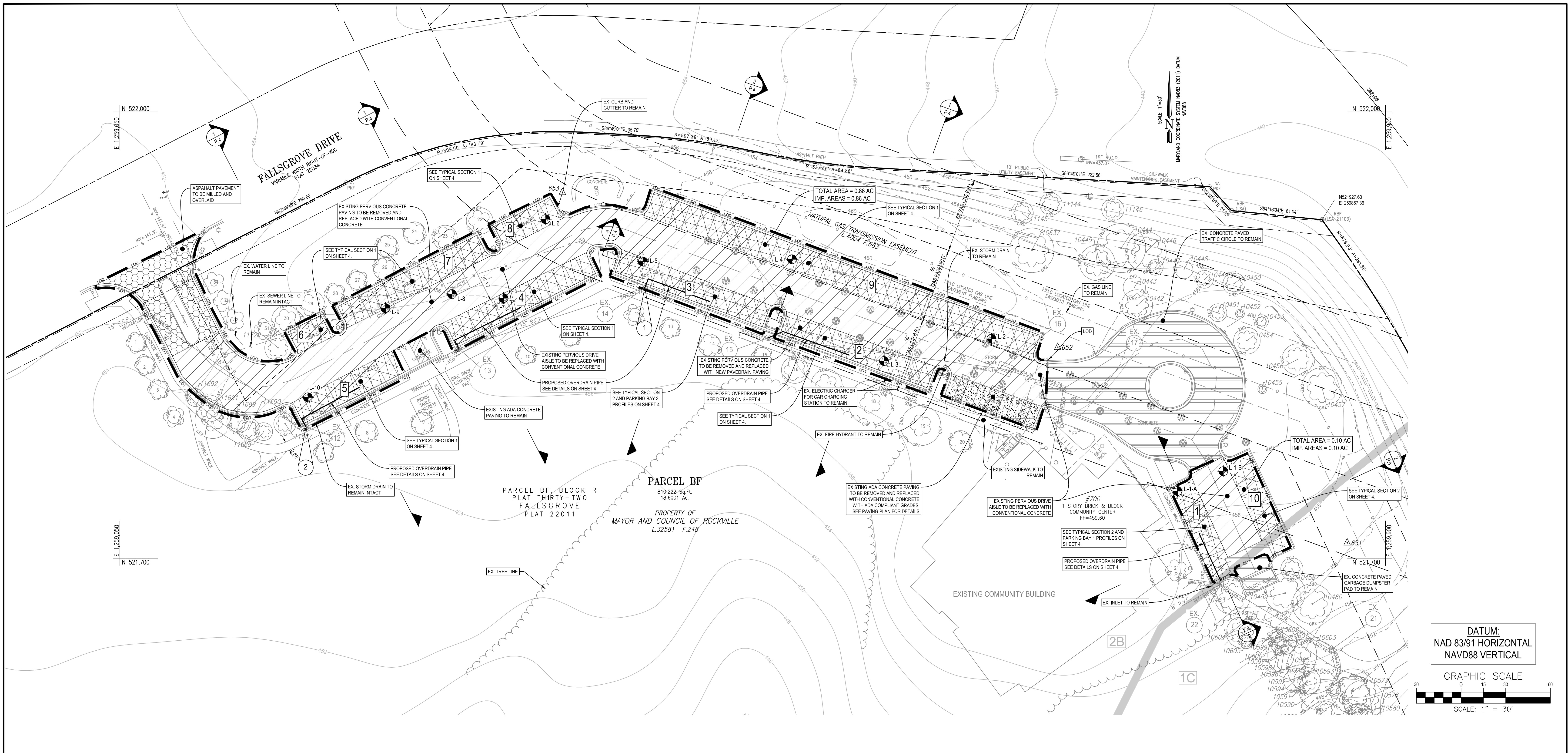


OWNER/APPLICANT: CITY OF ROCKVILLE - RECREATION AND PARKS DEPARTMENT
111 MARYLAND AVENUE, ROCKVILLE, MD 20850
EMAIL: MDAZA@ROCKVILLEMD.GOV
PHONE: 240-314-8608

CPJ Associates Charles P. Johnson & Associates, Inc.
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NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE

<p>DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 MARYLAND AVE. ROCKVILLE, MARYLAND</p>	DESIGNED BY: SIV DRAFTED BY: ZOL CHECKED BY: SIV SUBMITTED BY: RAB	DESIGN PLAN APPROVAL Craig L. Simoneau 2022.04.27 14:32:57-04'00" DIRECTOR OF PUBLIC WORKS APPROVAL DATE	AS BUILT PLAN APPROVAL _____ CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE	THOMAS FARM COMMUNITY CENTER PERVIOUS PARKING LOT REPLACEMENT MASTER LEGEND AND ABBREVIATIONS	THOMAS FARM COMMUNITY CENTER PARCEL BF, BLOCK R ELECTION DISTRICT NO. 8 CITY OF ROCKVILLE, MARYLAND	DATE SUBMITTED: MARCH, 2022	SCALE 1" = 30'	SHEET NO. <u>2</u> OF <u>6</u>	FILE #
	APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL		APPROVAL DATE: _____						



SWM SUMMARY TABLE	
General Property Information	
SMC# SMC2021-00003	AS-BUILT
Development Review Process/Case No.: N/A	
Property Address: 700 Falls Grove Drive, Rockville, MD 20850	
Property Legal Description: Parcel: BF, Block: R	
Property Size (ac./sq.ft.): 18.6 ac.	
Total Concept Area (ac./sq.ft.): 0.96 ac.	
Zoning: PD-FG, Falls Grove	
Watershed: Watts Branch	
100 YR Floodplain: n/a	
Ex. % Impervious/Redevelopment or New Development: 17.6% / New Development	
SWM Summary	
Total On-Site Impervious Area subject to SWM: 0.96 ac.*	
Required P&I/Proposed P&I: 2.6 inches / 1.8 inches	
Target ESD/Provided ESD: 9,980 ft ³ / 5,541 ft ³	
ESD Measures: Permeable Pavement (A2-1)	
Structural Storage Required/Provided: N/A	
Structural Measures: N/A	
Qp10 (10-Year Quantity Control) Measures: N/A	
Contiguous Right-of-Way Impervious Area subject to SWM: 0.04 ac.	
Contiguous Right-of-Way Cwp (Channel Protection Volume) & WQv (Water Quality Volume) Measures: Monetary Contribution	
Contiguous Right-of-Way Qp10 (10-Year Quantity Control) Measures: N/A	
Other Information:	
*The total impervious area within LOD is 0.96 acre, out of which 0.67 acre drains to ESD treatment.	

BENCH MARK TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	N 521,881.99	E 1,259,402.51	456.27	CENTER OF INLET MANHOLE
2	N 521,788.47	E 1,259,175.94	454.66	CENTER OF INLET MANHOLE

THIS PLAN IS FOR STORMWATER MANAGEMENT ONLY

OVERALL SHEET 4 OF 18

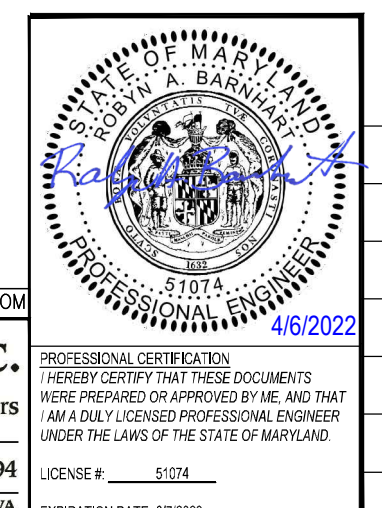
GENERAL STORM DRAIN AND PAVING NOTES

- ALL STORM DRAIN AND PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST GENERAL SPECIFICATIONS AND STANDARD DETAILS OF THE MARYLAND STATE HIGHWAY ADMINISTRATION, MONTGOMERY COUNTY, AND THE CITY OF ROCKVILLE, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SPECIFIED, ALL STORM DRAIN PIPES SHALL BE INSTALLED WITH THE MONTGOMERY COUNTY STANDARD "C" SHAPED SUBGRADE BEDDING OR BETTER.
- ALL PUBLIC STORM DRAIN SHALL BE A MINIMUM CLASS IV RUBBER GASKET REINFORCED CONCRETE PIPE IN ACCORDANCE WITH THE LATEST VERSIONS OF ASTM C-76 AND ASTM C-443.
- IF SPRINGHEADS ARE ENCOUNTERED IN ANY PHASE DURING CONSTRUCTION, CONSTRUCTION MUST BE STOPPED UNTIL THEY ARE CAPPED AND PIPED TO A STORM DRAIN OR STREAM AS DIRECTED BY THE CITY.
- PROVIDE POSITIVE DRAINAGE OF ALL AREAS DISTURBED BY CONSTRUCTION. MINIMUM SLOPE IN PAVED AREAS IS ONE PERCENT. MINIMUM SLOPE OF GRADED AREAS IS TWO PERCENT. MAXIMUM SLOPE ON EARTH BANKS IS 3:1.
- WHEN THING INTO EXISTING PAVEMENT, SAW OUT EXISTING PAVING EDGE TO PROVIDE A CLEAN, STRAIGHT, AND VERTICAL JOINT. WHEN REMOVING EXISTING CURB OR SIDEWALK, REMOVE TO THE NEAREST JOINT.
- PAVING CONTRACTOR IS RESPONSIBLE FOR ADJUSTING UTILITY TOPS TO FINISHED GRADE.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PAVEMENT MARKINGS AND SIGNAGE IN ACCORDANCE WITH THE FINAL PAVEMENT MARKING AND SIGNAGE PLAN.

STORMWATER MANAGEMENT NOTES

- ALL PERVIOUS PAVEMENTS SHALL HAVE OVERDRAIN OR UNDERDRAIN CONNECTIONS TO EXISTING STORM DRAIN STRUCTURES.

BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION



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111 MARYLAND AVE. ROCKVILLE, MARYLAND

DESIGNED BY: SIV
DRAFTED BY: ZOL
CHECKED BY: SIV
SUBMITTED BY: RAB

DESIGN PLAN APPROVAL

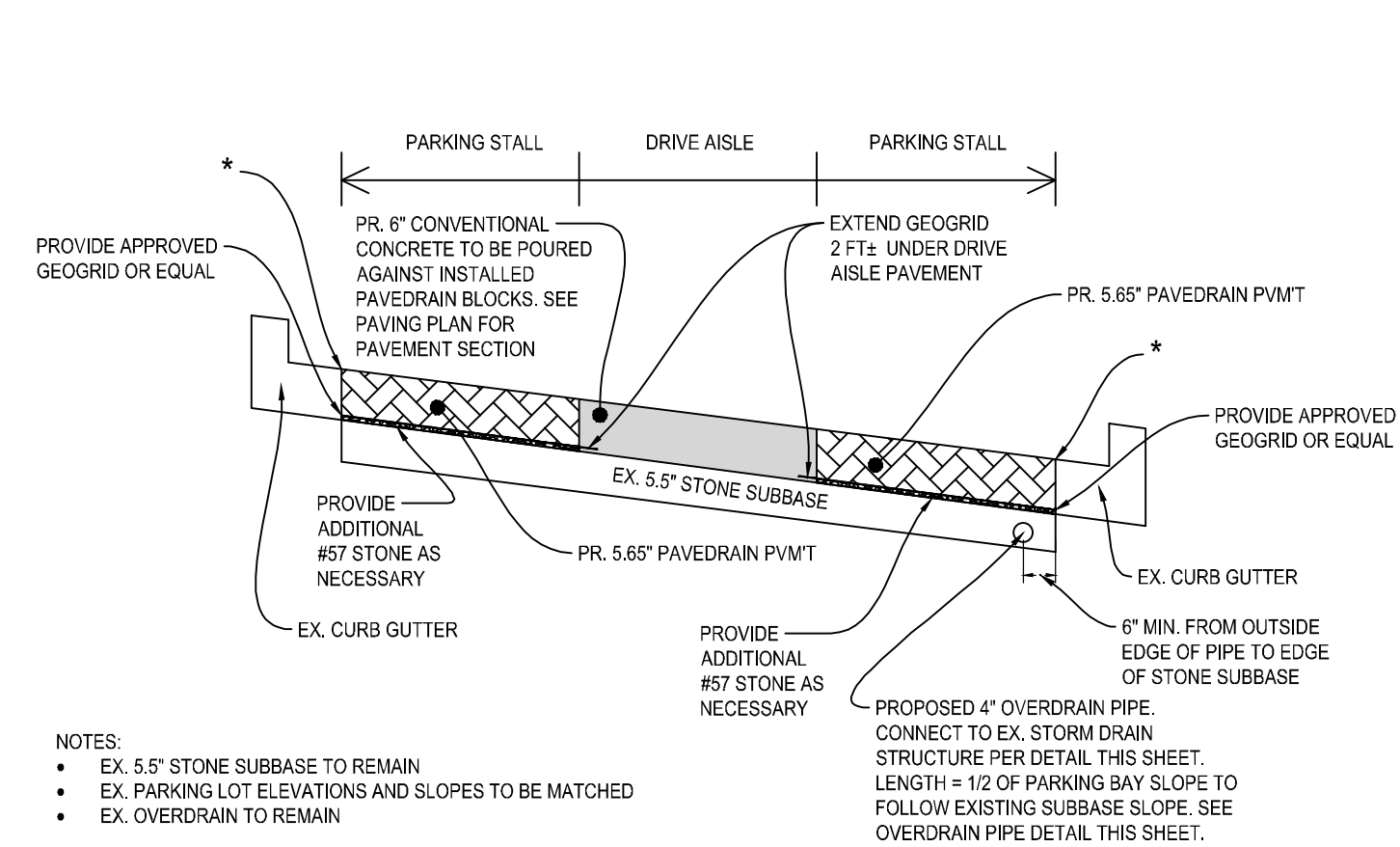
 Craig L. Simoneau
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 DIRECTOR OF PUBLIC WORKS
 APPROVAL DATE

AS BUILT PLAN APPROVAL
 THOMAS FARM COMMUNITY CENTER
 PERVIOUS PARKING LOT REPLACEMENT
 STORMWATER MANAGEMENT PLAN
 CHIEF, CONSTRUCTION MANAGEMENT
 APPROVAL DATE

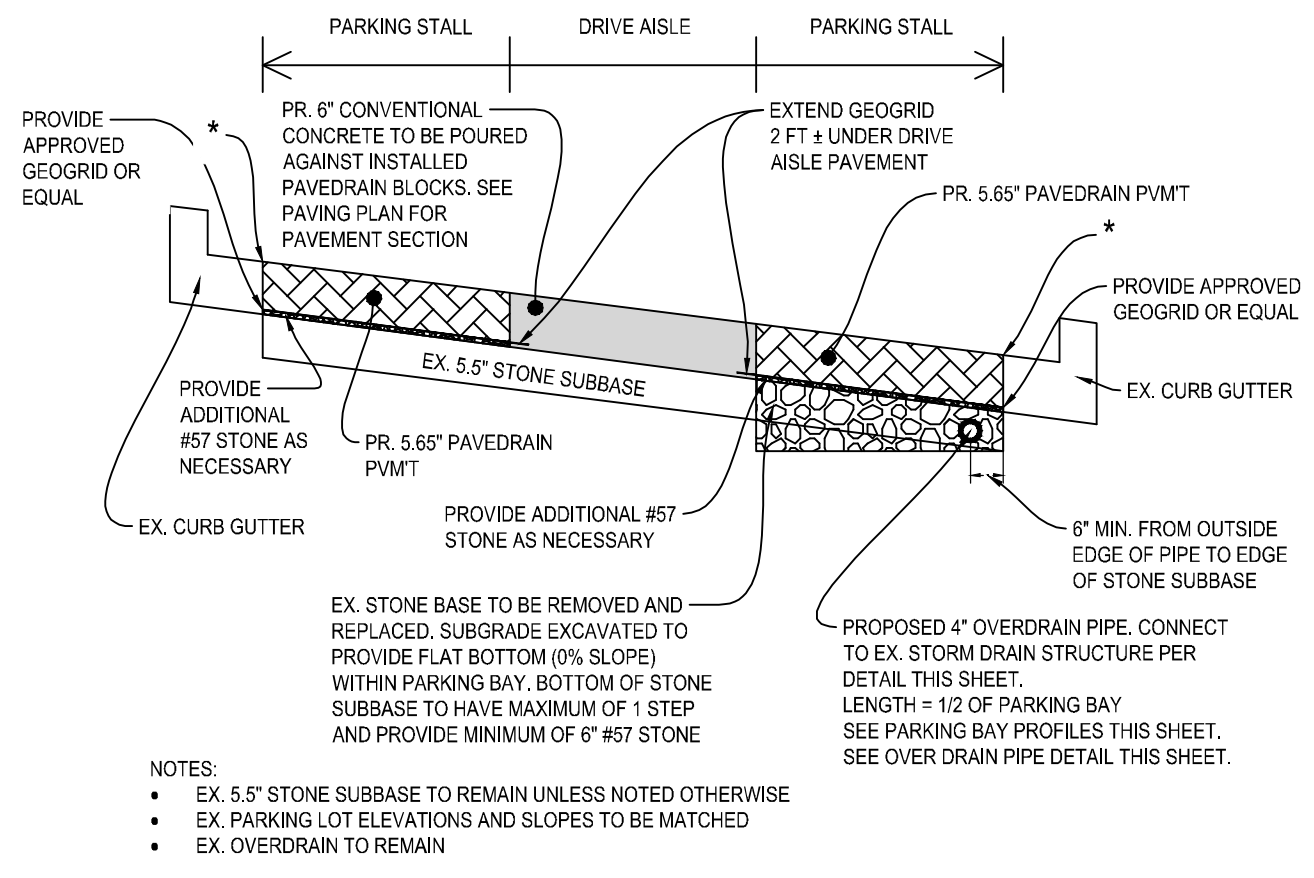
THOMAS FARM COMMUNITY CENTER
 PERVIOUS PARKING LOT REPLACEMENT
 STORMWATER MANAGEMENT PLAN

THOMAS FARM COMMUNITY CENTER
 PARCEL BF, BLOCK R
 ELECTION DISTRICT NO. 8
 CITY OF ROCKVILLE, MARYLAND

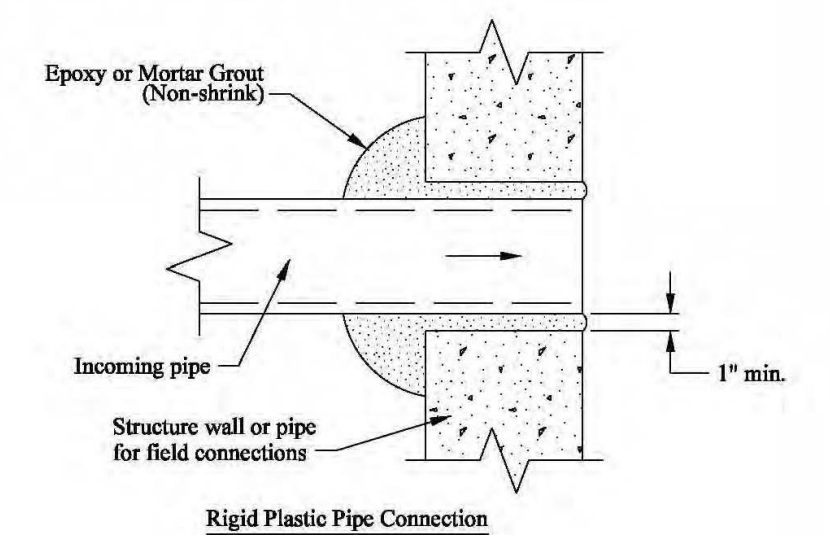
APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL
 DATE SUBMITTED: MARCH, 2022
 SCALE: 1"=30'
 SHEET NO. 3 OF 6
 FILE #



1 PROPOSED PVIOUS PAVEMENT TYPICAL SECTION 1 NOT TO SCALE

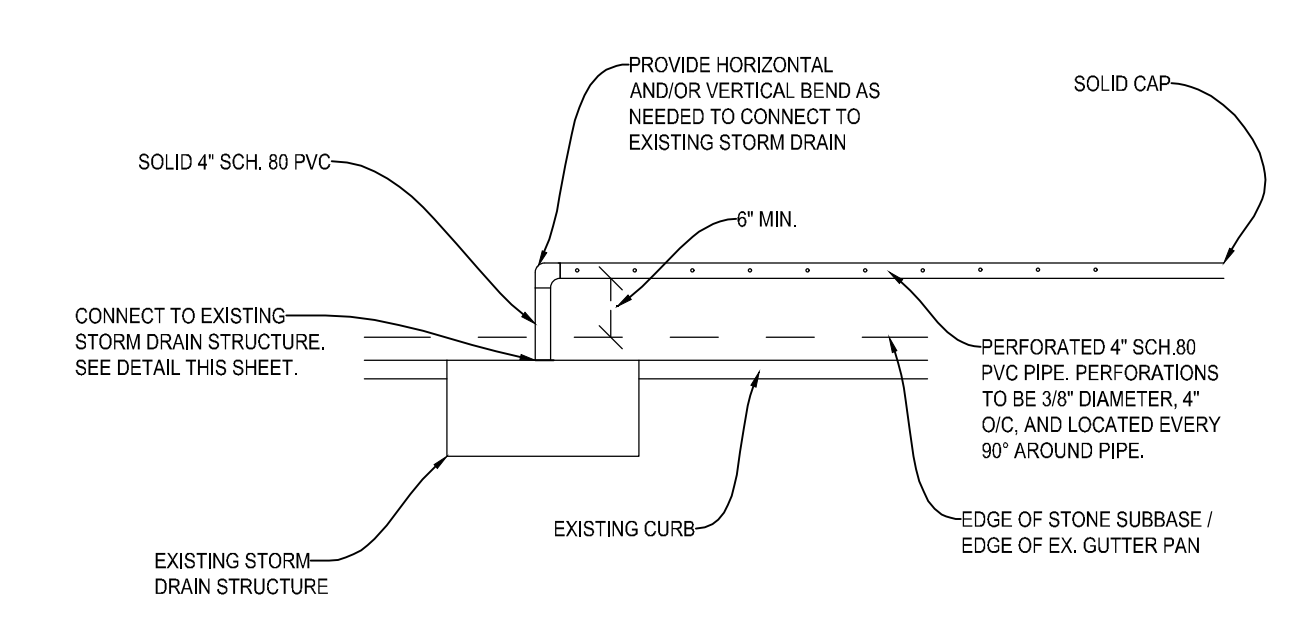


2 PROPOSED PVIOUS PAVEMENT TYPICAL SECTION 2 NOT TO SCALE

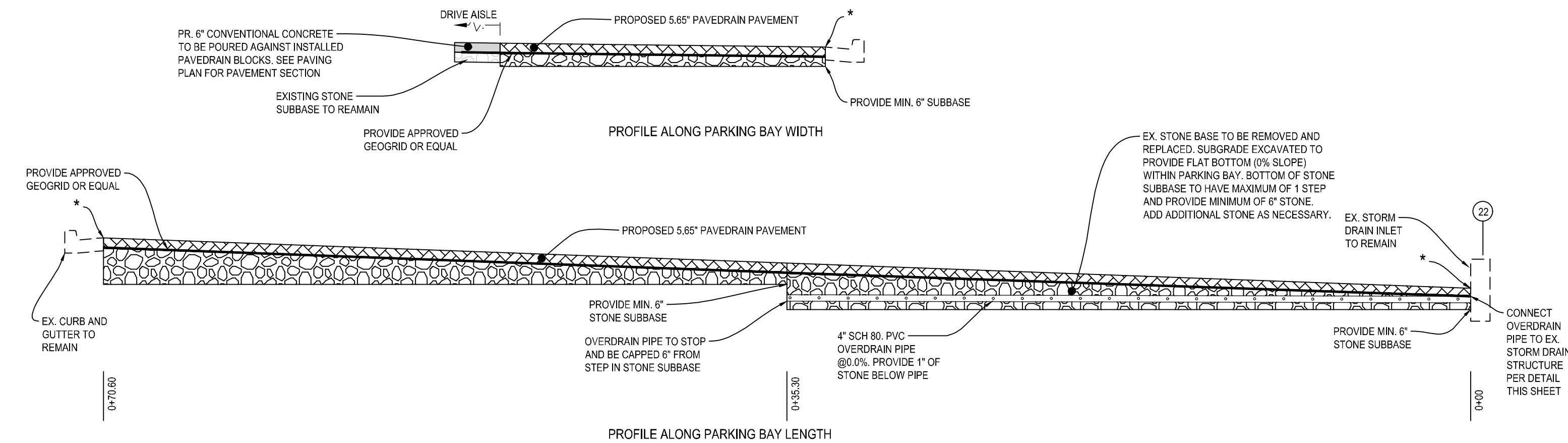


Notes:
 1. Grout shall be placed around pipe to form a tight fit.
 2. Place bell against outside wall of storm drain pipe or structure and trim incoming pipe flush with inside wall or pipe.

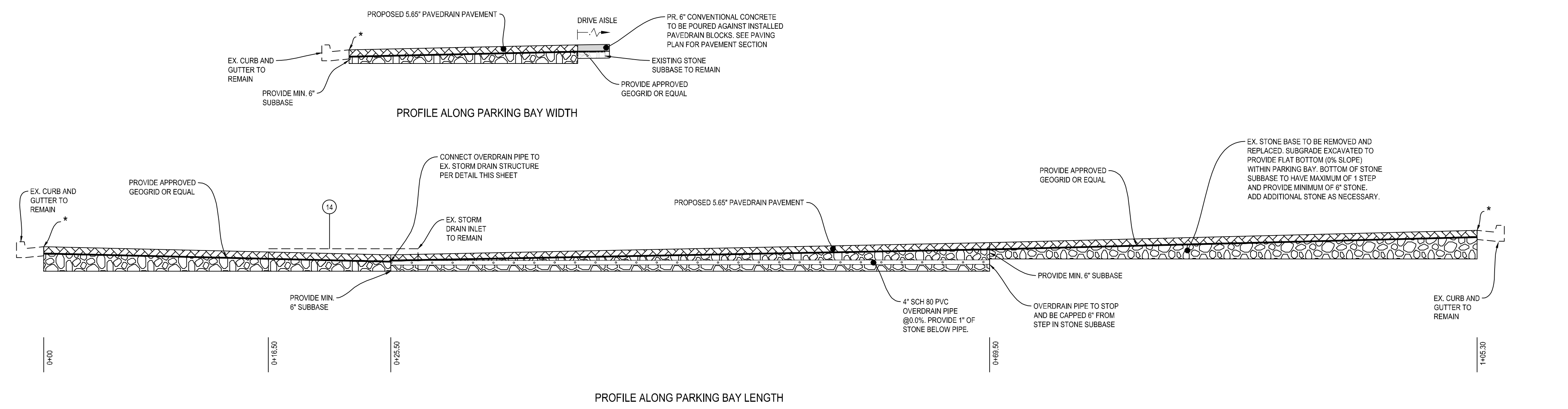
5 OVERDRAIN CONNECTION TO STORM DRAIN STRUCTURE NOT TO SCALE



6 OVERDRAIN PIPE DETAIL - TYPICAL LAYOUT NOT TO SCALE

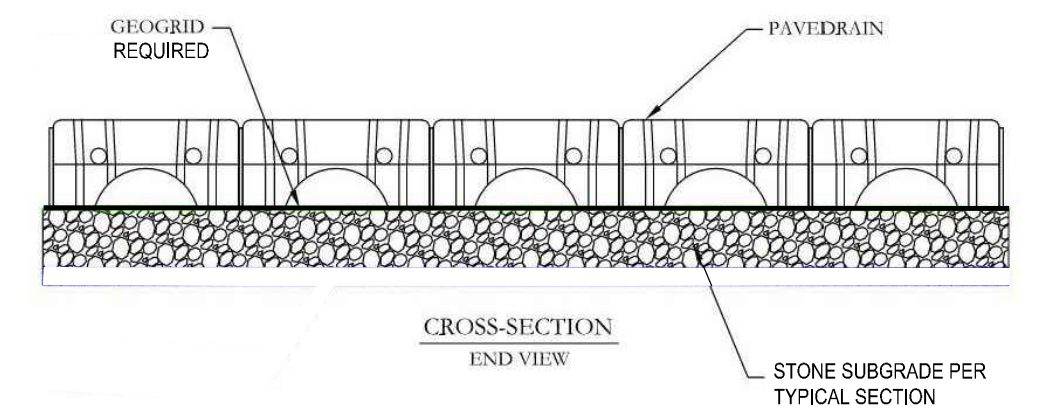
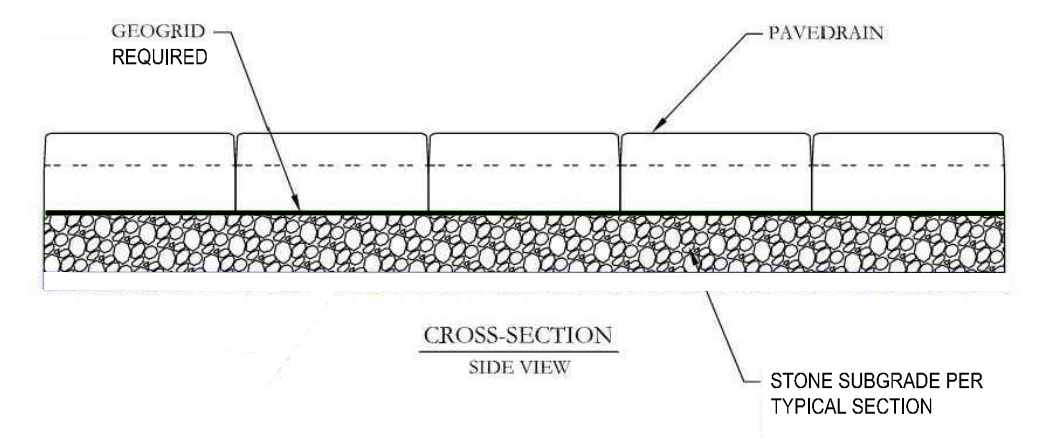


3 PROFILES FOR PARKING BAY 1 - STONE SUBBASE REPLACEMENT SCALE: 1" = 5'



4 PROFILES FOR PARKING BAY 3 - STONE SUBBASE REPLACEMENT SCALE: 1" = 5'

SEE PAVEDRAIN NOTES ON SHEET 5

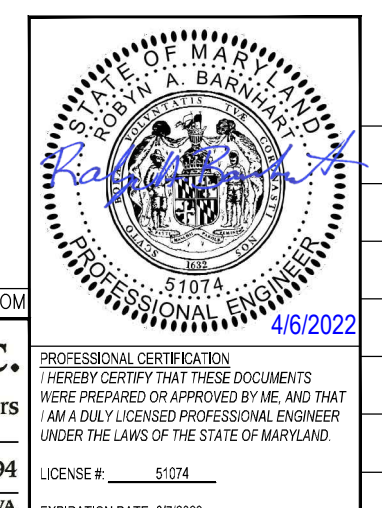


7 PAVEDRAIN STANDARD DETAIL NOT TO SCALE

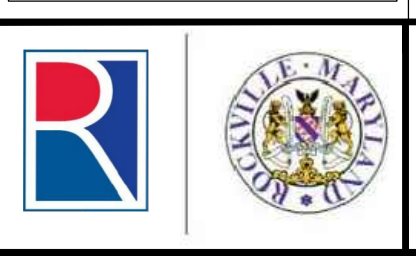
* FILL GAP BETWEEN PAVEDRAIN AND EXISTING CURB AND GUTTER PER GAP DETAIL ON SHEET 5. SEE PAVEDRAIN NOTES ON SHEET 5.

THIS PLAN IS FOR STORMWATER MANAGEMENT ONLY

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DEPARTMENT OF PUBLIC WORKS
 CITY OF ROCKVILLE
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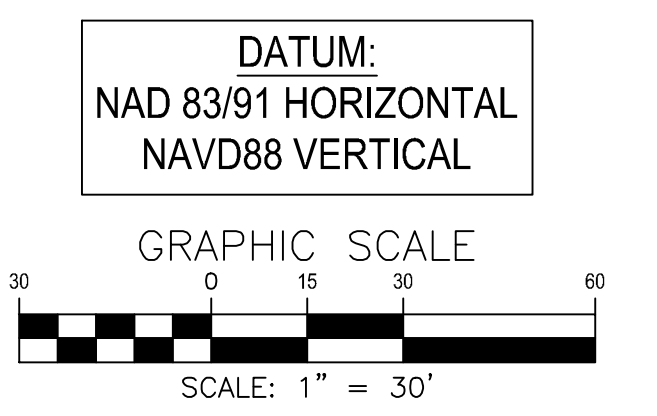
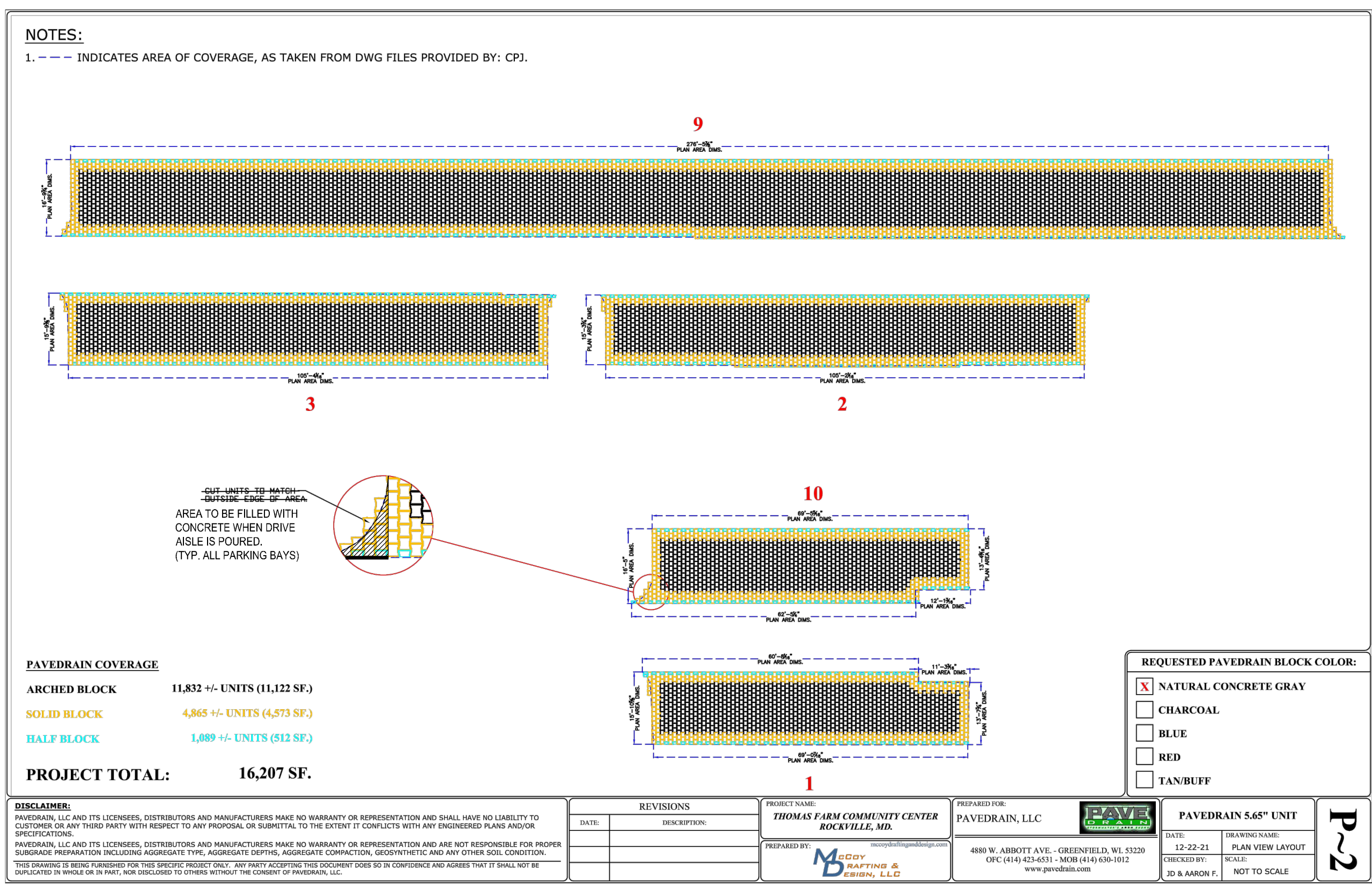
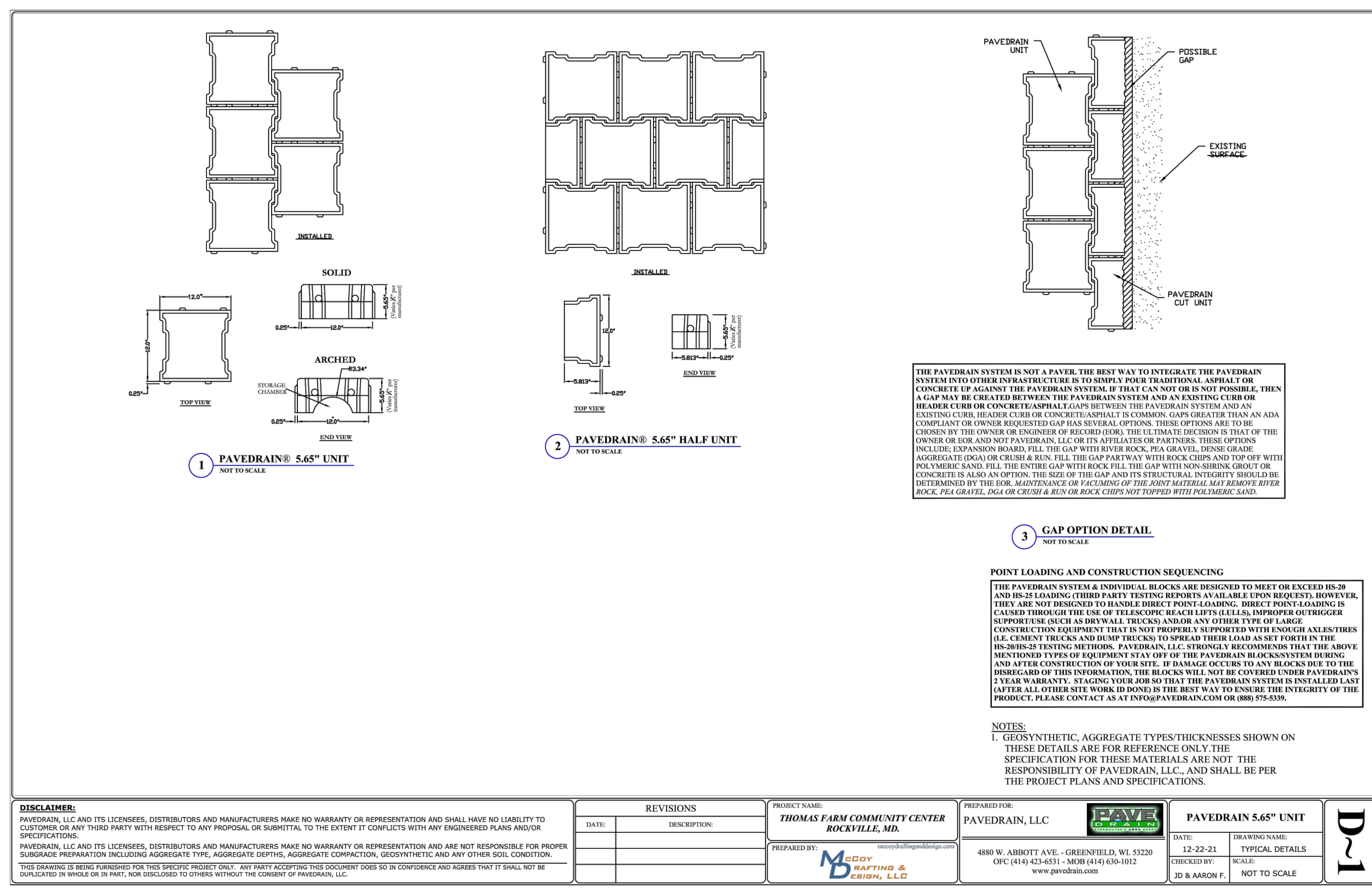
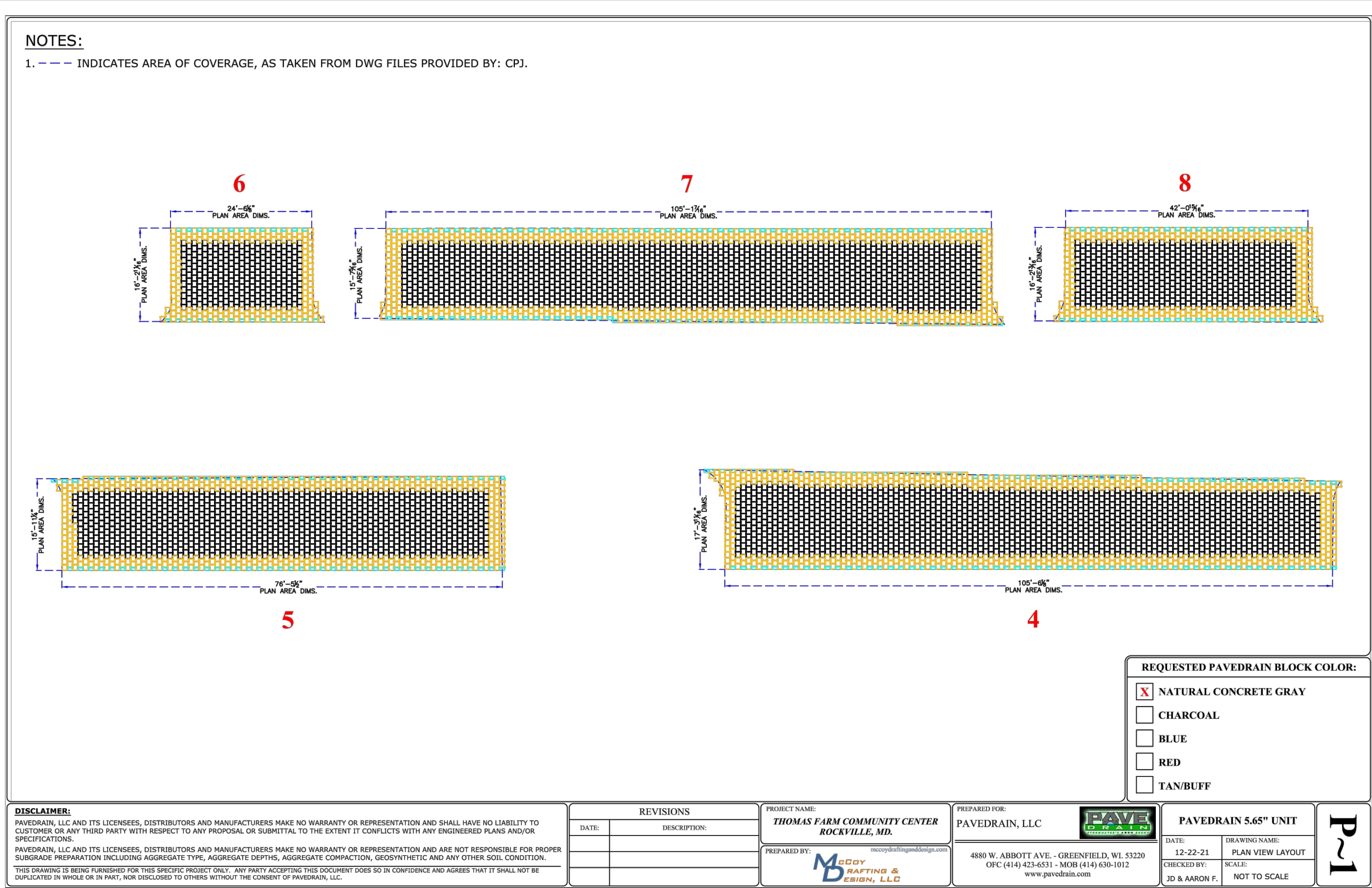
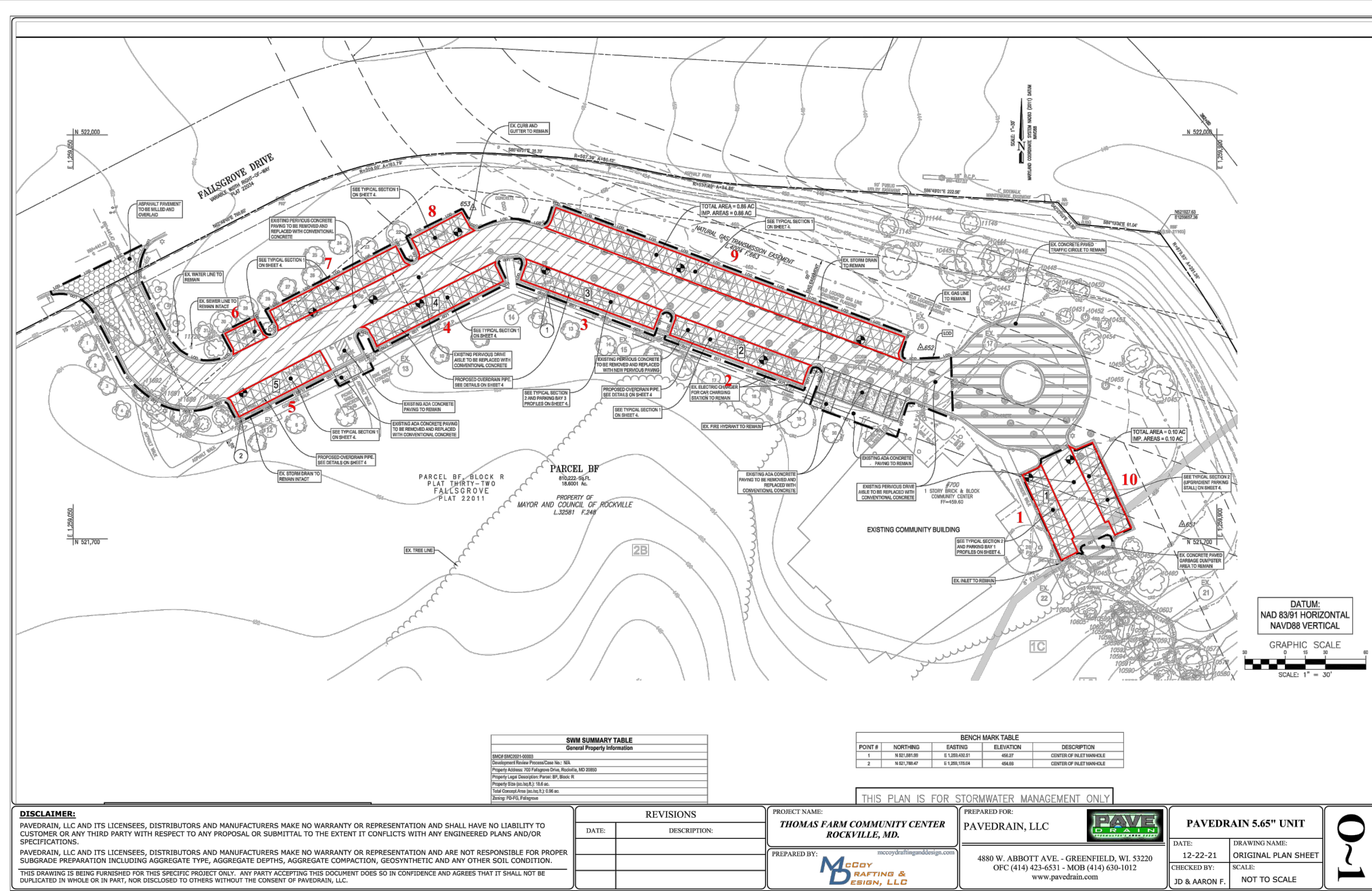
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AS BUILT PLAN APPROVAL
 THOMAS FARM COMMUNITY CENTER
 PERVIOUS PARKING LOT REPLACEMENT
 STORMWATER MANAGEMENT PROFILES

THOMAS FARM COMMUNITY CENTER
 PERVIOUS PARKING LOT REPLACEMENT
 STORMWATER MANAGEMENT PROFILES

THOMAS FARM COMMUNITY CENTER
 PARCEL BF, BLOCK R
 ELECTION DISTRICT NO. 8
 CITY OF ROCKVILLE, MARYLAND

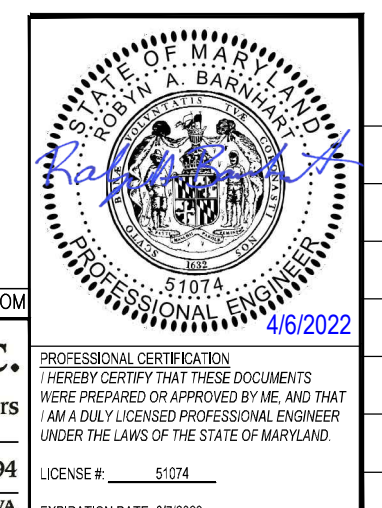
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 DATE SUBMITTED: MARCH, 2022
 SCALE: 1" = 30'
 SHEET NO. 4 OF 6
 FILE #



BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION

PAVEDRAIN NOTES:
 1. PAVEDRAIN BLOCK LAYOUT DESIGN IS PRELIMINARY AND FOR INFORMATIONAL PURPOSES ONLY.
 2. A PAVEDRAIN COORDINATION MEETING MUST BE HELD ON SITE PRIOR TO ANY DEMOLITION. IN ATTENDANCE MUST BE THE OWNER, ENGINEER, PAVEDRAIN MANUFACTURER REPRESENTATIVE, GEOTECHNICAL ENGINEER OF RECORD, GENERAL CONTRACTOR, AND ANY SUBCONTRACTORS INVOLVED WITH THE INSTALLATION OF PAVEDRAIN OR CONCRETE DRIVE AISLE.
 3. CONTRACTOR SHALL INSTALL PAVE DRAIN PER MANUFACTURER'S RECOMMENDATIONS.
 4. CONCRETE DRIVE AISLE TO BE POURED AGAINST INSTALLED PAVEDRAIN BLOCKS.
 5. DUE TO POTENTIAL IRREGULARITIES IN THE LINE OF THE EXISTING CURB AND GUTTER TO REMAIN, CONTRACTOR MUST ESTABLISH A CONSTRUCTION BASELINE (STRING LINE OR OTHER METHOD) FOR EACH PARKING BAY TO KEEP PAVEDRAIN JOINT LINE PERPENDICULAR TO THE DRIVE AISLE.
 6. ANY GAP BETWEEN PAVEDRAIN BLOCKS AND EXISTING CURB AND GUTTER SHALL BE FILLED PER GAP DETAIL THIS SHEET. CONTRACTOR SHALL MINIMIZE ALL GAPS. IF A GAP > 3" IS NEEDED, CONTRACTOR SHALL DISCUSS WITH OWNER AND ENGINEER PRIOR TO INSTALLING BLOCKS.
 7. GEGRID IS REQUIRED AND SHALL BE MIRAGRID BGV110, TENSAR BX-1100, OR APPROVED EQUAL.

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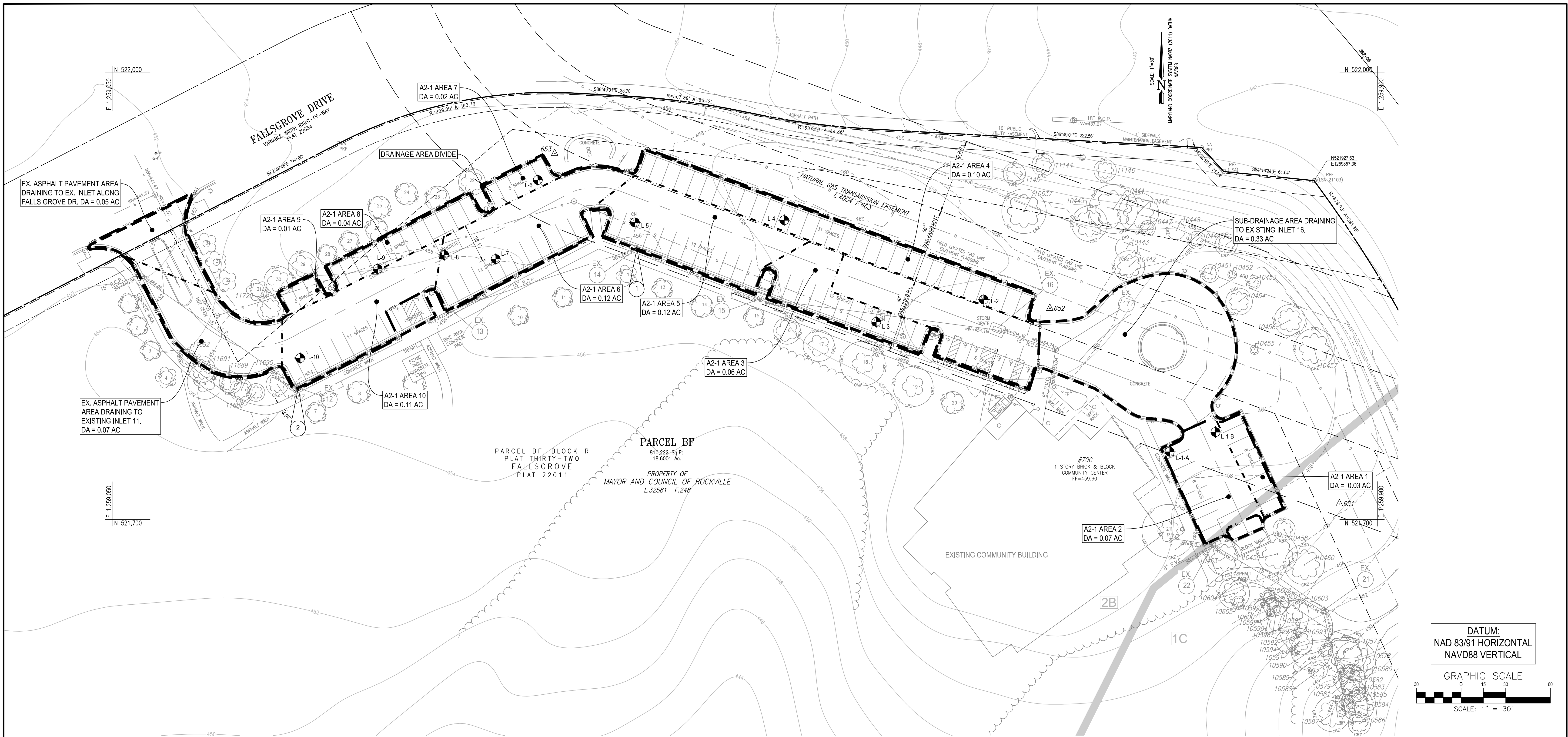
APPROVAL DATE

THOMAS FARM COMMUNITY CENTER PERVIOUS PARKING LOT REPLACEMENT STORMWATER MANAGEMENT DETAILS

THOMAS FARM COMMUNITY CENTER PARCEL BF, BLOCK R ELECTION DISTRICT NO. 8 CITY OF ROCKVILLE, MARYLAND

DATE SUBMITTED: MARCH, 2022
SCALE: 1"=30'
SHEET NO. 5 OF 6
FILE #

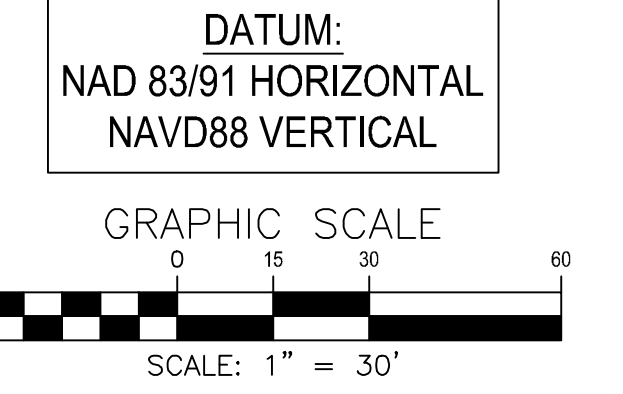
APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL



NOTE: SOIL BORING LOCATIONS TAKEN FROM THE REPORT OF SUBSURFACE EXPLORATION PAVEMENT ANALYSIS AND GEOTECHNICAL ENGINEERING ANALYSIS DATED 05/09/2017 BY ECS MID-ATLANTIC, LLC.

PROPOSED SWM FACILITIES PERMEABLE PAVEMENT A2-1		
AREA ID	AREA OF PERVIOUS PAVEMENT (SF)	DA TO PERVIOUS PAVEMENT (AC)
1	920.80	0.03
2	937.17	0.07
3	1,443.01	0.06
4	3,792.39	0.10
5	1,473.01	0.12
6	1,322.91	0.12
7	595.09	0.02
8	1,470.13	0.04
9	312.19	0.01
10	1,091.45	0.11
TOTAL	13,358.15	0.67

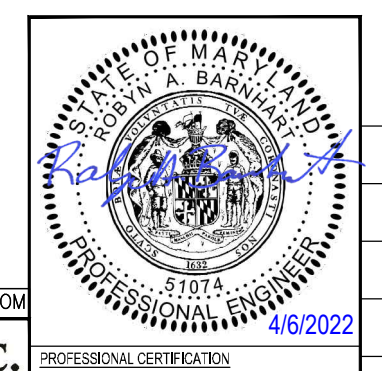
SOILS	
SOIL TYPE	HYDROLOGIC SOIL GROUP
GAILA SILT LOAM (1C)	B
GLENELG SILT LOAM (2B)	B



BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" WWW.MISSUTILITY.NET OR 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO EXCAVATION

OVERALL SHEET 7 OF 18

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Craig L. Simoneau
2022.04.27 14:32:59-04'00"
DIRECTOR OF PUBLIC WORKS APPROVAL DATE

AS BUILT PLAN APPROVAL
THOMAS FARM COMMUNITY CENTER PERVIOUS PARKING LOT REPLACEMENT DRAINAGE AREA MAP

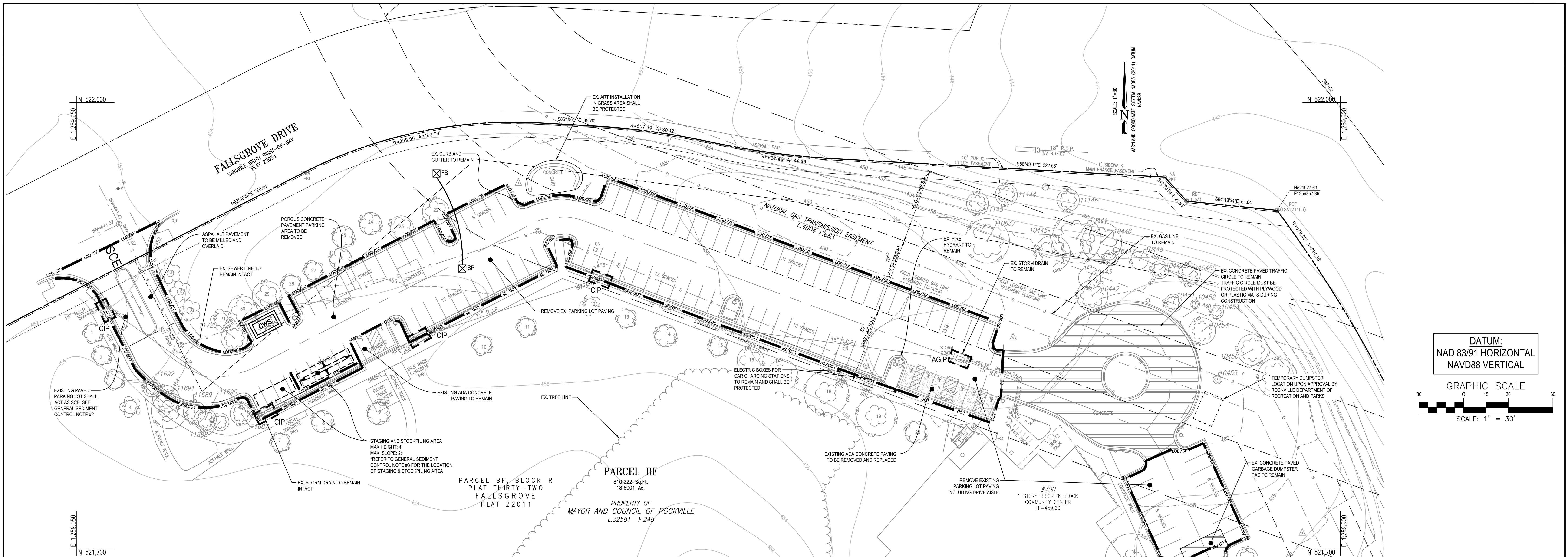
THOMAS FARM COMMUNITY CENTER
PERVIOUS PARKING LOT REPLACEMENT
DRAINAGE AREA MAP

THOMAS FARM COMMUNITY CENTER
PARCEL BF, BLOCK R
ELECTION DISTRICT NO. 8
CITY OF ROCKVILLE, MARYLAND

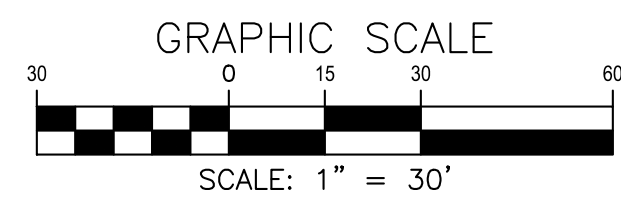
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SHEET NO. 6 OF 6
FILE #



DATUM:
NAD 83/91 HORIZONTAL
NAVD88 VERTICAL



EROSION AND SEDIMENT CONTROL SEQUENCE OF CONSTRUCTION

GENERAL NOTES:
 A. Comply with the City of Rockville's Standard Erosion and Sediment Control Plans.
 B. City Inspectors reserve the right to request additional measures not included on plans.
 C. Changes to the approved plans require written approval from DPW Engineering and may require an approved "redlined" plan revisions before proceeding.

PRE-CONSTRUCTION MEETING:
 The following items must be completed prior to the pre-construction meeting:
 • Limits of Disturbance (LOD) and tree protection measures to be marked/staked out in the field.
 • Contact Miss Utility @ 1-800-257-7777 or 811 and have utilities marked in the work area.
 A pre-construction meeting must be conducted on-site with the following representatives: Minimum notice of 48 hours must be provided prior to meeting.
 • City of Rockville Sediment and Erosion Control Inspector: Arthur Simpson @ 240-314-8879
 • City of Rockville Construction Inspector: Ralph McElhinney @ 240-314-8553
 • City Stormwater Management Inspector: Ethan Chappell @ 240-314-8541
 • City of Rockville Forestry Inspector: Natasha Shangold @ 240-314-8205
 • Any Agency Issuing a Permit
 • Permittee, Owner, or Owners Representative
 • General Contractor
 • Site Engineer

The following items must be discussed, as needed, during the pre-construction meeting:
 • Haul routes and maintenance of traffic
 • Existing SWM facilities downstream of project
 • SWM Construction Inspection and As-built process (see SWM plan)
 • Water system shut downs

SITE PREPARATION:
 1. With approval from the City of Rockville Sediment Control, Construction, and Forestry Inspectors, install perimeter controls, tree protection measures and stabilized construction entrance. The existing paved parking lot shall serve as the stabilized construction entrance, and a stone entrance will not be needed. All construction vehicles shall remain on paved areas to avoid tracking of sediment out of the site. Install all silt fences as shown on the plan. Install at-grade inlet protection and curb inlet protection over existing storm drain inlets as indicated on the plan. (NOTE: At the direction of the owner and Sediment Control Inspector, a wash rack area may be installed.)
 2. With Step 1 above complete, obtain approval from the City of Rockville Inspectors to begin clearing and grading and site construction.

SITE CONSTRUCTION:
 Notes:
 a. The contractor shall maintain pedestrian and vehicular access at all times.
 b. Only half of the drive aisle width may be closed at any one time in order to maintain vehicular access, with the exception of the parking lot located east of the concrete traffic circle. Contractor shall provide traffic control per details provided on Traffic Control Details Sheet. Refer to sequence of construction steps 3 & 4 for additional information regarding east parking lot.
 c. Clearwater diversion is omitted because no baseflow is present from point sources. All significant rainfall events

shall be dewatered through a sump pit and filter bag system.

d. The temporary pipes, filter bag (FB), and sump pit (SP) shall be field located by the contractor and are shown on the plan to illustrate potential alignments and placement. Additional SPs, FBs, and temporary pipes, at no additional cost, may be necessary.

e. The contractor shall sufficiently dewater the work areas before commencing any concrete installation.

f. The contractor to ensure that all final finish grade elevations of the parking lot match existing grades unless otherwise noted on the plans.

g. At any point along the length of the parking lot, the sequence of construction across the width of the parking lot must be construction of the up gradient half of drive aisle and adjoining parking bay(s) first, and construction of the down gradient half of drive aisle and adjoining parking bay(s) second, in order to protect newly installed pervious pavement on the down gradient side from contamination.

h. Prior to any type of construction related activities during the night time, the contractor needs to obtain written approval from the City.

3. Temporarily relocate dumpster to location shown on plan or as directed by the owner.

4. Begin construction at the parking lot located east of the concrete traffic circle with closing the access to parking. Necessary safety measures as approved by the city shall be put in place to inform the public that the construction is underway. The traffic circle pavement must be protected from damage with Plywood or Plastic during the construction.

5. Begin removal of the pavement for the parking lot east of the traffic circle. Contractor shall ensure that existing stone subbase to remain is not disturbed while removing the existing pervious pavement and prevent contamination or compaction of existing stone subbase. In Parking Bay 1, remove existing stone subbase and excavate subgrade per plan. Contractor shall prevent compaction of subgrade. Install new stone subbase with over drain in Parking Bay 1. Install the Pav Drain system in the parking bays and the conventional concrete drive aisle pavement according to the specifications provided with this plan set under the supervision of the professional geotechnical engineer of record. Protect newly installed pervious pavement area from contamination until the surrounding area is permanently stabilized.

6. Reopen the parking lot upon approval from Owner and Geotechnical Engineer in Record. Move the dumpster back to the original location.

7. Begin construction of the rest of the parking lot located west of the concrete traffic circle. Construction shall progress from eastern end of the parking lot and work out to the western end at the public right-of-way to avoid any possibilities of contamination of pervious pavement section about to be installed. Contractor shall coordinate with the Owner and Site Engineer the proposed phasing of work along the length of the parking lot to ensure an excessive number of parking spaces is not blocked at any one time and access is maintained for vehicles and pedestrians.

8. Begin removal of the pervious pavement for the parking lot west of the traffic circle. Contractor shall ensure that existing stone subbase to remain is not disturbed while removing the existing pervious pavement and prevent contamination or compaction of existing stone subbase. Install the Pav Drain system in the parking bays and the conventional concrete drive aisle pavement according to the specifications provided with this plan set under the supervision of the professional geotechnical engineer of record. Protect newly installed pervious pavement area from contamination until the surrounding area is permanently stabilized.

• Prior to the removal of the ADA parking spaces located adjacent to the community building, Contractor shall provide temporary ADA parking signage with temporary ADA ramp from parking lot to sidewalk in Parking Bay 1. Locations and quantity of temporary ADA parking spaces shall be coordinated with the Owner. Temporary signage and ramp may be removed after ADA parking spaces have been repaved and with approval from Owner and Geotechnical Engineer in Record.

• As construction reaches Parking Bay 3, remove existing stone subbase and excavate subgrade per plan. Contractor shall prevent compaction of subgrade. Install new stone subbase with over drain before installing Pav Drain system in Parking Bay 3.

- As construction progresses, reopen the completed sections of the parking lot upon approval from Owner and Geotechnical Engineer in Record.
- 9. Finish removal of the pervious pavement and installation of the Pav Drain System and conventional concrete drive aisle.
- 10. Mill and overlay the existing driveway entrance.
- 11. Install all pavement markings and signage.
- 12. With the approval of the City of Rockville Department of Public Works Sediment Control inspector, remove all sediment control devices and stabilize any remaining disturbed areas.
- 13. With the approval of the City of Rockville Forestry inspector, remove all tree protection devices, if any.
- 14. Turn over all close-out documentation to the owner as required by the project specifications.

LEGEND

LIMIT OF DISTURBANCE	LOD	EX. CONVENTIONAL CONCRETE TO BE REMOVED	[Symbol]
EX. WATER TO REMAIN	W	EXISTING CONCRETE TO REMAIN	[Symbol]
EX. SEWER WATER TO REMAIN	S	EX. FIRE HYDRANT TO REMAIN	[Symbol]
EX. OVERHEAD UTILITIES TO REMAIN	OHW	EX. ELECTRIC CAR CHARGING STATION TO REMAIN	[Symbol]
EX. GAS LINE TO REMAIN	G	EX. STORM DRAIN INLET TO REMAIN	[Symbol]
EX. TREE LINE	[Symbol]	EX. STORM DRAIN TO REMAIN	[Symbol]
SILT FENCE	SF	CONCRETE WASHOUT STRUCTURE	[Symbol]
SILT FENCE ON PAVEMENT	SFOP	STAGING AND STOCKPILING AREA	[Symbol]
STABILIZED CONSTRUCTION ENTRANCE	[Symbol]	AGIP	[Symbol]
FILTER BAG	FB	CIP	[Symbol]
SUMP PIT	SP		
AT-GRADE INLET PROTECTION	[Symbol]		
CURB INLET PROTECTION	[Symbol]		

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 Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors
 6305 Ivy Lane, Suite 710, Greenbelt, MD 20770 301-220-0600 Fax: 301-434-9394
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DESIGN AND QUANTITIES CERTIFICATION

"I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE LATEST MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND THE ORDINANCE OF THE ROCKVILLE CITY CODE. THE ESTIMATED TOTAL AMOUNT OF EXCAVATION AND FILL HAS BEEN COMPUTED TO BE 130 CUBIC YARDS OF EXCAVATION AND 130 CUBIC YARDS OF FILL AND THE TOTAL AREA TO BE DISTURBED AS SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE 0.96 ACRES, ALL OF WHICH IS ON-SITE. THE IMPERVIOUS AREA SUBJECT TO STORMWATER MANAGEMENT SHOWN ON THIS PLAN IS 0.96 ACRES, ALL OF WHICH IS ON-SITE."

Signature: *Ralph B. Barnhart*
 NAME: ROBYN A. BARNHART DATE: 4/22/2022
 MD. REG. NO.: 51074

OWNER'S/DEVELOPER'S CERTIFICATION

"I/WE HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT, OR ALL OF THESE, WILL BE DONE PURSUANT TO THIS PLAN AND THAT RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF TRAINING AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT AND THAT THE APPLICABLE SEDIMENT CONTROL CONDITIONS AND REQUIREMENTS OF THE CITY OF ROCKVILLE AND THE STATE OF MARYLAND AND ITS AGENCIES ARE HEREBY MADE PART OF THIS PLAN."

Signature: *Timothy Chesnut*
 OWNER/DEVELOPER SIGNATURE: Timothy Chesnut DATE: 4/6/2022

NOTES:
 1. THE ACCESS TO THE COMMUNITY CENTER BUILDING AND THE AMENITIES TO REMAIN OPEN THROUGHOUT THE DEMOLITION AND CONSTRUCTION.
 2. DEMOLITION SHALL BE PHASED AND COORDINATED ACCORDING TO THE SEQUENCE OF CONSTRUCTION ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
 3. TEMPORARY ADA PARKINGS TO BE ALLOCATED ACCORDING TO CONSTRUCTION PHASING.

BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION

DEPARTMENT OF PUBLIC WORKS
 CITY OF ROCKVILLE
 111 MARYLAND AVE. ROCKVILLE, MARYLAND

DESIGNED BY: SIV
 DRAFTED BY: ZOL
 CHECKED BY: SIV
 SUBMITTED BY: RAB

2022.04.27
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DESIGN PLAN APPROVAL

Craig L. Simoneau
 2022.04.27
 14:24:34-04'00"

APPROVAL DATE

AS-BUILT PLAN APPROVAL

CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE

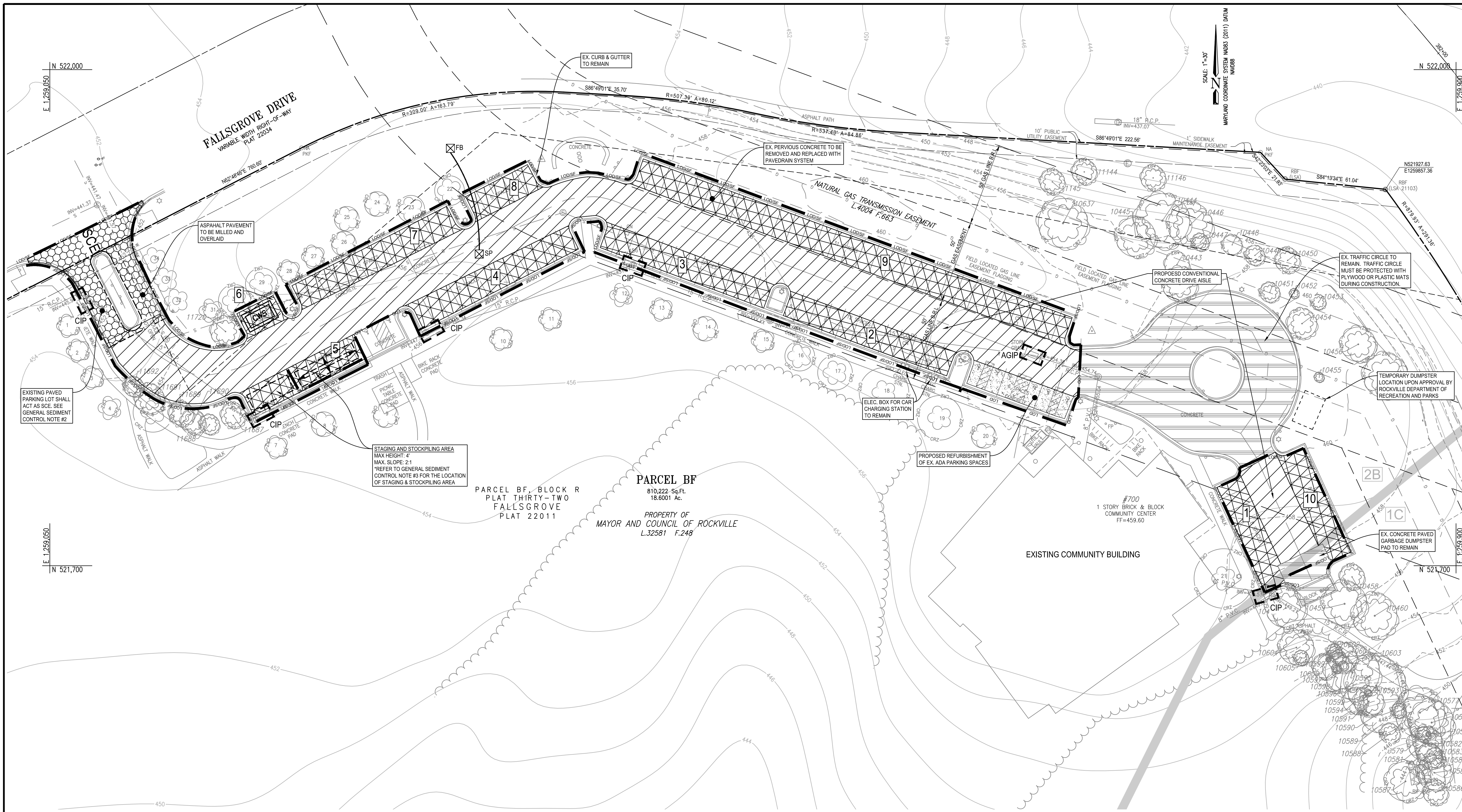
EROSION AND SEDIMENT CONTROL PLAN
 EXISTING CONDITIONS AND DEMOLITION PLAN

THOMAS FARM COMMUNITY CENTER
 PARCEL BF, BLOCK R
 ELECTION DISTRICT NO. 8
 CITY OF ROCKVILLE, MARYLAND

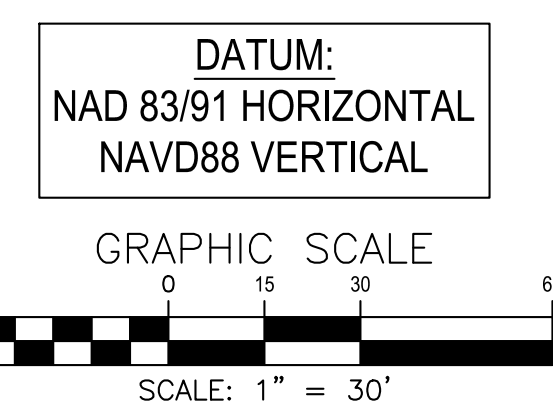
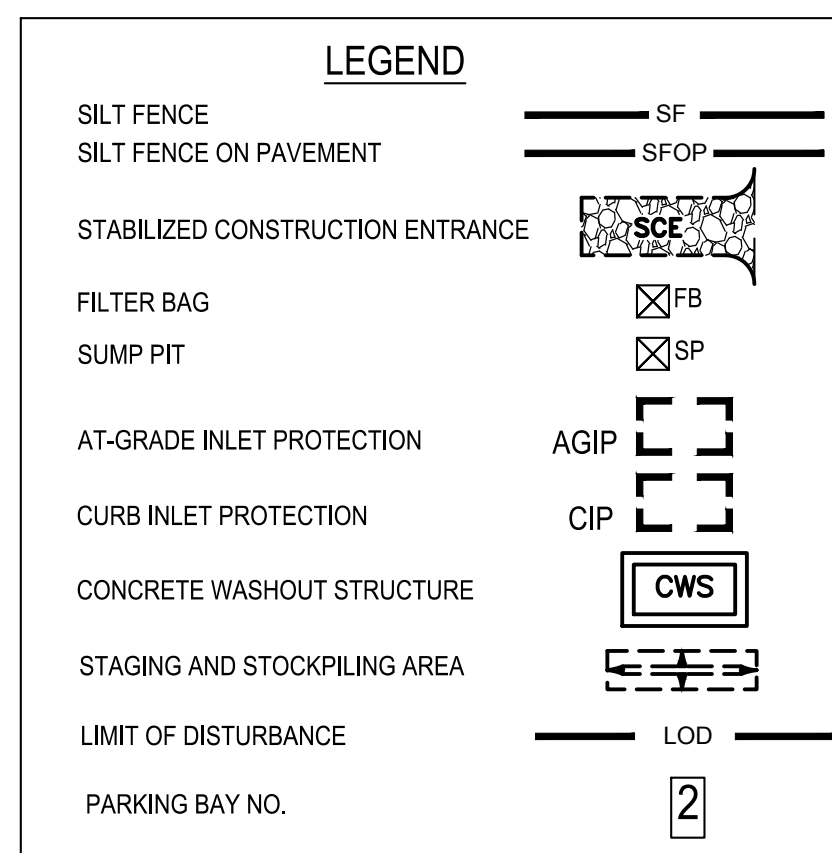
APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL

NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE

DATE SUBMITTED: MARCH, 2022
 SCALE: 1"=30'
 SHEET NO. 1 OF 3
 FILE #



- GENERAL SEDIMENT CONTROL NOTES**
- CONTRACTOR SHALL PROTECT NEWLY INSTALLED PERVIOUS PAVEMENT FROM CONTAMINATION.
 - THE EXISTING PAVED PARKING LOT SHALL SERVE AS THE STABILIZED CONSTRUCTION ENTRANCE AND A STONE ENTRANCE WILL NOT BE NEEDED. ALL CONSTRUCTION VEHICLES SHALL REMAIN ON PAVED AREAS TO AVOID TRACKING OF SEDIMENT OUT OF THE SITE.
 - IF THE CONTRACTOR NEEDS A STAGING/ STOCKPILE AREA, IT SHALL BE PLACED WITHIN THE LIMITS OF THE EXISTING PAVED PARKING LOT AND BE LOCATED ON EXISTING PAVEMENT. THE STAGING AND STOCKPILE AREA MAY BE RELOCATED AS WORK PROGRESSES THROUGH THE SITE. THE STAGING AND STOCKPILE AREA SHALL NEVER BE PLACED ON NEWLY INSTALLED PERVIOUS PAVEMENT AND SHALL ALWAYS BE DOWN GRADIENT OF NEWLY INSTALLED PERVIOUS PAVEMENT. MAXIMUM STOCKPILE HEIGHT SHALL NOT EXCEED 15' AND MAXIMUM SLOPE SHALL NOT EXCEED 2:1. CONTRACTOR SHALL USE SUPER SILT FENCE OR OTHER RESTRAINTS TO PREVENT MIGRATION OF THE STOCKPILED MATERIAL.
 - CONSTRUCTION SHALL BE PHASED TO MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS AT ALL TIMES. WORK AREAS SHALL BE LIMITED IN SIZE TO WHAT CAN BE FULLY COMPLETED WITHIN A REASONABLE AMOUNT OF TIME.
 - IF AN EXCAVATION TRENCH NEEDS TO BE DEWATERED, IT SHALL BE PUMPED INTO A FILTER BAG. THE FILTER BAG LOCATION SHALL BE COORDINATED WITH THE SEDIMENT CONTROL INSPECTOR AND DISCHARGE FROM THE FILTER BAG SHOULD BE DIRECTED AWAY FROM NEWLY INSTALLED PERVIOUS PAVEMENT.



THIS PLAN IS FOR SEDIMENT CONTROL ONLY

TOTAL LIMIT OF DISTURBANCE= 0.96 AC

OVERALL SHEET 9 OF 18

BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" AT WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION



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OWNER/APPLICANT:
CITY OF ROCKVILLE - RECREATION AND PARKS DEPARTMENT
111 MARYLAND AVENUE, ROCKVILLE, MD 20850
EMAIL: MDAZA@ROCKVILLEMD.GOV
PHONE: 240-314-8868

NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE

DEPARTMENT OF PUBLIC WORKS
CITY OF ROCKVILLE
111 MARYLAND AVE. ROCKVILLE, MARYLAND

DESIGNED BY: SIV
DRAFTED BY: ZOL
CHECKED BY: SIV
SUBMITTED BY: RAB

DESIGN PLAN APPROVAL
Craig L. Simoneau
2022.04.27 14:24:35-04'00"
P.W.# _____ SCP# SCP2022-00009
SMP# _____ REVIEWED BY _____
DIRECTOR OF PUBLIC WORKS APPROVAL DATE _____

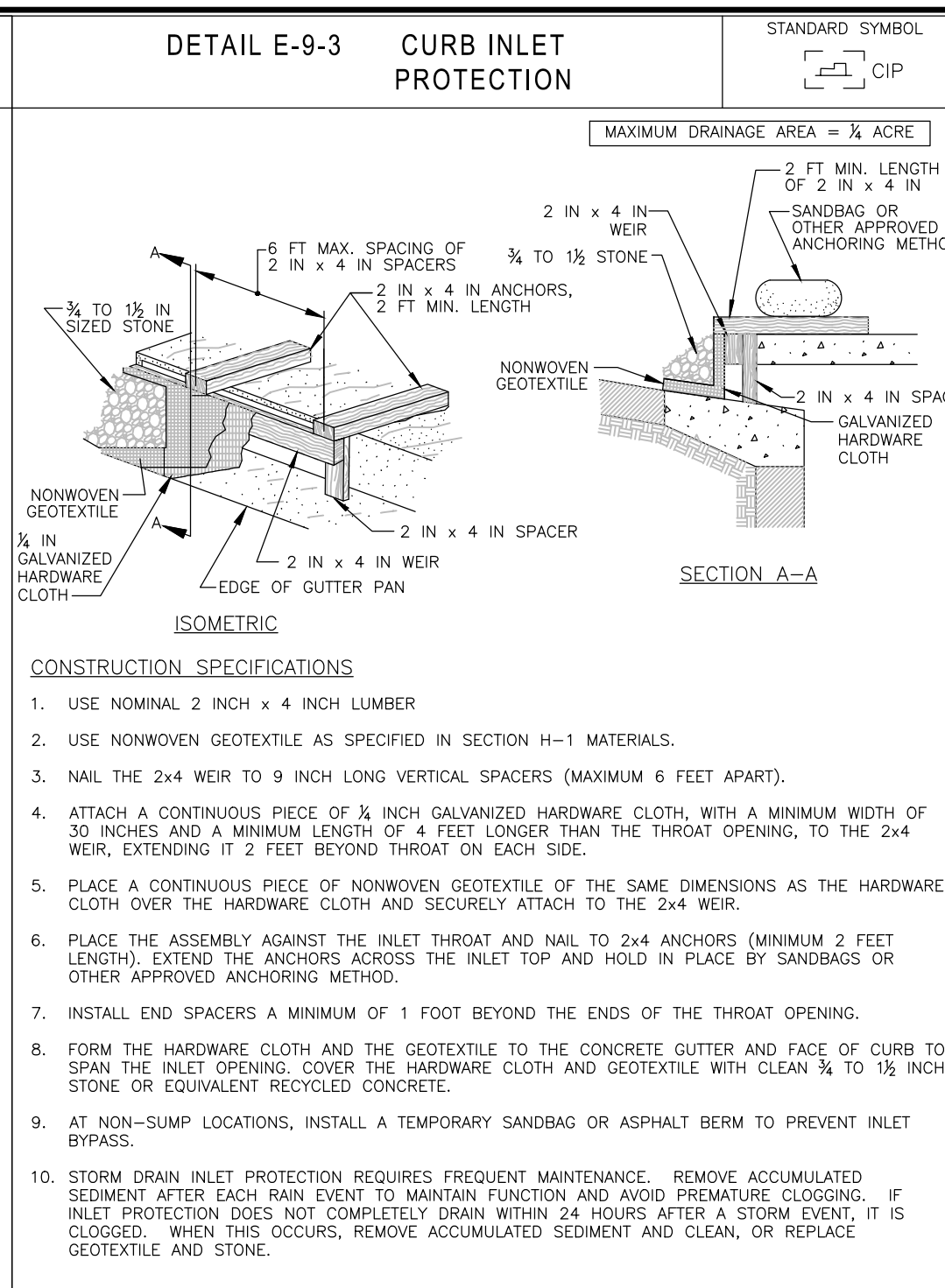
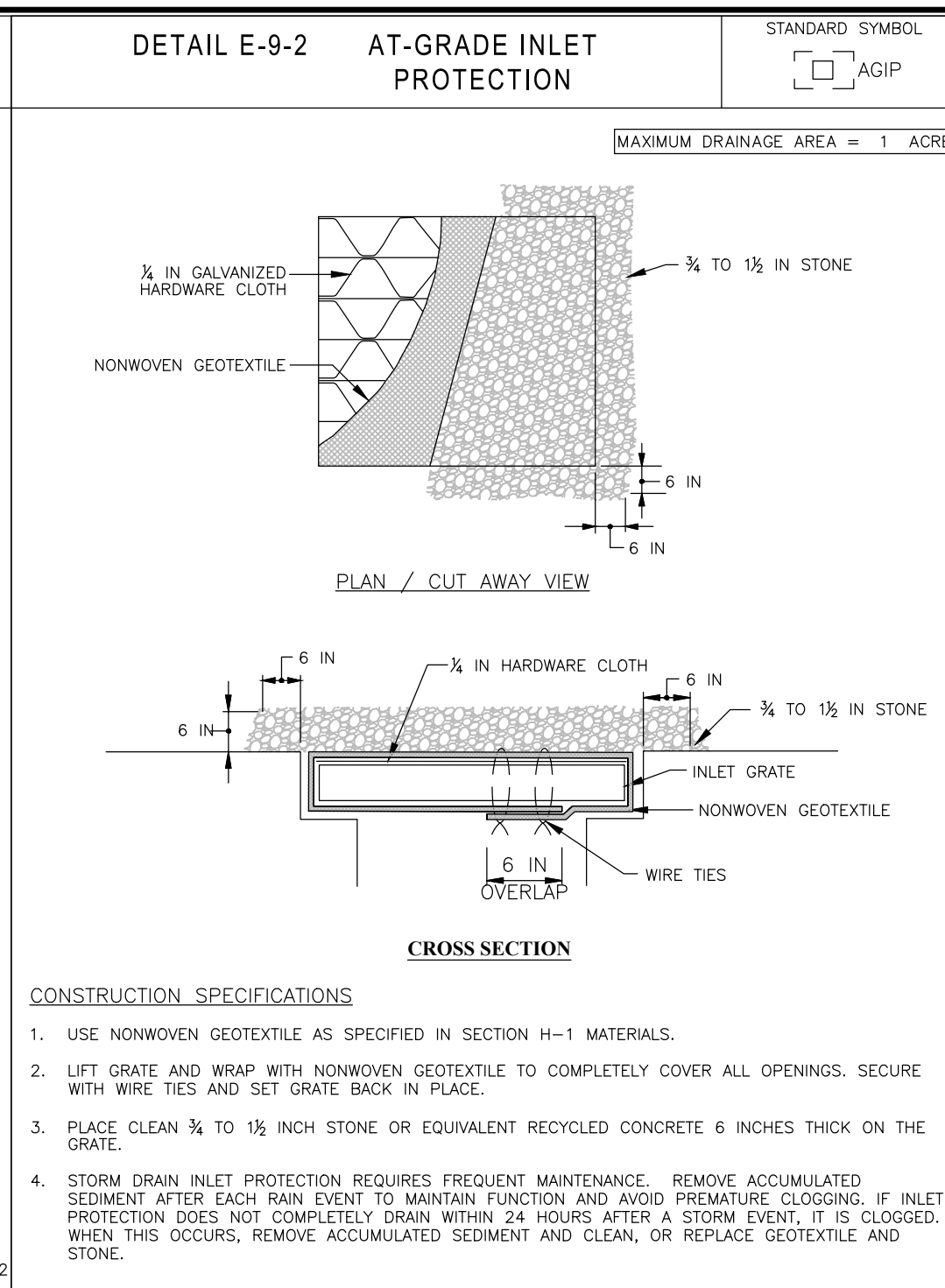
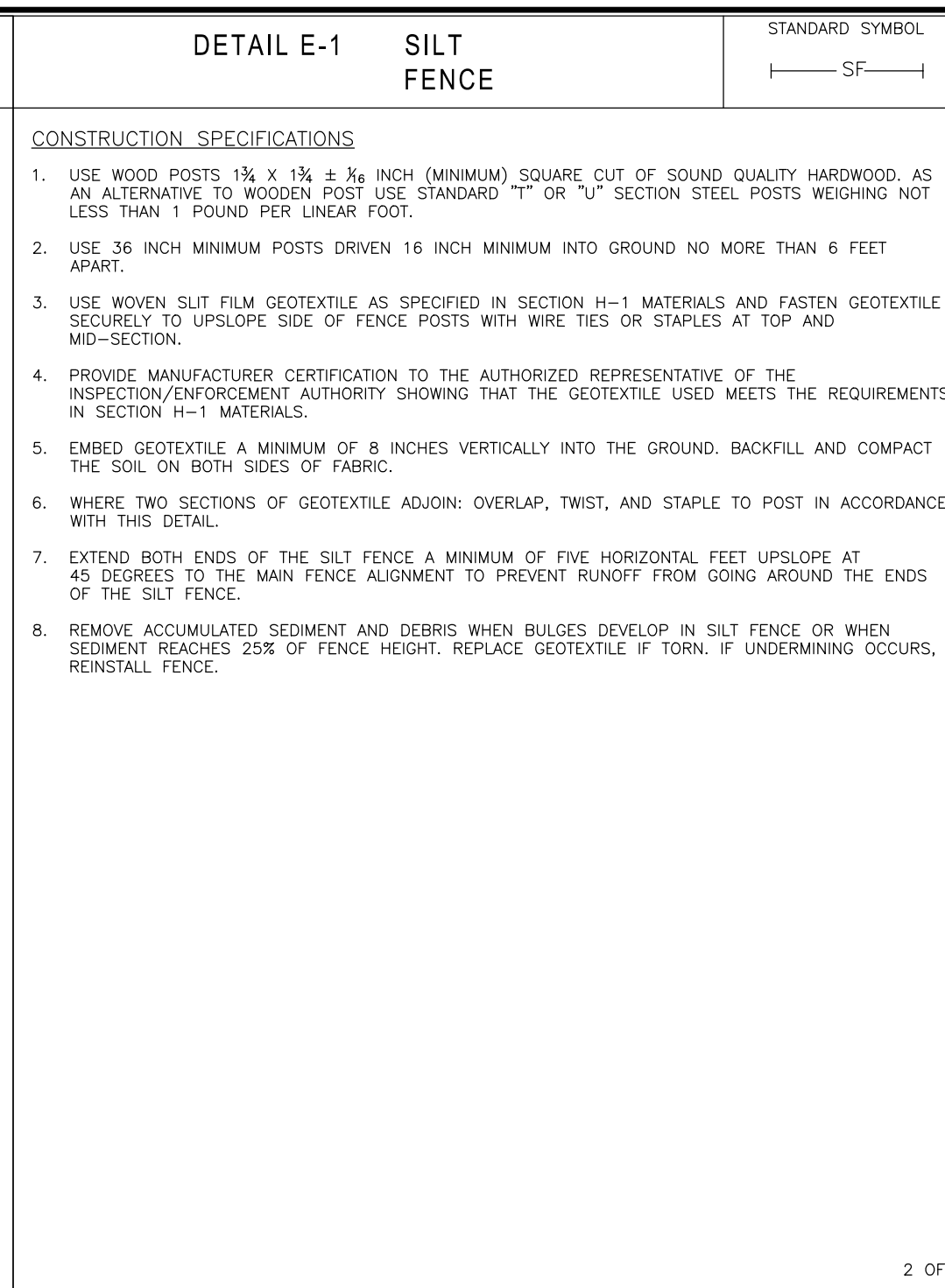
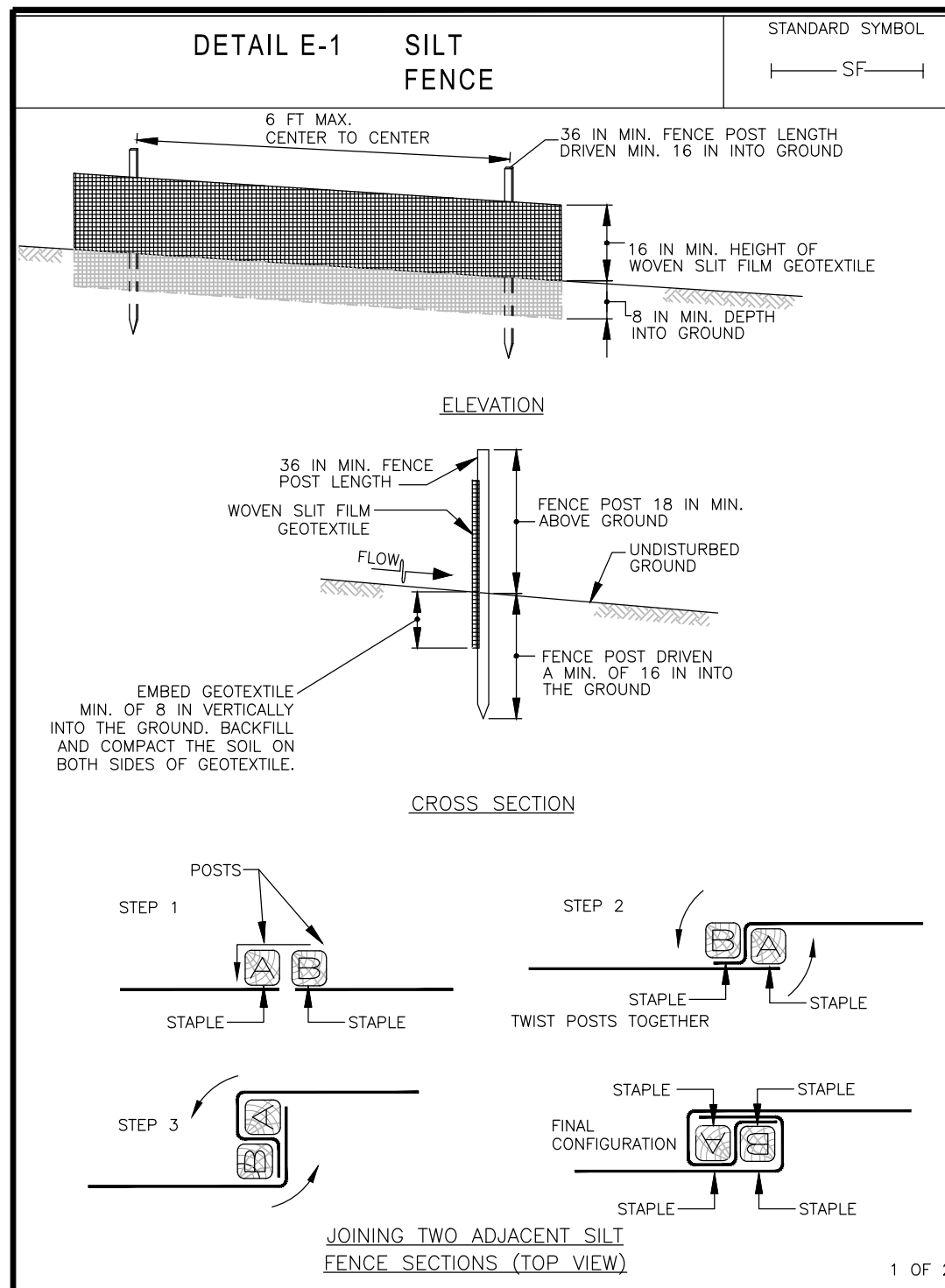
AS BUILT PLAN APPROVAL

CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE _____

EROSION AND SEDIMENT CONTROL PLAN
PROPOSED CONDITIONS

THOMAS FARM COMMUNITY CENTER
PARCEL BF, BLOCK R
ELECTION DISTRICT NO. 8
CITY OF ROCKVILLE, MARYLAND

APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL
DATE SUBMITTED: MARCH, 2022
SCALE: 1" = 30'
SHEET NO. 2 OF 3
FILE # _____



NOTE: ANY REFERENCE IN THE EROSION AND SEDIMENT CONTROL NOTES TO THE "APPLICANT" SHALL BE INTERPRETED AS REFERRING TO THE "CONTRACTOR". IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THESE REQUIREMENTS.

shall be performed in accordance with the most current Maryland Standards and Specifications for Soil Erosion and Sediment Control.

17. For finished grading, the Applicant shall provide adequate gradients so as to: (1) prevent water from standing on the surface of lawns more than 24 hours after the end of a rainfall, except in designated drainage courses and swale flow areas which may drain as long as 48 hours after the end of a rainfall, and (2) provide positive drainage away from all building foundations or openings.

18. Sediment traps or basins are not permitted within 20-feet of a building, which exists or is under construction. No building may be constructed within 20-feet of a sediment trap or basin.

19. All inlets in non-sump areas shall have asphalt berms installed at the time of base paving to direct runoff to inlets.

20. The DPW Sediment Control Inspector has the option of requiring additional sediment control measures, if deemed necessary.

21. All trap elevations are relative to the outlet elevation, which must be on existing undisturbed ground.

22. Vegetative stabilization shall be performed in accordance with the most current Maryland Standards and Specifications for Soil Erosion and Sediment Control.

23. Temporary sediment trap(s) shall be cleaned out and restored to the original dimensions when sediment has accumulated to a point one-half the depth between the outlet crest and the bottom of the trap.

24. Sediment removed from traps shall be placed and stabilized in approved areas in such a manner that it does not foul existing or proposed storm drainage systems or areas already stabilized. Sediment shall not be placed within a flood plain or wetland.

25. All sediment basins and traps must be surrounded with a welded wire safety fence. The fence must be at least 42 inches high, have posts spaced no farther apart than eight feet, have mesh openings no greater than two-inches in width and four-inches in height with a minimum of 14 gauge wire. Safety fence must be maintained in good condition at all times.

26. Off-site spoil or borrow areas must have approved sediment control plans.

27. Protect all trees to be preserved during construction in accordance with the approved Forest Conservation Plan.

28. The Applicant is responsible for all actions of contractor and subcontractors, including repairing damage to sediment control devices and existing infrastructure.

29. The Applicant shall comply with all provisions of the NPDES Construction Discharge Permit. A copy of the permit and all required reports shall be available on site at all times.

EROSION AND SEDIMENT CONTROL NOTES
November 2016

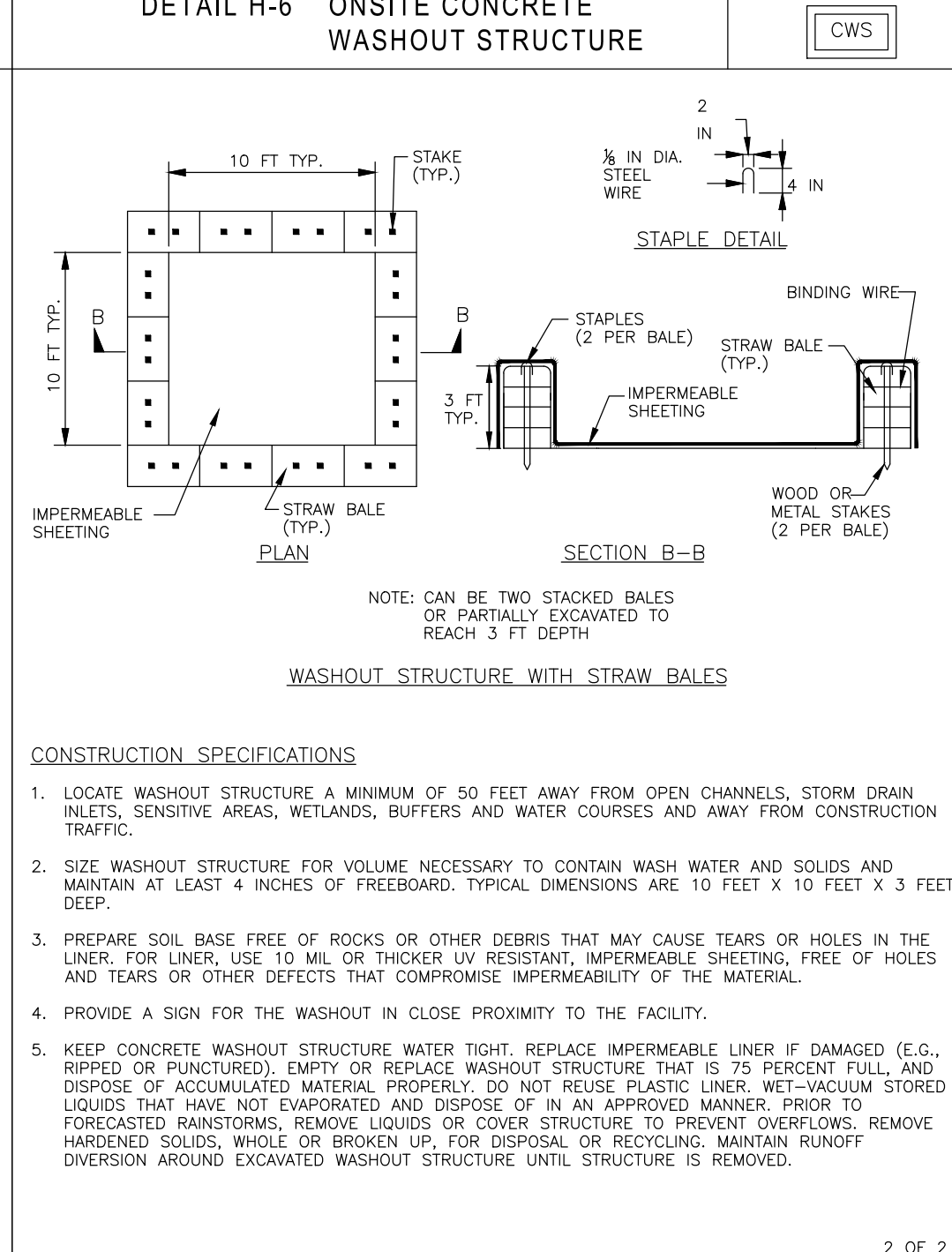
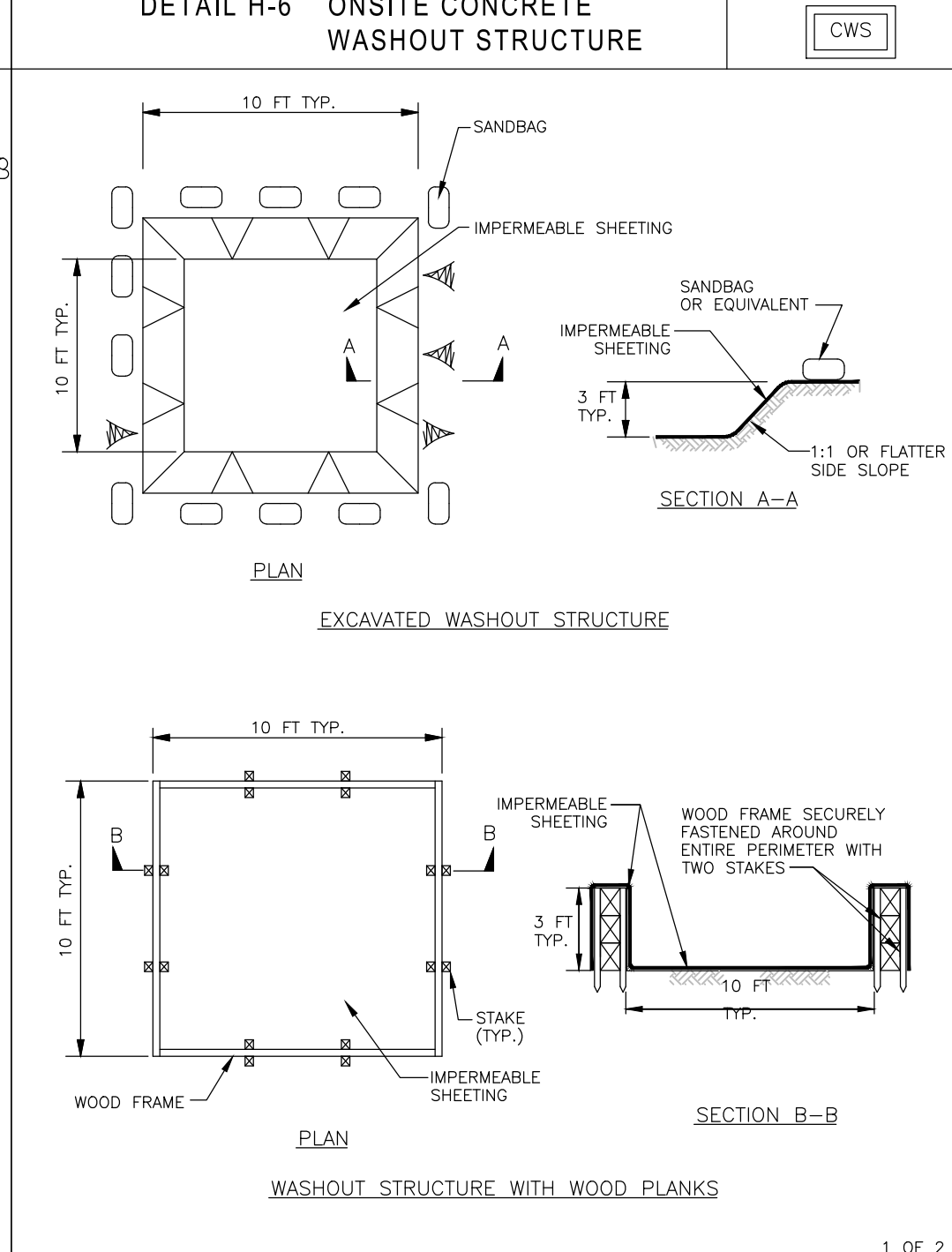
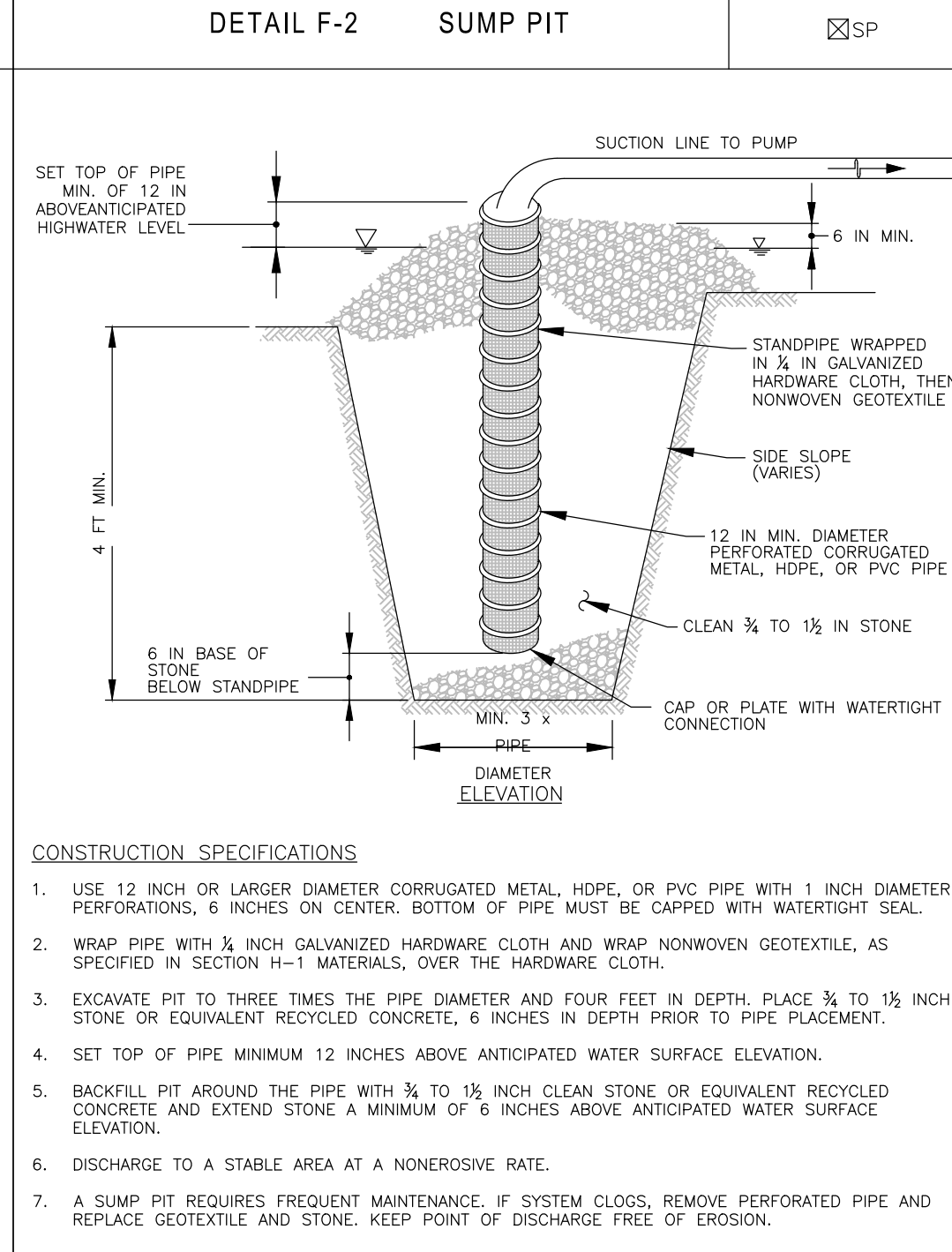
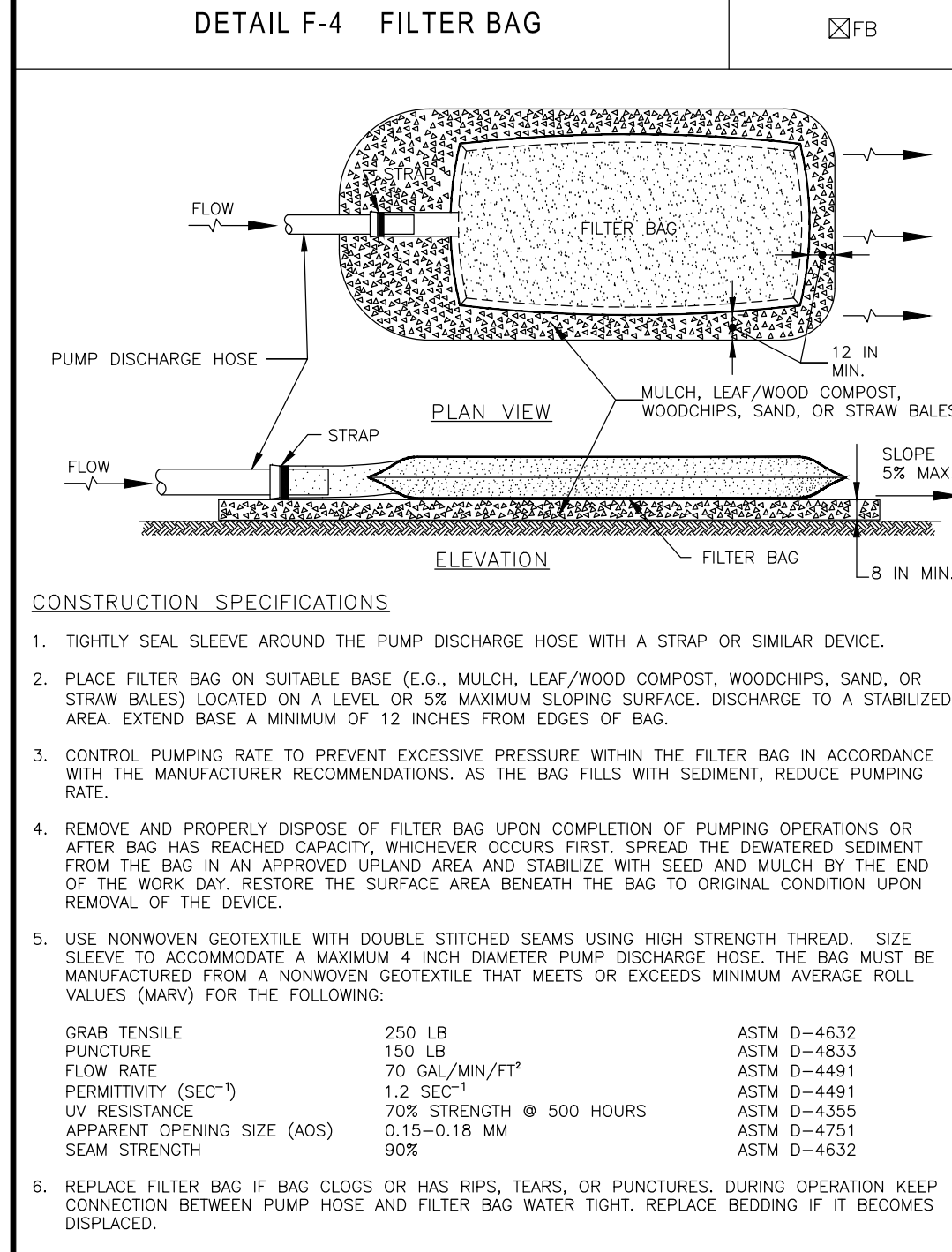
- The Applicant must obtain inspection and approval by the City of Rockville Department of Public Works (DPW) at the following points:
 - At the required preconstruction meetings.
 - Following installation of sediment control measures and prior to any other land disturbing activity.
 - During the installation of a sediment basin or stormwater management structure at the required inspection points (see Inspection Checklist on plan). Notification prior to commencing construction is mandatory.
 - Prior to removal or modification of any sediment control devices.
 - Prior to final acceptance.
- All erosion control measures are to be constructed and maintained in accordance with applicable published standards and specifications and the most current "Maryland Standards and Specifications for Soil Erosion and Sediment Control."
- The Applicant shall construct all erosion and sediment control measures per the approved plan and construction sequence, shall have them inspected and approved by DPW prior to beginning any other land disturbances, shall ensure that all runoff from disturbed areas is directed to the sediment control devices and shall not remove any erosion or sediment control measures without prior permission from DPW.
- All request for changes to the approved sediment control plan or sequence of construction must be submitted to the DPW Sediment Control Inspector and approved before implementing changes. Major changes will require a plan revision.
- The Applicant shall protect all points of construction ingress and egress to prevent the deposition of materials onto traversed public thoroughfare(s). All materials deposited onto public thoroughfare(s) shall be removed immediately.
- The Applicant shall inspect daily and maintain continuously in effective operating condition all erosion and sediment control measures until such time as they are removed with prior permission from the DPW Sediment Control Inspector.
- All sediment basins, trap embankments, swales, perimeter dikes and permanent slopes steeper or equal to 3:1 shall be stabilized with sod, seed and anchored straw mulch or other approved stabilization measures, within seven calendar days of establishment. All areas disturbed outside of the perimeter sediment control system must be minimized and stabilized immediately. Maintenance must be performed as necessary to ensure continued stabilization. Restabilization or overseeding will be required, if necessary.
- The Applicant shall apply sod, seed and anchored straw mulch, or other approved stabilization measures to all exposed areas within seven (7) calendar days after stripping and grading activities have ceased on that area. Maintenance shall be performed as necessary to ensure continued stabilization. Other active construction areas that are not being actively graded (i.e. routes for construction vehicles within a site) may be required to be stabilized at the direction of the inspector. Stockpiles, which have not been used for seven (7) calendar days, shall be stabilized through the application of sod, seed, and anchored straw mulch, or other approved stabilization methods.
- Prior to removal of sediment control measures, the Applicant shall stabilize all contributory disturbed areas using sod or an approved permanent seed mixture with required soil amendments and an approved anchored mulch. Wood fiber mulch may only be used in seeding season to promote sheet flow drainage. Areas brought to finished grade during the seeding season shall be permanently stabilized within seven (7) calendar days of establishment. When property is brought to finished grade during the months of November through February, and permanent stabilization is found to be impractical, approved temporary seed and straw anchored mulch shall be applied to disturbed areas. The final permanent stabilization of such property shall be completed prior to the following April 15.
- The site work, materials, approved Sediment Control and Stormwater Management Plans, and any required test reports shall be available, at the site for inspection by duly authorized officials of the City of Rockville.
- Surface drainage flows over unstabilized cut and fill slopes shall be controlled by either preventing drainage flows from traversing the slopes or by installing mechanical devices to lower the water downslope without causing erosion. Dikes shall be installed and maintained at the top of cut or fill slopes until the slope and drainage area to it are fully stabilized, at which time they must be removed and final grading done to promote sheet flow drainage. Mechanical devices must be provided at points of concentrated flow where erosion is likely to occur.
- Permanent swales or other points of concentrated water flow shall be stabilized with sod or seed with approved erosion control matting or by other approved stabilization measures.
- Temporary sediment control devices shall be removed, with permission of DPW, within 30 calendar days following establishment of permanent stabilization in all contributory drainage areas. If establishment is not full and uniform as determined by the DPW Sediment Control Inspector, overseeding will be required. Stormwater management structures used temporarily for sediment control shall be converted to the permanent configuration within this time period as well.
- No permanent cut or fill slope with a gradient steeper than 3:1 will be permitted in lawn maintenance areas. A slope gradient of up to 2:1 will be permitted in areas that are not to be maintained provided that those areas are indicated on the erosion and sediment control plan with a low-maintenance ground cover specified for permanent stabilization. Slope gradient steeper than 2:1 will not be permitted with vegetative stabilization.
- The Applicant shall install a splash block at the bottom of each downspout unless the downspout is connected by a drain line to an acceptable outlet.
- All water pumped from an excavation during construction shall be pumped either to sediment tanks and/or sediment traps. No water will be pumped to the storm drain system or swale. De-watering

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
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U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011

STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil on a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies
This practice is limited to areas having 2:1 or flatter slopes.

For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications
Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications.

Topsoil Specifications - Soil to be used as topsoil must meet the following:

- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by DPWS. Regardless, topsoil shall not be a mixture of contrasting textured subsoils, and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
- The subsoil shall be tilled to a minimum depth of 6 inches before placement of topsoil.
- Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 lbs per 1000 sq ft) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil.
- Topsoil shall be tested and amended as per soil test recommendations.
- Topsoil Application.**
 - When topsoiling, maintain needed erosion and sediment control practices.
 - Topsoil shall be uniformly distributed in a 4-8 inch layer and lightly compacted to a minimum thickness of 4 inches. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
 - Topsoil shall not be placed while the topsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION

DEPARTMENT OF PUBLIC WORKS
CITY OF ROCKVILLE
111 MARYLAND AVE. ROCKVILLE, MARYLAND

DESIGNED BY: SIV
DRAFTED BY: ZOL
CHECKED BY: SIV
SUBMITTED BY: RAB

DESIGN PLAN APPROVAL
AS BUILT PLAN APPROVAL
Craig L. Simoneau
2022.04.27
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THOMAS FARM COMMUNITY CENTER
EROSION AND SEDIMENT CONTROL NOTES & DETAILS

THOMAS FARM COMMUNITY CENTER
PARCEL BF, BLOCK R
ELECTION DISTRICT NO. 8
CITY OF ROCKVILLE, MARYLAND



NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE

APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL
DATE SUBMITTED: MARCH, 2022
SCALE: 1"=30'
SHEET NO. 3 OF 3
FILE #

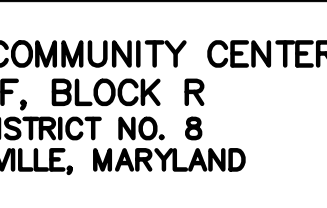


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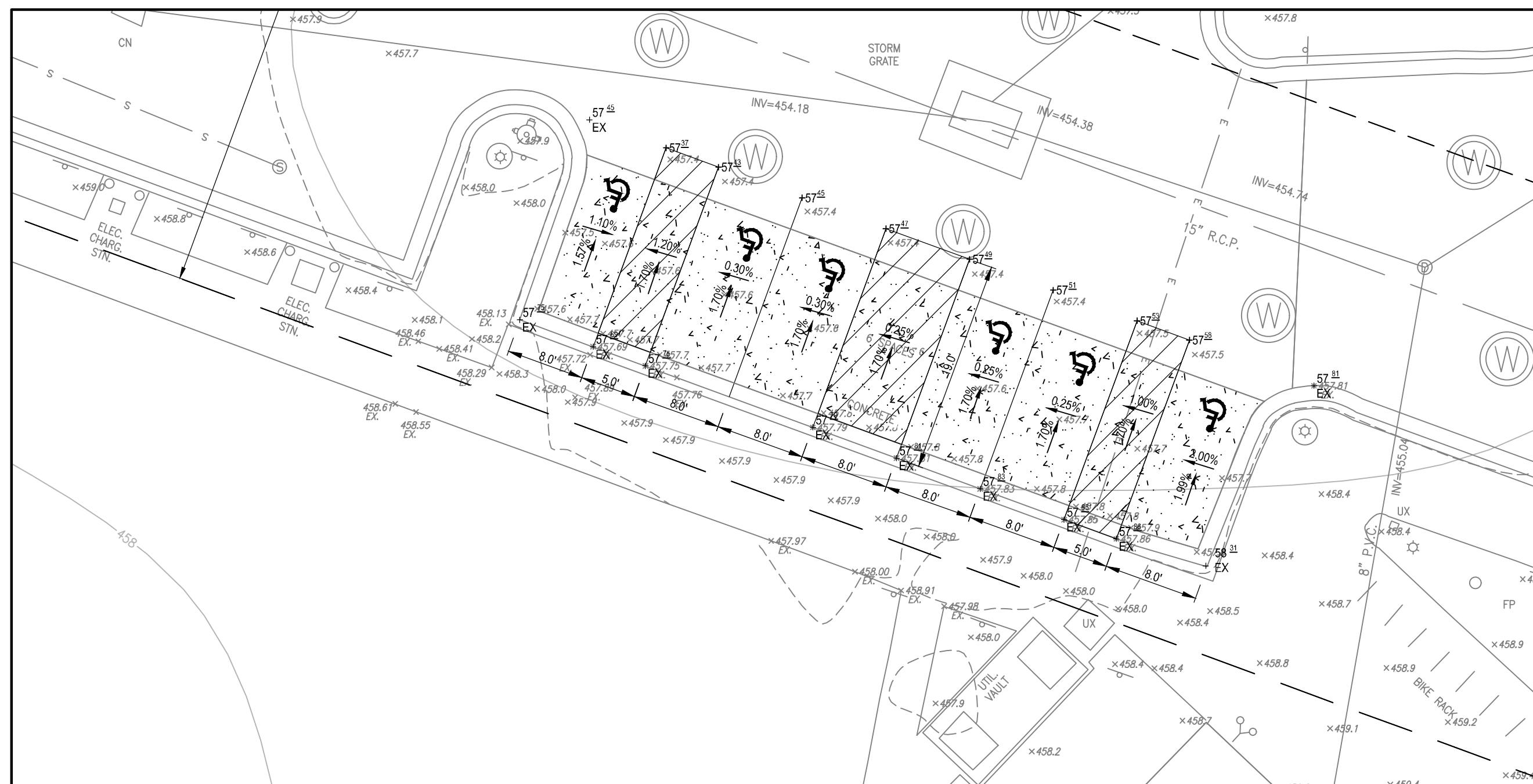
THOMAS FARM COMMUNITY CENTER
EROSION AND SEDIMENT CONTROL NOTES & DETAILS

THOMAS FARM COMMUNITY CENTER
PARCEL BF, BLOCK R
ELECTION DISTRICT NO. 8
CITY OF ROCKVILLE, MARYLAND



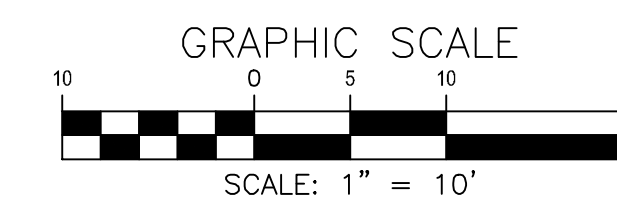
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DATE SUBMITTED: MARCH, 2022
SCALE: 1"=30'
SHEET NO. 3 OF 3
FILE #



ADA PLAN VIEW 1
SCALE: 1" = 10'

DATUM:
NAD 83/91 HORIZONTAL
NAVD88 VERTICAL

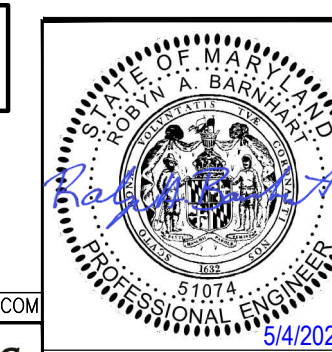


OVERALL SHEET 12 OF 18

- GENERAL STORM DRAIN AND PAVING NOTES**
1. ALL STORM DRAIN AND PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST GENERAL SPECIFICATIONS AND STANDARD DETAILS OF THE MARYLAND STATE HIGHWAY ADMINISTRATION, MONTGOMERY COUNTY, AND THE CITY OF ROCKVILLE UNLESS OTHERWISE NOTED.
 2. UNLESS OTHERWISE SPECIFIED, ALL STORM DRAIN PIPES SHALL BE INSTALLED WITH THE MONTGOMERY COUNTY STANDARD "C" SHAPED SUBGRADE BEDDING OR BETTER.
 3. ALL PUBLIC STORM DRAIN SHALL BE A MINIMUM CLASS IV RUBBER GASKET REINFORCED CONCRETE PIPE IN ACCORDANCE WITH THE LATEST VERSIONS OF ASTM C-76 AND ASTM C-443.
 4. IF SPRINGHEADS ARE ENCOUNTERED IN ANY PHASE DURING CONSTRUCTION, CONSTRUCTION MUST BE STOPPED UNTIL THEY ARE CAPPED AND PIPED TO A STORM DRAIN OR STREAM AS DIRECTED BY THE CITY.
 5. PROVIDE POSITIVE DRAINAGE OF ALL AREAS DISTURBED BY CONSTRUCTION. MINIMUM SLOPE IN PAVED AREAS IS ONE PERCENT. MINIMUM SLOPE OF GRADED AREAS IS TWO PERCENT. MAXIMUM SLOPE ON EARTH BANKS IS 3:1.
 6. WHEN THING INTO EXISTING PAVEMENT, SAW CUT EXISTING PAVING EDGE TO PROVIDE A CLEAN, STRAIGHT, AND VERTICAL JOINT. WHEN REMOVING EXISTING CURB OR SIDEWALK, REMOVE TO THE NEAREST JOINT.
 7. PAVING CONTRACTOR IS RESPONSIBLE FOR ADJUSTING UTILITY TOPS TO FINISHED GRADE.
 8. APPLICANT IS RESPONSIBLE FOR INSTALLING ALL PAVEMENT MARKINGS AND SIGNAGE IN ACCORDANCE WITH THE FINAL PAVEMENT MARKING AND SIGNAGE PLAN, WHICH IS APPROVED BY THE CHIEF OF TRAFFIC AND TRANSPORTATION.
 9. FOR PAVEMENT SECTIONS OF PRIVATE DRIVEWAYS AD PARKING LOTS, REFER TO ZONING AND PLANNING ORDINANCE, 25.16.06D. - PARKING DESIGN STANDARDS - PAVING SPECIFICATIONS.

- STORMWATER MANAGEMENT NOTES**
1. ALL PERVIOUS PAVEMENTS SHALL HAVE OVERDRAIN OR UNDERDRAIN CONNECTIONS TO EXISTING STORM DRAIN STRUCTURES.

THIS PLAN IS FOR PAVING ONLY



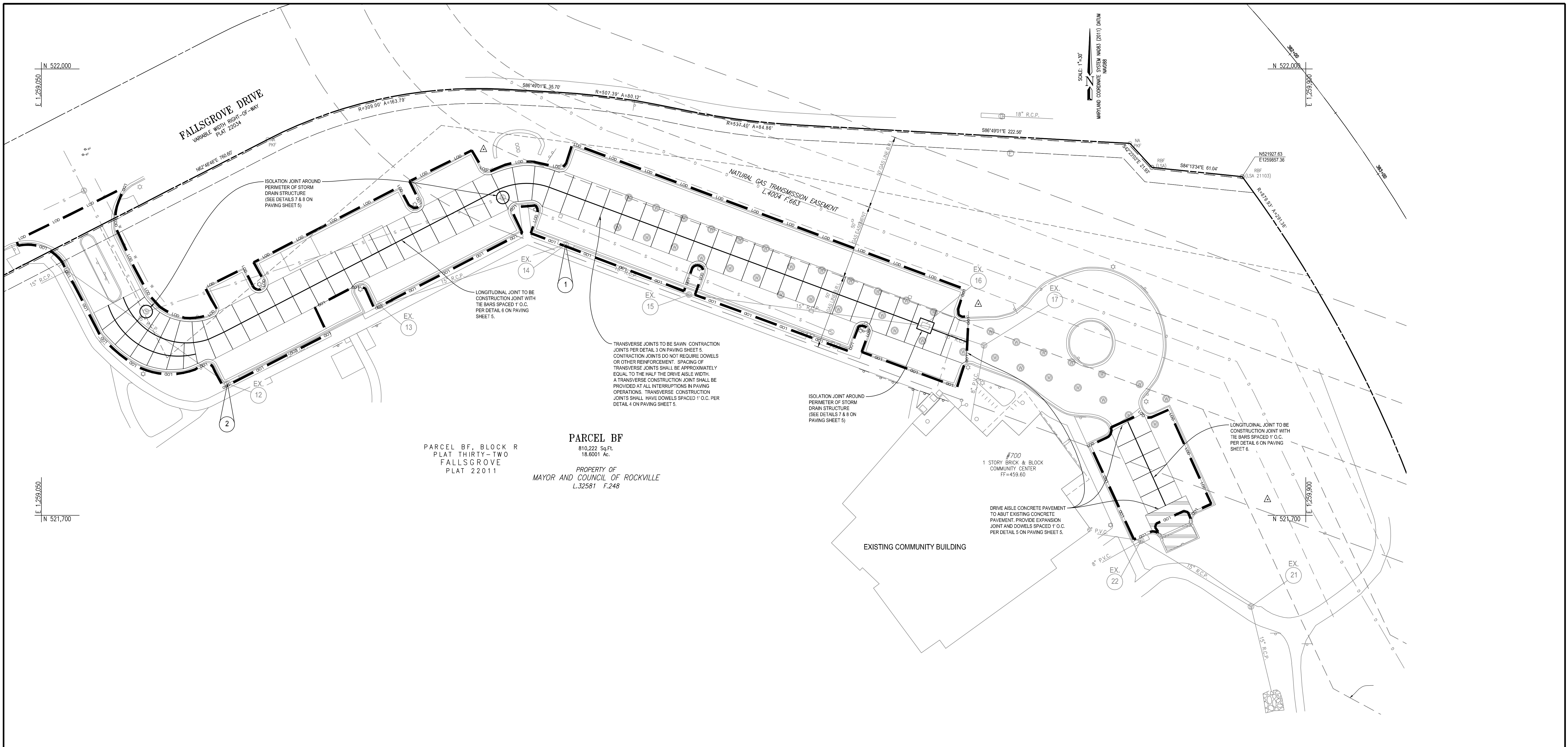
OWNER/APPLICANT:
CITY OF ROCKVILLE - RECREATION AND PARKS DEPARTMENT
111 MARYLAND AVENUE, ROCKVILLE, MD 20850
EMAIL: MDAZA@ROCKVILLEMD.GOV
PHONE: 240-314-8608

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BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION

<p>DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 MARYLAND AVE. ROCKVILLE, MARYLAND</p>	DESIGNED BY: SIV DRAFTED BY: ZOL CHECKED BY: SIV SUBMITTED BY: RAB	DESIGN PLAN APPROVAL _____ P.W.K.# _____ SCP# _____ SMP# _____ REVIEWED BY _____ DIRECTOR OF PUBLIC WORKS APPROVAL DATE _____	AS BUILT PLAN APPROVAL _____ CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE _____	THOMAS FARM COMMUNITY CENTER PERVIOUS PARKING LOT REPLACEMENT PAVING PLAN	THOMAS FARM COMMUNITY CENTER PARCEL BF, BLOCK R ELECTION DISTRICT NO. 8 CITY OF ROCKVILLE, MARYLAND	DATE SUBMITTED: MARCH, 2022	SCALE 1" = 30'	SHEET NO. <u>2</u> OF <u>6</u>	FILE # _____
	APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL					APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL			



PARCEL BF, BLOCK R
PLAT THIRTY-TWO
FALLSGROVE
PLAT 22011

810,222 Sq.Ft.
18,6001 Ac.

PROPERTY OF
MAYOR AND COUNCIL OF ROCKVILLE
 L.32581 F.248

TRANSVERSE JOINTS TO BE SAWN CONSTRUCTION JOINTS PER DETAIL 3 ON PAVING SHEET 5. CONSTRUCTION JOINTS DO NOT REQUIRE DOWELS OR OTHER REINFORCEMENT. SPACING OF TRANSVERSE JOINTS SHALL BE APPROXIMATELY EQUAL TO THE HALF THE DRIVE AISLE WIDTH. A TRANSVERSE CONSTRUCTION JOINT SHALL BE PROVIDED AT ALL INTERRUPTIONS IN PAVING OPERATIONS. TRANSVERSE CONSTRUCTION JOINTS SHALL HAVE DOWELS SPACED 1' O.C. PER DETAIL 4 ON PAVING SHEET 5.

GENERAL JOINT NOTES

1. ALL JOINT LAYOUT AND SPACING IS APPROXIMATE AND FOR INFORMATION ONLY. FINAL JOINT LAYOUT TO BE DETERMINED BY THE CONTRACTOR AS PART OF THE PHASING OF CONCRETE PLACEMENT. ALL JOINTS IN CONCRETE PARKING LOT SHALL BE PLACED UNDER THE GUIDANCE OF SPECIFICATION ACI 330.1-03 AND 330R-08. MAXIMUM JOINT SPACING IS 13 FT.
2. CONTRACTOR TO SUBMIT FOR APPROVAL THE PROPOSED PHASING, TIMING, CLOSURE SEQUENCE, AND JOINT LAYOUT FOR THE ENTIRE PROJECT AREA AT LEAST 30 DAYS PRIOR TO ANY PAVEMENT DEMOLITION.
3. SEE STORMWATER MANAGEMENT PLAN SET FOR PAVEDRAIN NOTES AND DETAILS INCLUDING JOINTS AND ABUTMENT DETAILS.
4. FOR TRANSVERSE JOINTS THAT DO NOT ALIGN WITH THE REGULARLY SPACED JOINTS IN ADJACENT PAVEMENT, PROVIDE TIE BARS PER DETAIL 6 ON PAVING SHEET 5.

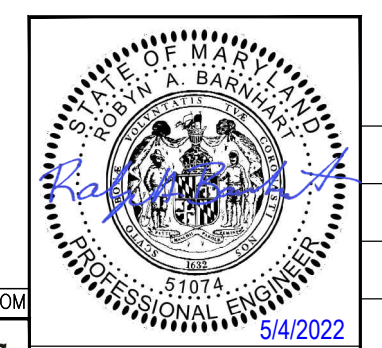
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THIS PLAN IS FOR PAVING ONLY

DATUM:
 NAD 83/91 HORIZONTAL
 NAVD88 VERTICAL

OVERALL SHEET 13 OF 18

OWNER/APPLICANT:
 CITY OF ROCKVILLE - RECREATION AND PARKS DEPARTMENT
 111 MARYLAND AVENUE, ROCKVILLE, MD 20850
 EMAIL: MDAZA@ROCKVILLEMD.GOV
 PHONE: 240-314-8668



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NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE

DEPARTMENT OF PUBLIC WORKS
 CITY OF
ROCKVILLE
 111 MARYLAND AVE. ROCKVILLE, MARYLAND

DESIGNED BY: SIV
 DRAFTED BY: ZOL
 CHECKED BY: SIV
 SUBMITTED BY: RAB

DESIGN PLAN APPROVAL
 _____ PWK# _____ SCP# _____
 _____ SMP# _____ REVIEWED BY _____
 DIRECTOR OF PUBLIC WORKS APPROVAL DATE

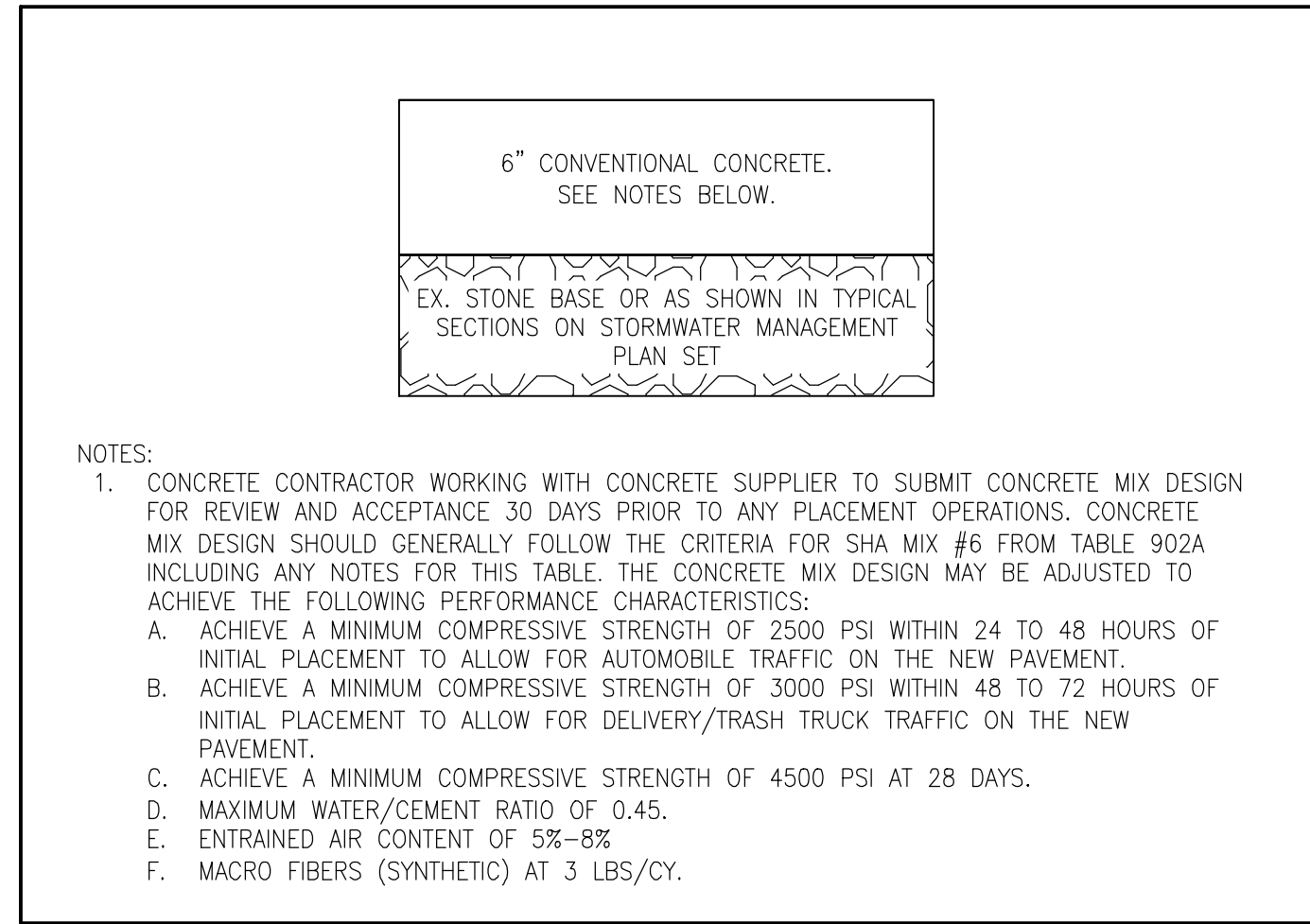
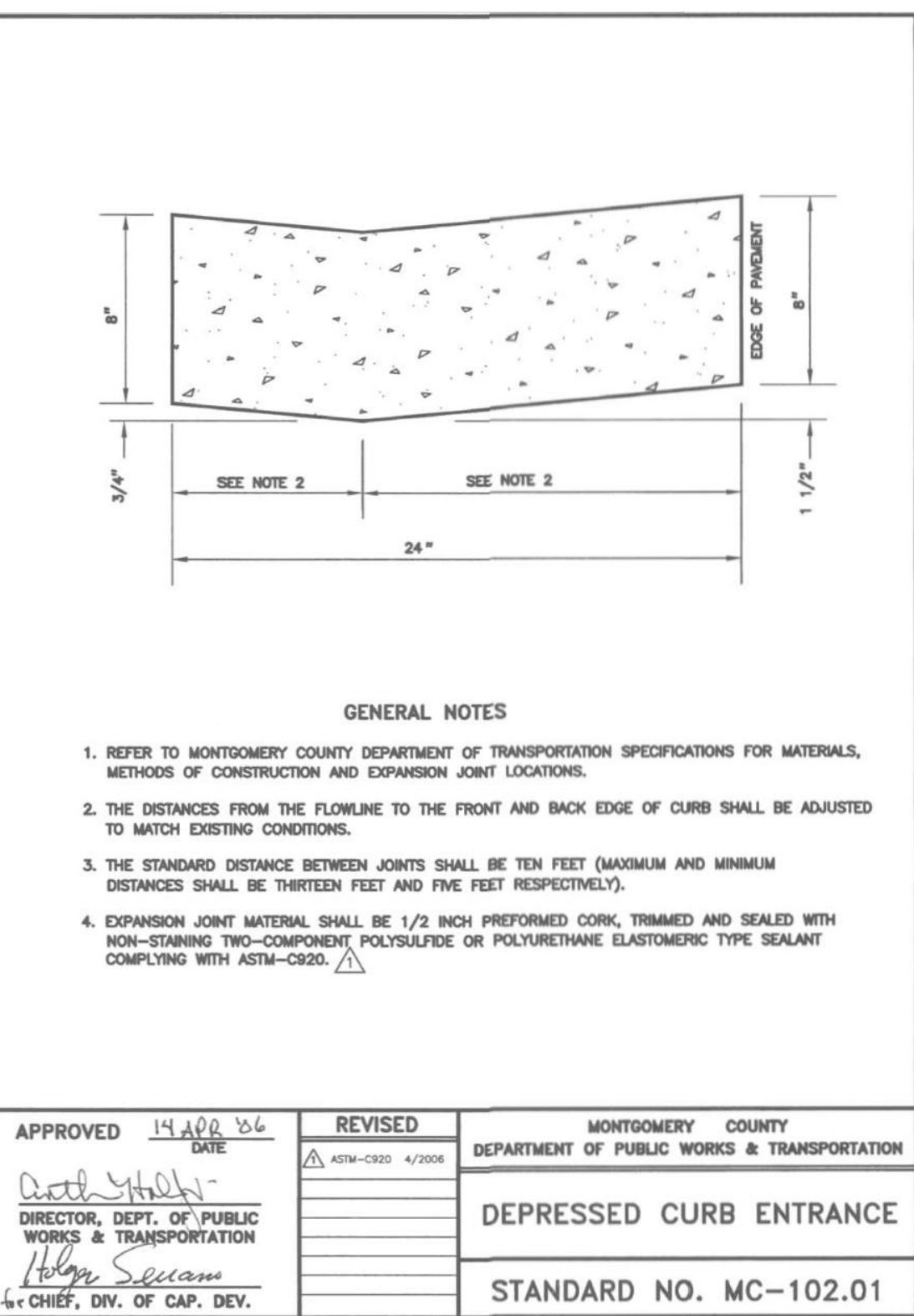
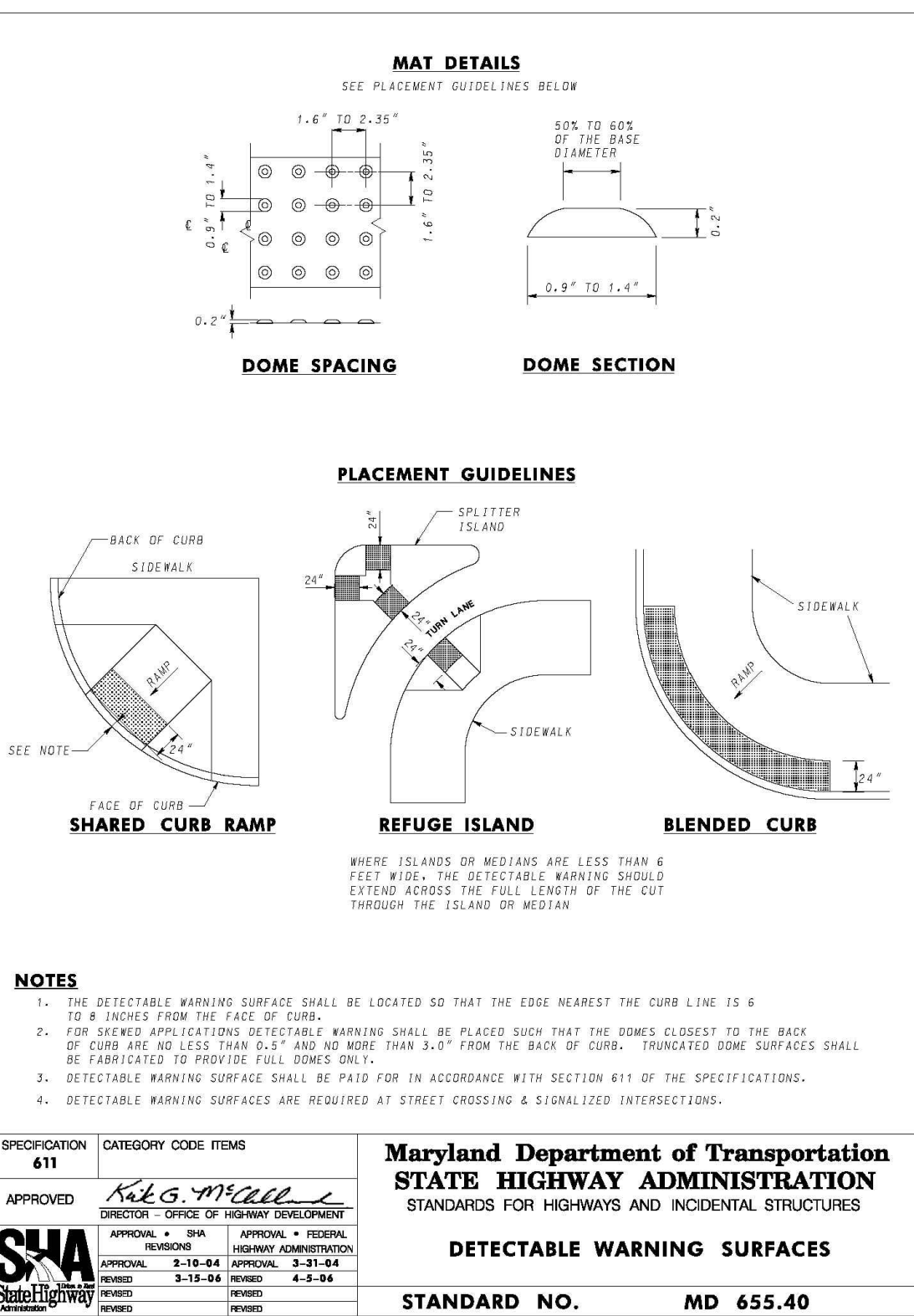
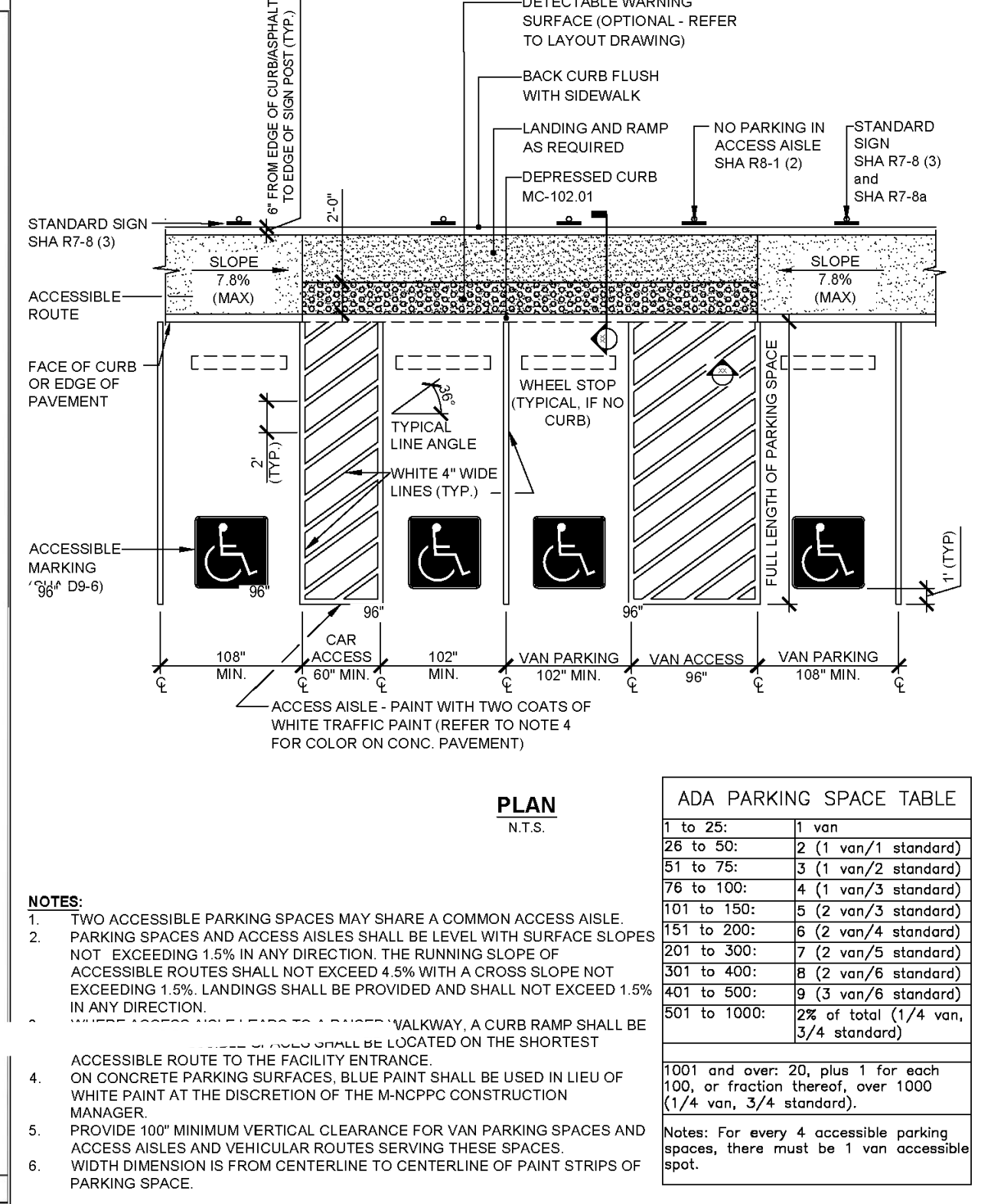
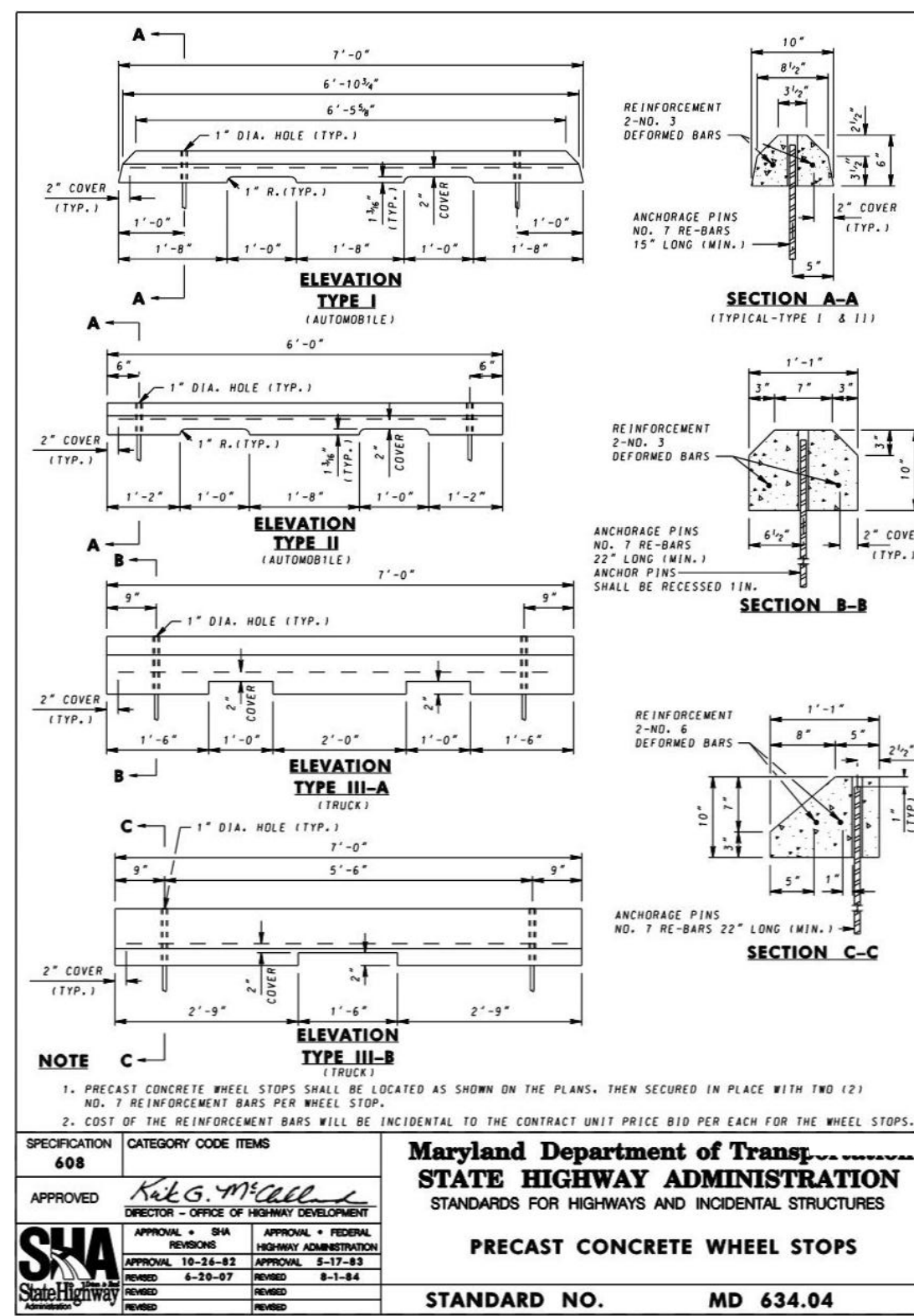
AS BUILT PLAN APPROVAL

 CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE

THOMAS FARM COMMUNITY CENTER
PERVIOUS PARKING LOT REPLACEMENT
JOINT SPACING PLAN

THOMAS FARM COMMUNITY CENTER
PARCEL BF, BLOCK R
ELECTION DISTRICT NO. 8
CITY OF ROCKVILLE, MARYLAND

DATE SUBMITTED: **MARCH, 2022**
 SCALE: 1"=30'
 SHEET NO. 3 OF 6
 FILE # _____

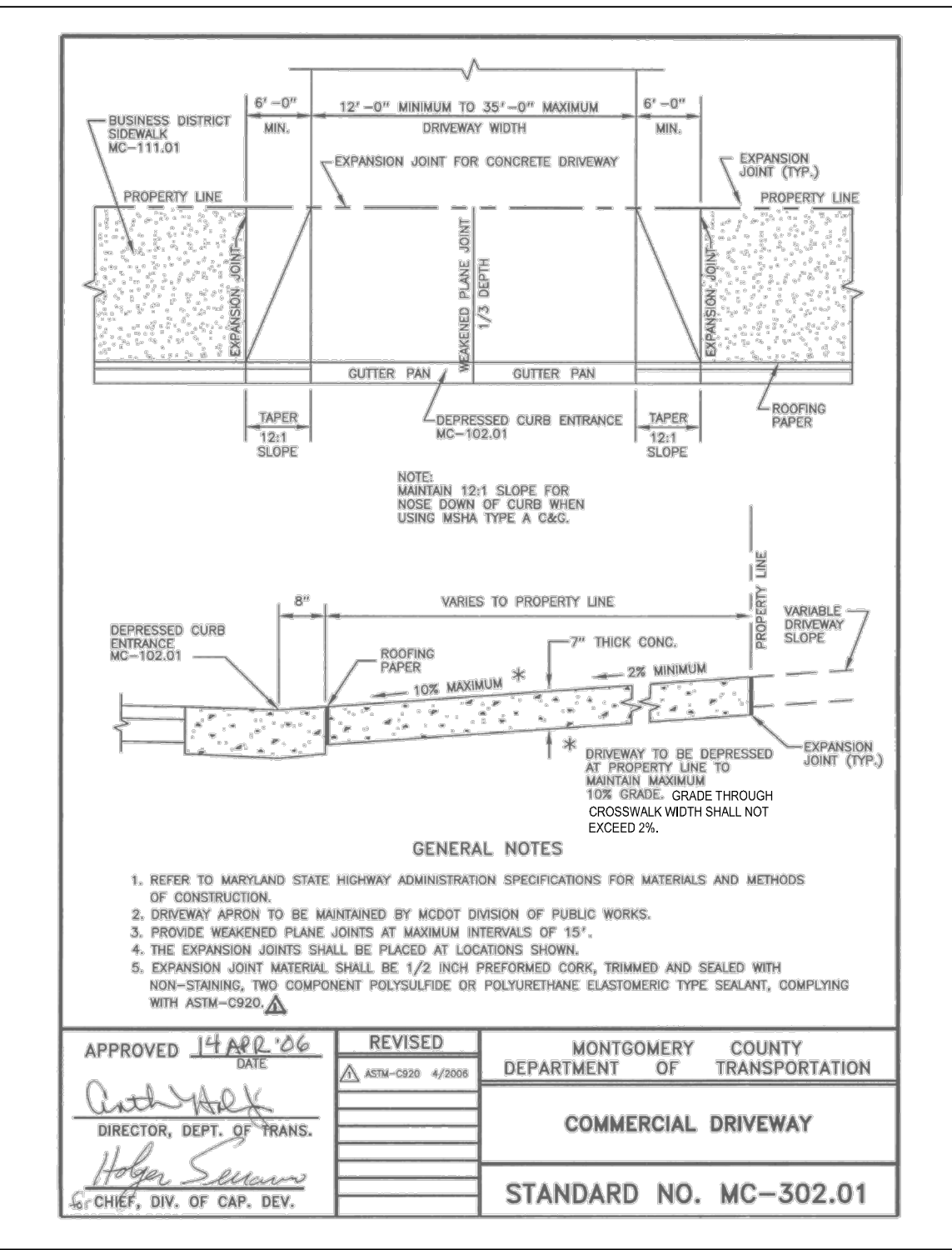
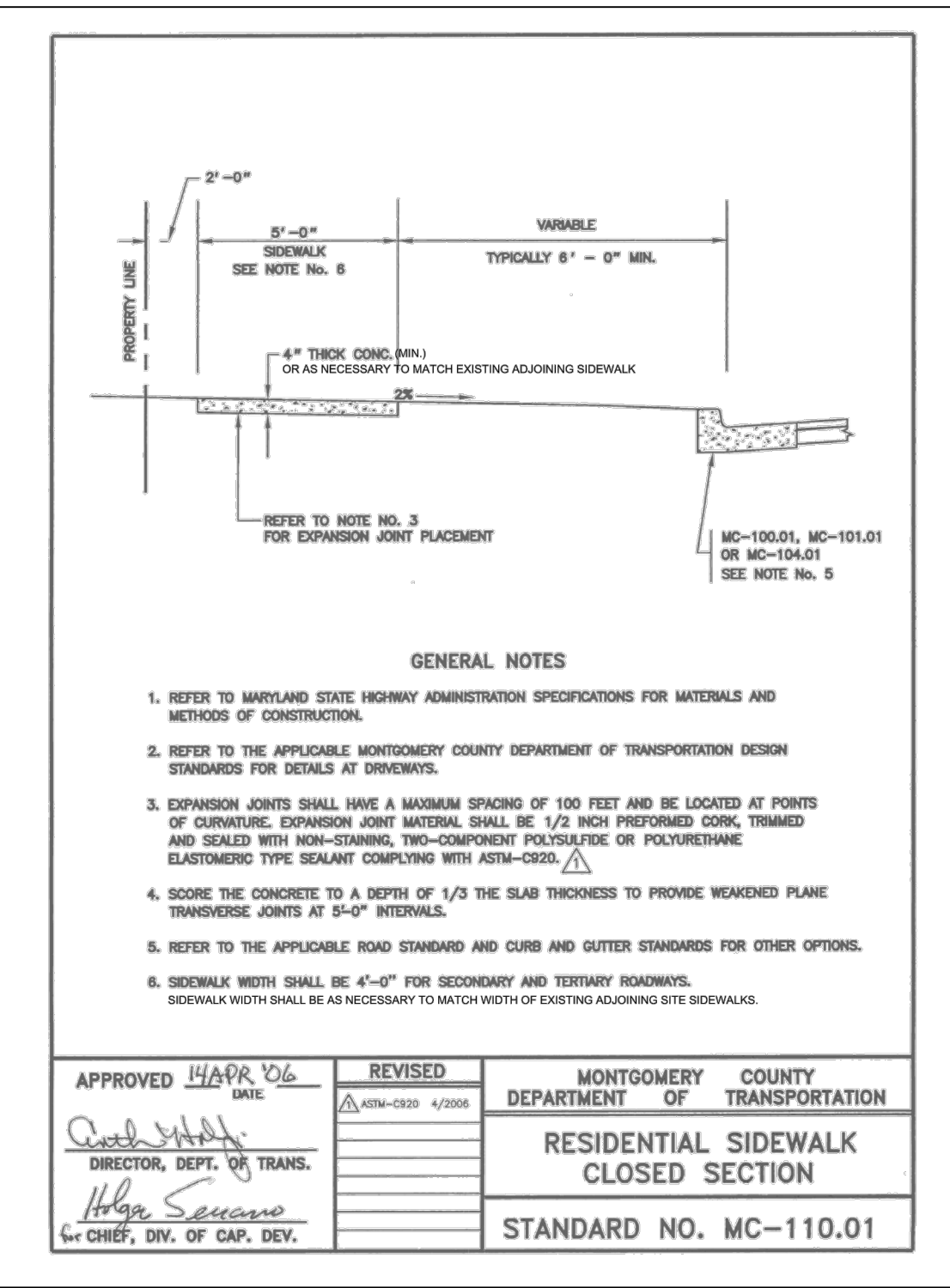
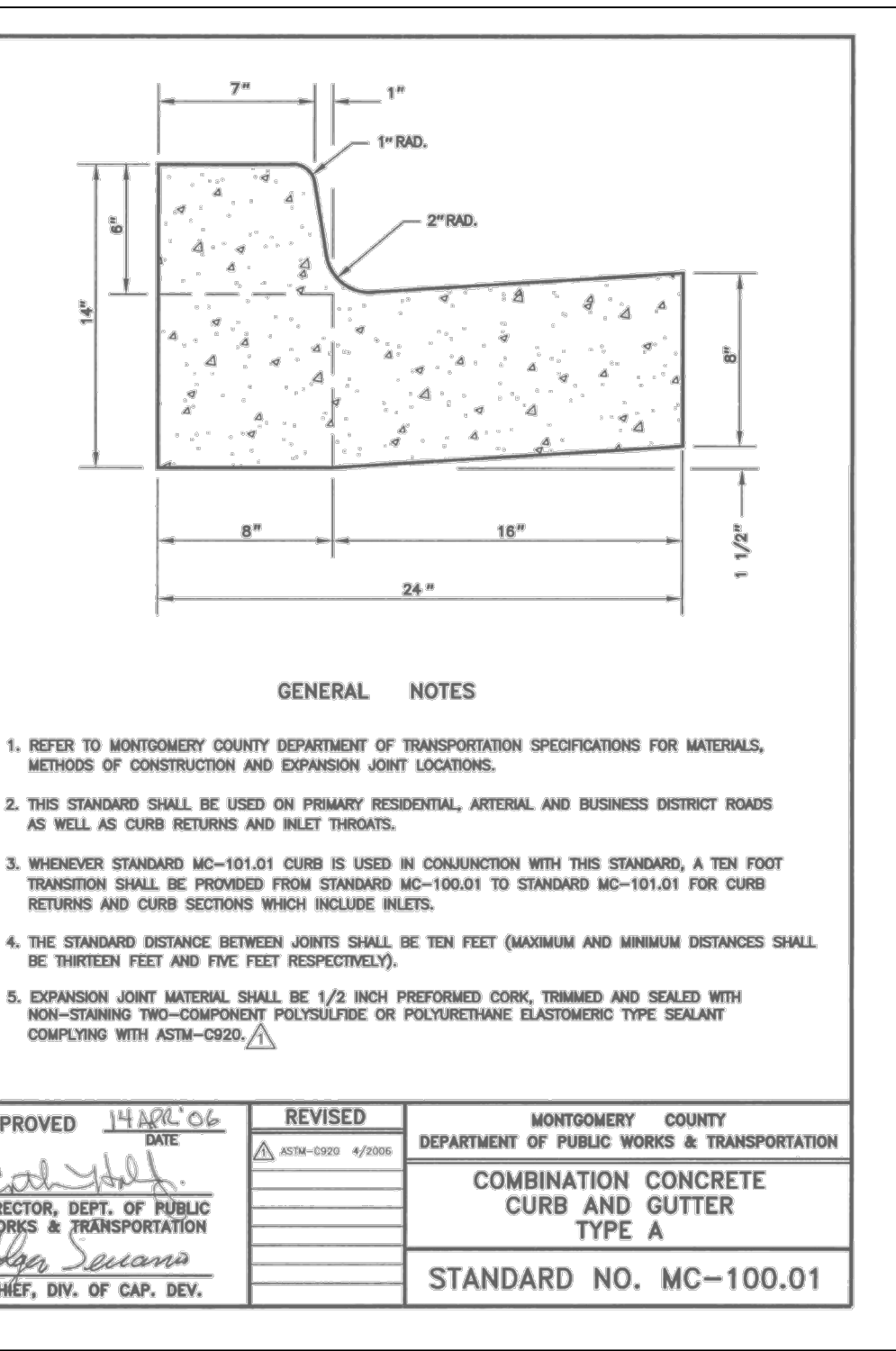


1 PRECAST CONCRETE WHEEL STOPS
NOT TO SCALE

2 ADA PARKING LOT DETAIL
NOT TO SCALE

3 DETECTABLE WARNING SURFACES
NOT TO SCALE

4 DEPRESSED CURB ENTRANCE DETAILS
NOT TO SCALE



6 STANDARD CURB DETAIL
NOT TO SCALE

7 STANDARD SIDEWALK DETAIL
NOT TO SCALE

8 COMMERCIAL DRIVEWAY DETAIL
NOT TO SCALE

BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION

PAVING DETAIL NOTES:
1. CONCRETE MIXES SPECIFIED FOR SIDEWALK, CURB AND GUTTER ARE THE MINIMUM REQUIREMENTS. CONTRACTOR MAY SUBMIT FOR ACCEPTANCE BY OWNER/ENGINEER THE USE OF A HIGHER STRENGTH CONCRETE MIX, AT NO ADDITIONAL COST TO THE OWNER.



NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE

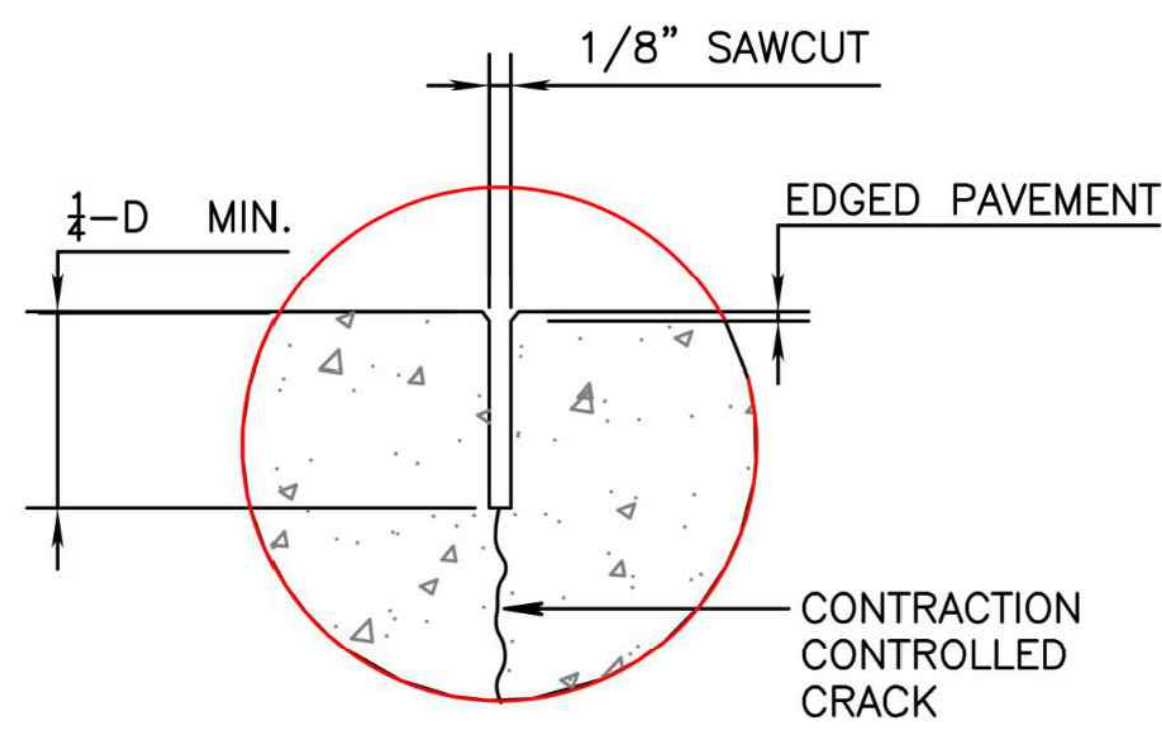
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DESIGN PLAN APPROVAL		AS BUILT PLAN APPROVAL	
DESIGNED BY: SIV	DRAFTED BY: ZOL	PWK# _____	SCP# _____
CHECKED BY: SIV	SUBMITTED BY: RAB	SMP# _____	REVIEWED BY _____
DIRECTOR OF PUBLIC WORKS APPROVAL DATE _____		CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE _____	

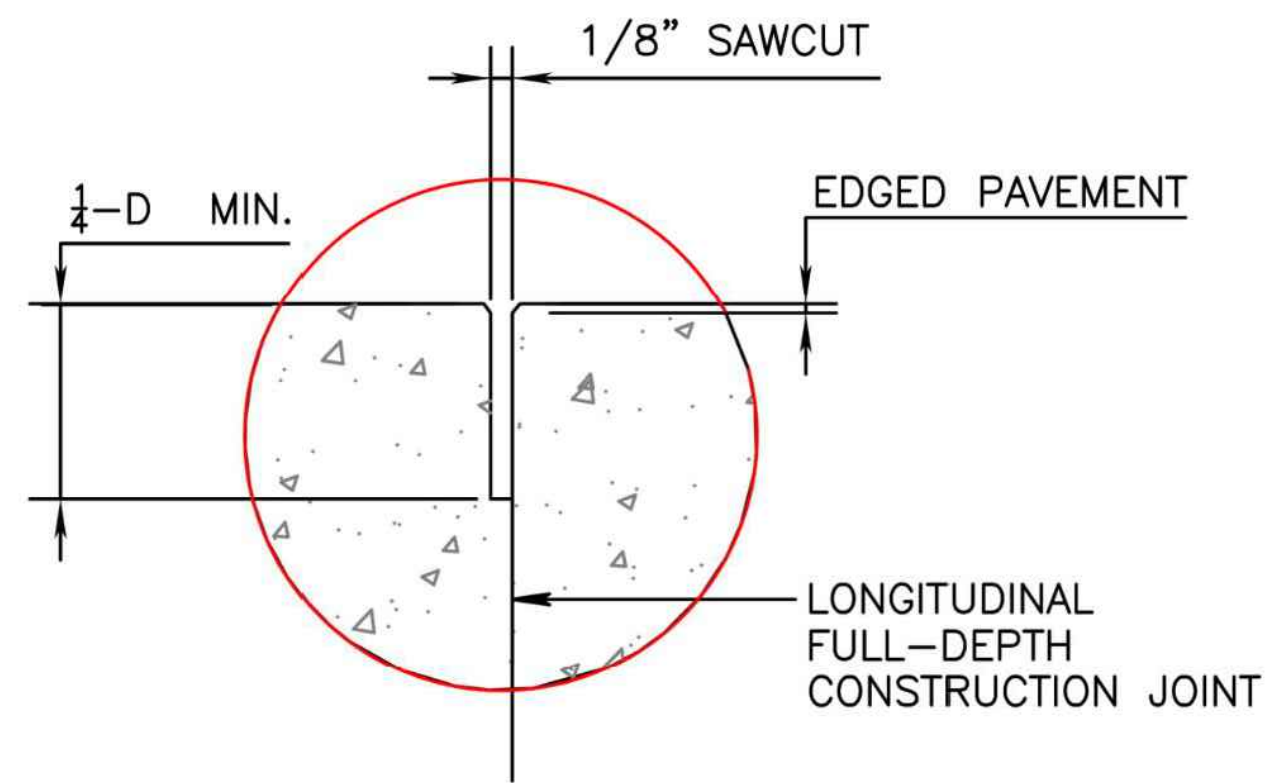
THOMAS FARM COMMUNITY CENTER PERVIOUS PARKING LOT REPLACEMENT PAVING DETAILS	THOMAS FARM COMMUNITY CENTER PARCEL BF, BLOCK R ELECTION DISTRICT NO. 8 CITY OF ROCKVILLE, MARYLAND	DATE SUBMITTED: MARCH, 2022	SCALE: 1" = 30'	SHEET NO. 4	FILE # OF 6
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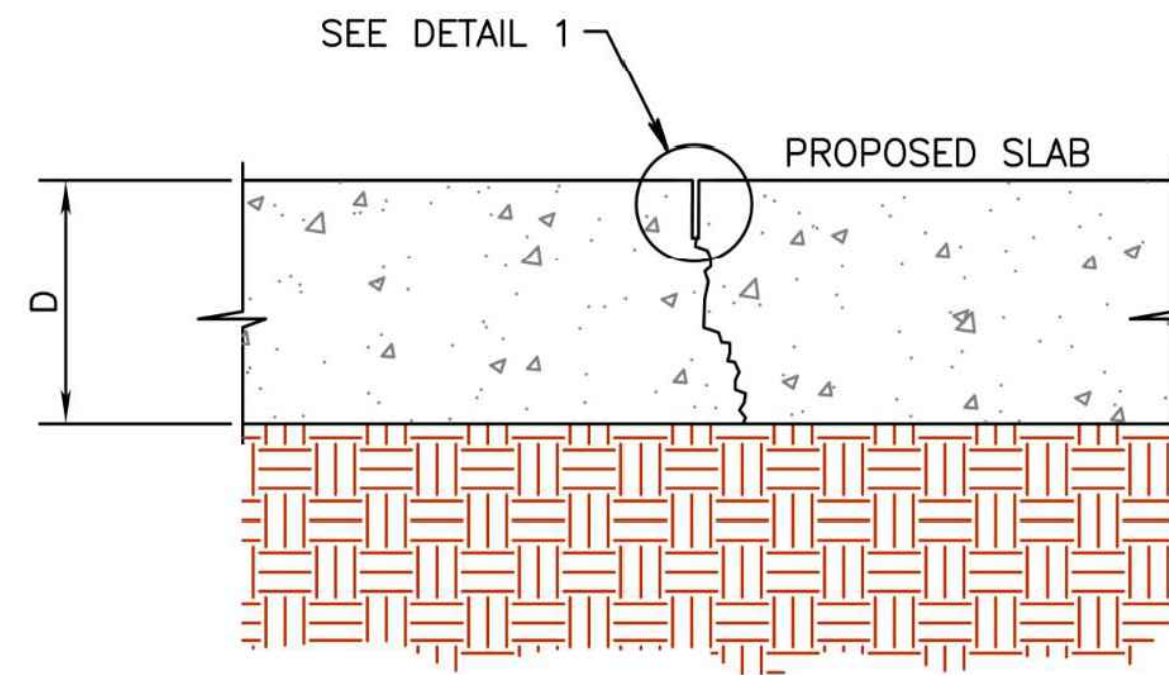
DEPARTMENT OF PUBLIC WORKS
CITY OF ROCKVILLE
111 MARYLAND AVE. ROCKVILLE, MARYLAND



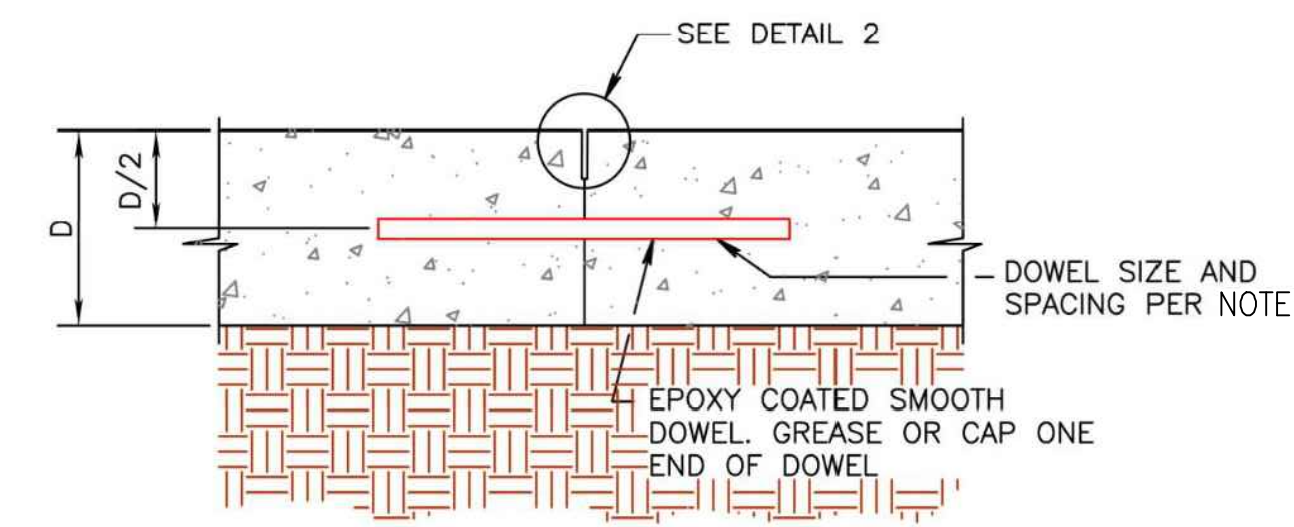
1 CONTRACTION JOINTS
NOT TO SCALE



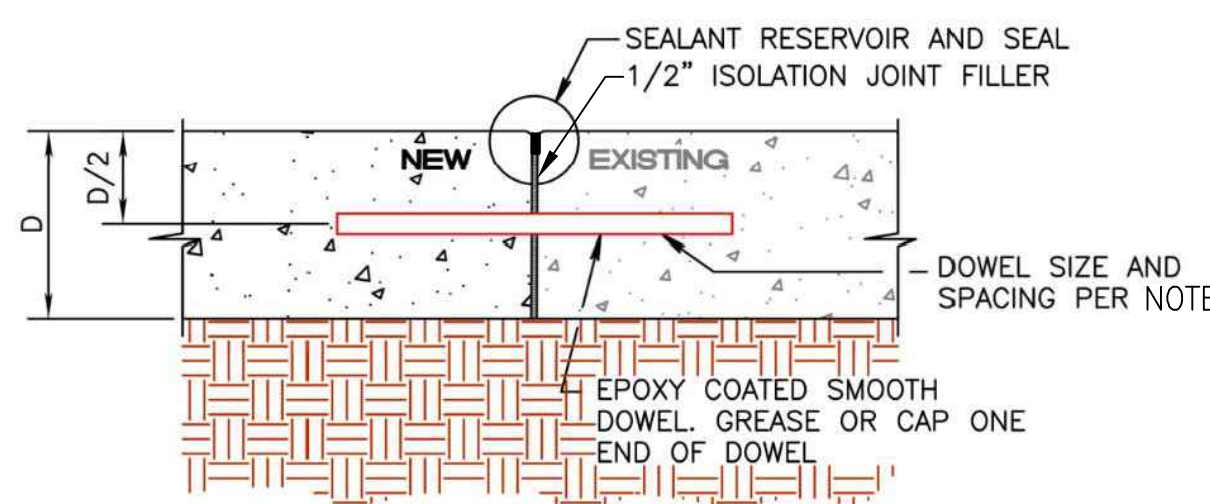
2 FULL-DEPTH CONSTRUCTION JOINTS
NOT TO SCALE



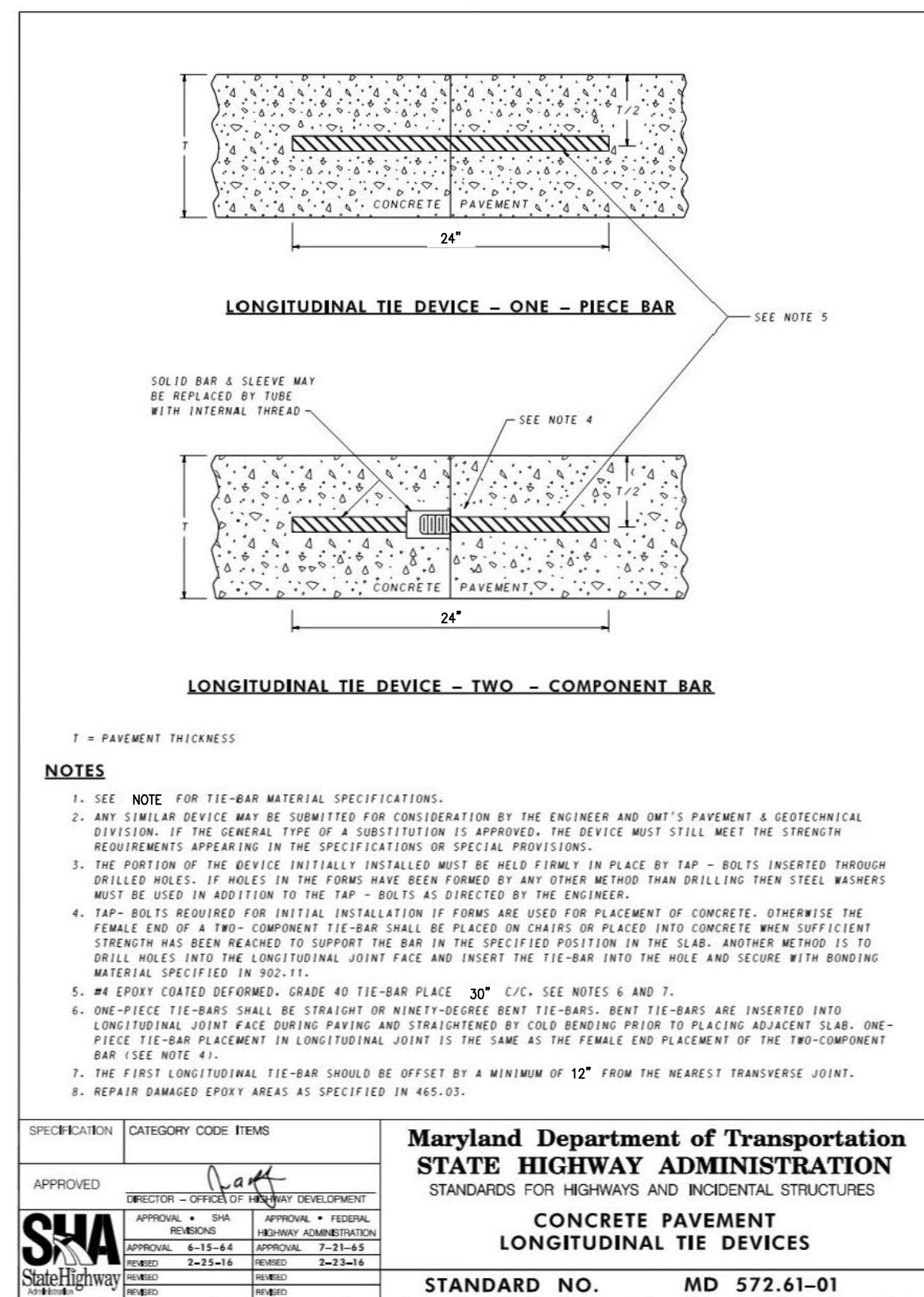
3 PLAIN PAVEMENT CONTRACTION JOINT, UNDOWLED
NOT TO SCALE



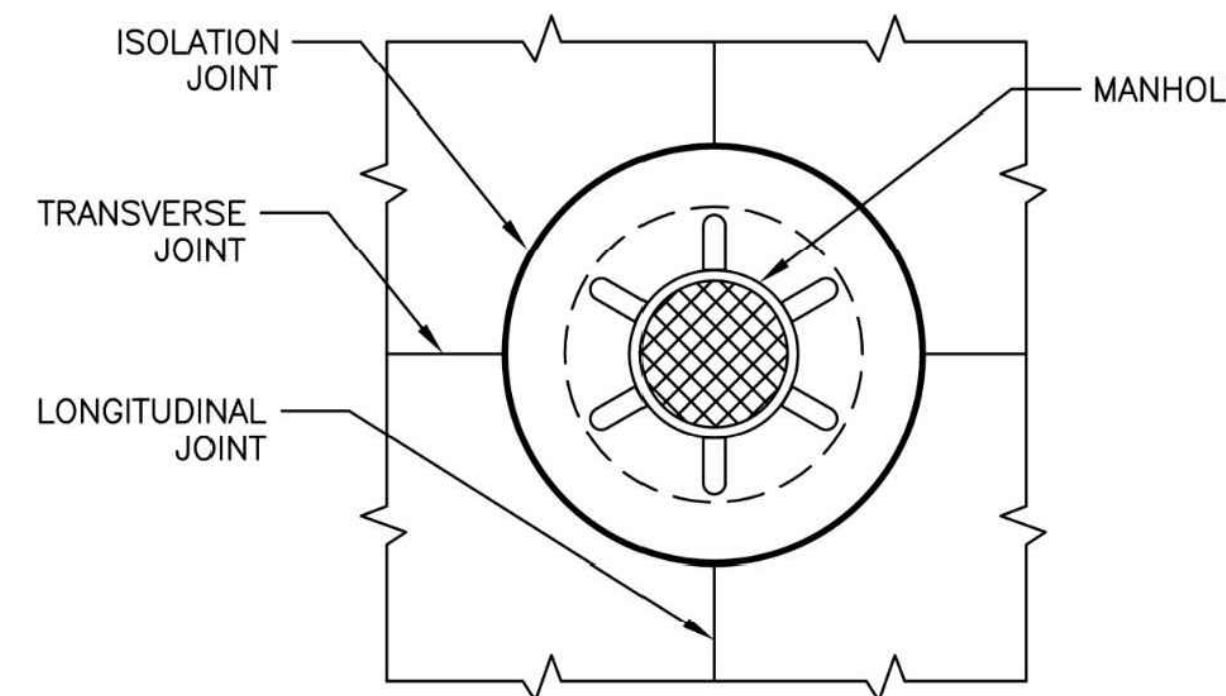
4 SMOOTH DOWEL CONSTRUCTION 'BUTT' JOINT
NOT TO SCALE



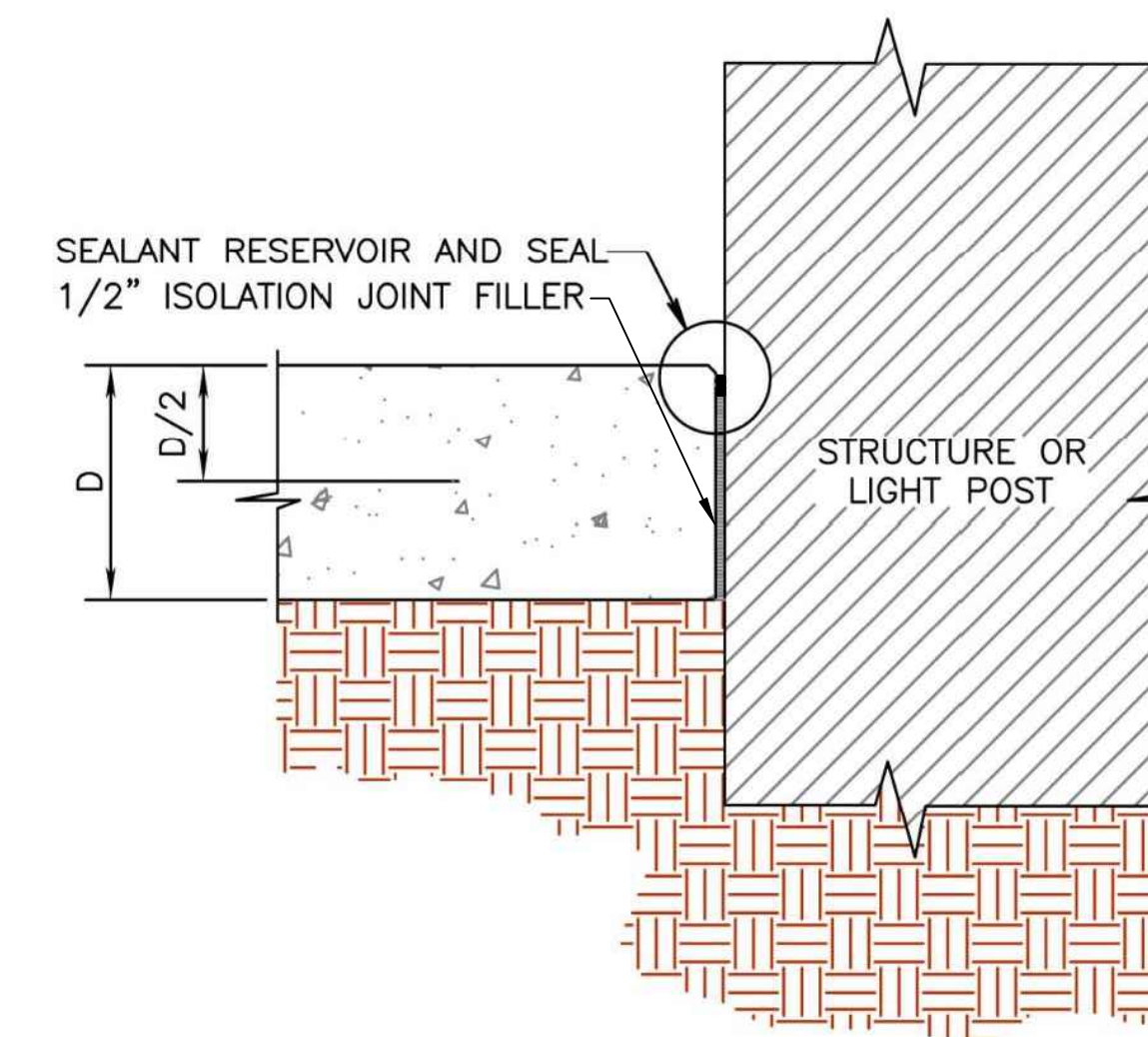
5 SMOOTH DOWEL ISOLATION JOINT
NOT TO SCALE



6 LONGITUDINAL TIE BARS
NOT TO SCALE



7 MANHOLE OR INLETS BOS
NOT TO SCALE



8 ISOLATION JOINT AGAINST A STRUCTURE
NOT TO SCALE

DATUM:
NAD 83/91 HORIZONTAL
NAVD88 VERTICAL

OVERALL SHEET 15 OF 18

BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" AT WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION

GENERAL JOINT NOTES:
1. ALL DOWELS SHALL BE SMOOTH ROUND 0.75" DIAMETER EPOXY COATED DOWELS, GRADE 60, MINIMUM TOTAL LENGTH OF 10" CENTERED ON JOINT, SPACED 12" C/C AND PLACED 12" FROM JOINT INTERSECTION.
2. ALL TIE BARS SHALL BE #4 EPOXY COATED DEFORMED BARS, GRADE 40, MINIMUM TOTAL LENGTH OF 24" CENTERED ON JOINT, SPACED 30" C/C AND PLACED 12" FROM JOINT INTERSECTION.



DEPARTMENT OF PUBLIC WORKS
CITY OF
ROCKVILLE
111 MARYLAND AVE. ROCKVILLE, MARYLAND

DESIGNED BY: SIV
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CHECKED BY: SIV
SUBMITTED BY: RAB

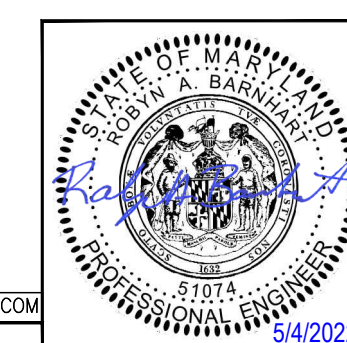
DESIGN PLAN APPROVAL
PWK# _____ SCP# _____
SMP# _____ REVIEWED BY _____
DIRECTOR OF PUBLIC WORKS APPROVAL DATE _____

AS BUILT PLAN APPROVAL
CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE _____

THOMAS FARM COMMUNITY CENTER
PERVIOUS PARKING LOT REPLACEMENT
JOINT SPACING PLAN DETAIL

THOMAS FARM COMMUNITY CENTER
PARCEL BF, BLOCK R
ELECTION DISTRICT NO. 8
CITY OF ROCKVILLE, MARYLAND

DATE SUBMITTED: MARCH, 2022
SCALE: 1"=30'
SHEET NO. 5 OF 6
FILE # _____



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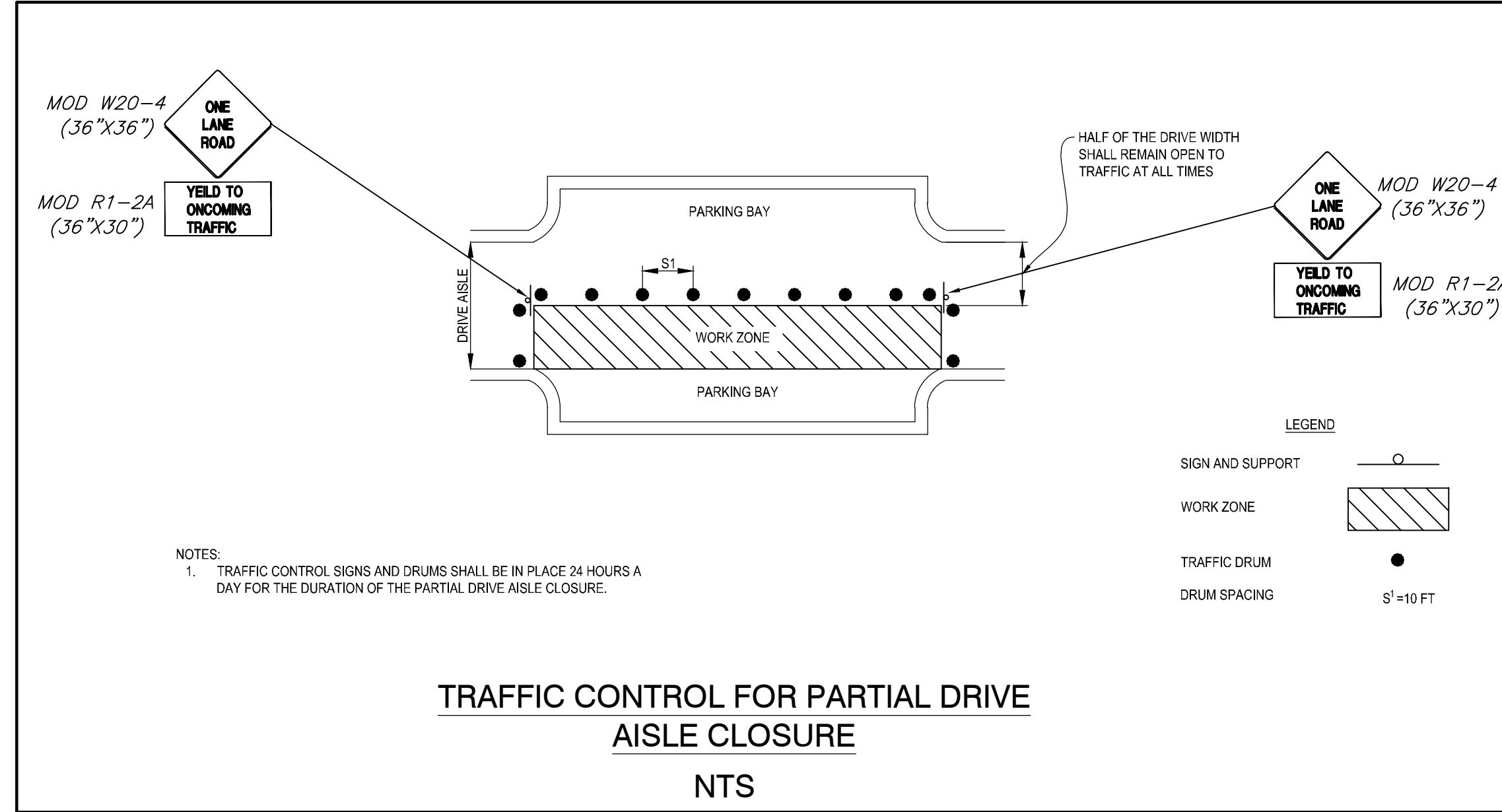
OWNER/APPLICANT:
CITY OF ROCKVILLE - RECREATION AND PARKS DEPARTMENT
111 MARYLAND AVENUE, ROCKVILLE, MD 20850
EMAIL: MDAZA@ROCKVILLEMD.GOV
PHONE: 240-314-8608

NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE

APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL

TEMPORARY TRAFFIC CONTROL NOTES

- ALL TEMPORARY TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MOST RECENT EDITION OF THE MUTCD. ALL SIGNS, TRAFFIC DRUMS AND CONES SHALL BE FULLY REFLECTORIZED WITH HIGH INTENSITY, REFLECTIVE SHEETING AS PER THE MUTCD.
- PROVISION SHALL BE MADE FOR SAFE MAINTENANCE OF PEDESTRIAN AND BICYCLE TRAFFIC. SUBJECT TO APPROVAL OF THE CITY, AT LEAST ONE 10-FOOT TRAVEL LANE SHALL BE AVAILABLE FOR TRAFFIC AT ALL TIMES.
- ALL WARNING SIGNS, UNLESS OTHERWISE SPECIFIED, SHALL BE A MINIMUM OF 48" X 48", BLACK SYMBOL OR LEGEND ON ORANGE BACKGROUND AND DIAMOND SHAPED. ALL WARNING SIGNS NOT APPLICABLE TO THE ACTUAL SITUATION SHALL BE REMOVED OR COVERED DURING NON-APPLICABLE PERIODS. ALL PORTABLE SIGNS SHALL BE MOUNTED A MINIMUM OF ONE (1) FOOT ABOVE THE LEVEL OF THE ROADWAY, WITH HIGHER MOUNTING HEIGHTS DESIRABLE.
- ANY EXCAVATIONS GREATER THAN 6" SHALL BE COVERED WITH STEEL PLATES AT THE END OF EACH WORK DAY.
- THE PERMITTEE WILL BE SOLELY RESPONSIBLE FOR ALL ACCIDENTS AND/OR DAMAGE TO PERSONS AND/OR PROPERTY DAMAGE RESULTING FROM HIS OPERATIONS.
- ALL TEMPORARY TRAFFIC CONTROL (TTC) DEVICES SHALL BE REMOVED AS SOON AS PRACTICAL WHEN THEY ARE NO LONGER NEEDED. WHEN WORK IS SUSPENDED FOR SHORT PERIODS OF TIME, TTC DEVICES THAT ARE NO LONGER APPROPRIATE SHALL BE REMOVED OR COVERED.
- AT THE COMPLETION OF WORK ACTIVITIES, CONDITIONS WITHIN THE PUBLIC SPACE SHALL BE FULLY RESTORED TO THOSE THAT EXISTED PRIOR TO THE WORK ACTIVITY.



DATUM:
NAD 83/91 HORIZONTAL
NAVD88 VERTICAL

LEGEND

SIGN AND SUPPORT	
WORK AREA	
DRUM/CONE	
DRUM/CONE SPACING	S1 = 10'

OVERALL SHEET 16 OF 18

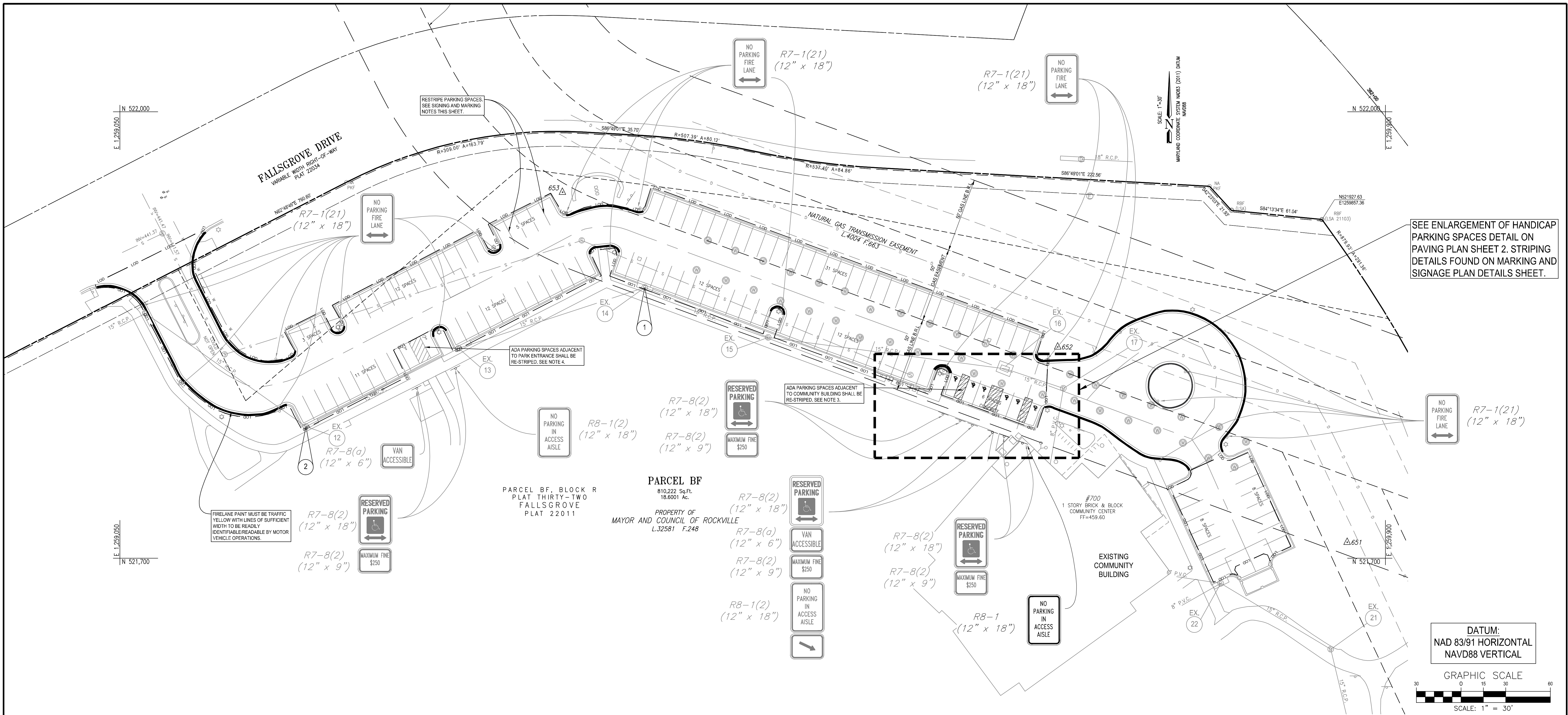
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OR 811
AT LEAST 48 HOURS
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<p>DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 MARYLAND AVE. ROCKVILLE, MARYLAND</p>	DESIGNED BY: SIV DRAFTED BY: ZOL CHECKED BY: SIV SUBMITTED BY: RAB	DESIGN PLAN APPROVAL _____ P.W.K.# _____ SCP# _____ SMP# _____ REVIEWED BY _____ DIRECTOR OF PUBLIC WORKS APPROVAL DATE _____	AS BUILT PLAN APPROVAL _____ CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE _____	THOMAS FARM COMMUNITY CENTER PERVIOUS PARKING LOT REPLACEMENT TRAFFIC CONTROL DETAILS	THOMAS FARM COMMUNITY CENTER PARCEL BF, BLOCK R ELECTION DISTRICT NO. 8 CITY OF ROCKVILLE, MARYLAND	DATE SUBMITTED: MARCH, 2022	SCALE 1" = 30'	SHEET NO. 6 OF 6	FILE #																											
	APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL						<table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION OF REVISION</th> <th>P.E. INITIAL</th> <th>DATE</th> <th>DPW</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE																							
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SEE ENLARGEMENT OF HANDICAP PARKING SPACES DETAIL ON PAVING PLAN SHEET 2. STRIPING DETAILS FOUND ON MARKING AND SIGNAGE PLAN DETAILS SHEET.

PARCEL BF
 810,222 Sq.Ft.
 18,6001 Ac.
 PROPERTY OF
 MAYOR AND COUNCIL OF ROCKVILLE
 L.32581 F.248

- SIGNING AND MARKING NOTES:**
- ALL PARKING SPACE LINES TO BE 4" WIDE WHITE NON-TOXIC PAINT.
 - HANDICAP PARKING SPACES SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE PAVEMENT MARKING SYMBOL, HANDICAP PARKING SPACE LINES, AND ACCESS AISLE STRIPING SHALL BE BLUE.
 - ADA PARKING SPACES ADJACENT TO EXISTING COMMUNITY BUILDING SHALL BE MARKED WITH THERMOPLASTIC PAVEMENT MARKINGS FOR ALL THE LINES AND SYMBOLS.
 - ADA PARKING SPACES ADJACENT TO PARK ENTRANCE SHALL BE NON-TOXIC PAINT FOR ALL LINES AND SYMBOLS, UNLESS OTHERWISE DIRECTED BY THE CITY.
 - ALL FIRE LANE CURB THROUGHOUT THE ENTIRE PARKING LOT, INCLUDING AREAS OUTSIDE THE LOD, IS TO BE REPAINTED IN YELLOW NON-TOXIC PAINT.
 - ALL SIGNS LOCATED WITHIN THE SITE AND ARE TO BE MOUNTED ON POSTS, SHALL BE MOUNTED ON SIGN POSTS WITH CONCRETE FOOTERS IN ACCORDANCE WITH SIGN POST FOOTING DETAIL ON MARKING AND SIGNAGE PLAN DETAILS.
 - SEE PARKING LOT SIGNAGE DETAILS ON MARKING AND SIGNAGE PLAN DETAILS.
 - EXISTING ROCKVILLE CITY AND ADA SIGNAGE TO BE STORED ON-SITE AND REUSED.
 - THE CONTRACTOR IS RESPONSIBLE FOR RESTRIPING, REPAIRING, REPLACING, OR RECONSTRUCTION OF ALL SITE SIGNAGES AND MARKINGS (e.g. PARKING AREA MARKINGS, ADA FACILITIES SIGNS, FIRE LANES, NO PARKING SIGNS, MAIL BOXES, UTILITIES, ETC.) DAMAGED AS A RESULT OF PROJECT WORK AT NO COST TO OWNER. SIMILARLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF ANY PROTECTIVE MEASURES.

LEGEND

	PR. SIGN TO BE INSTALLED
	EX. SIGN TO BE REMAIN
	FIRE LANE CURB MARKING
	EX. SIGN
	ADA SIGNS
	PR. MUTCD STD. ACCESSIBILITY MARKING
	EX. MUTCD STD. ACCESSIBILITY MARKING
	PR. ADA ACCESS AISLE
	EX. ADA ACCESS AISLE
	LIMIT OF DISTURBANCE
	BENCH MARKS

THIS PLAN IS FOR MARKING AND SIGNAGE ONLY

BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" AT WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION

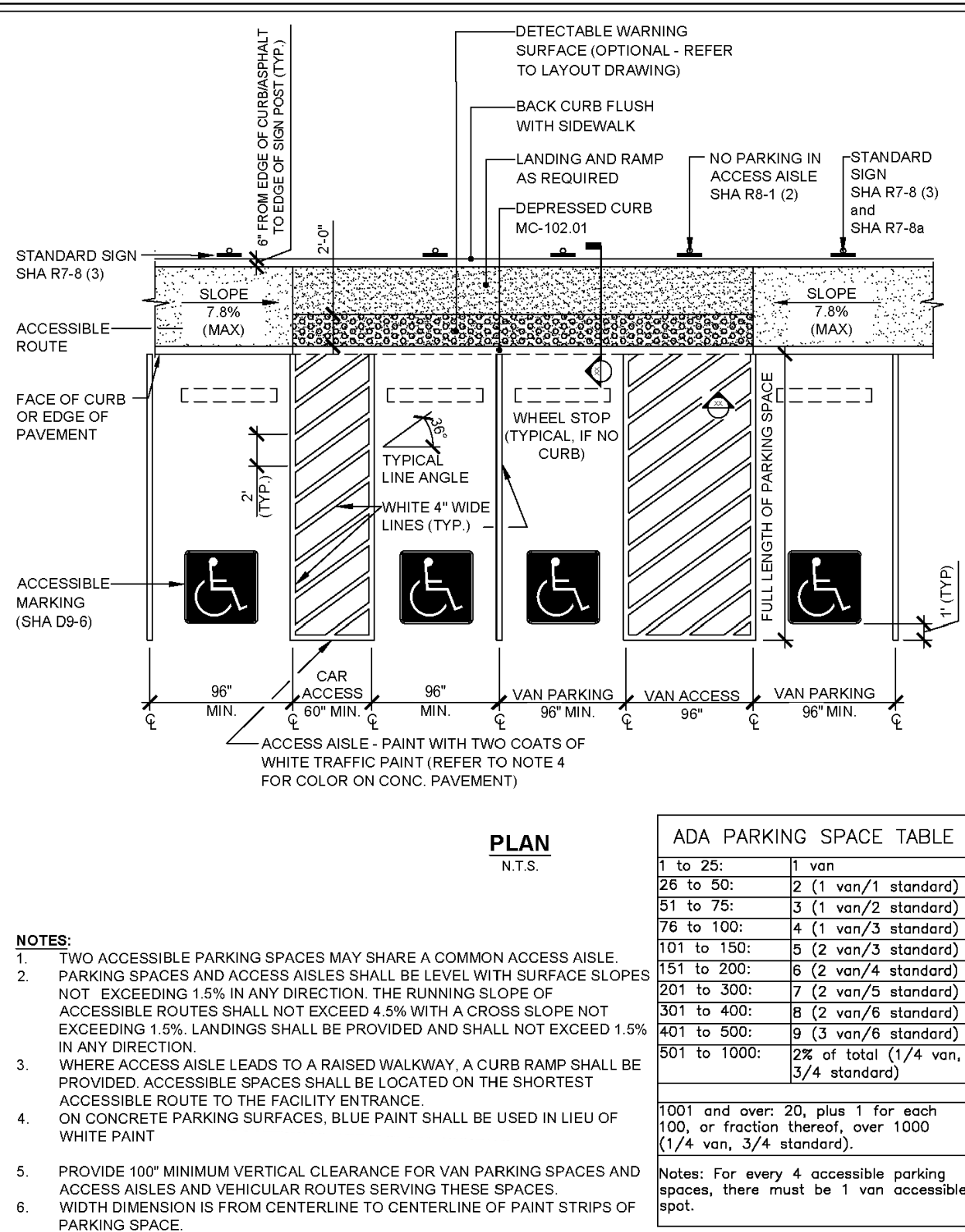


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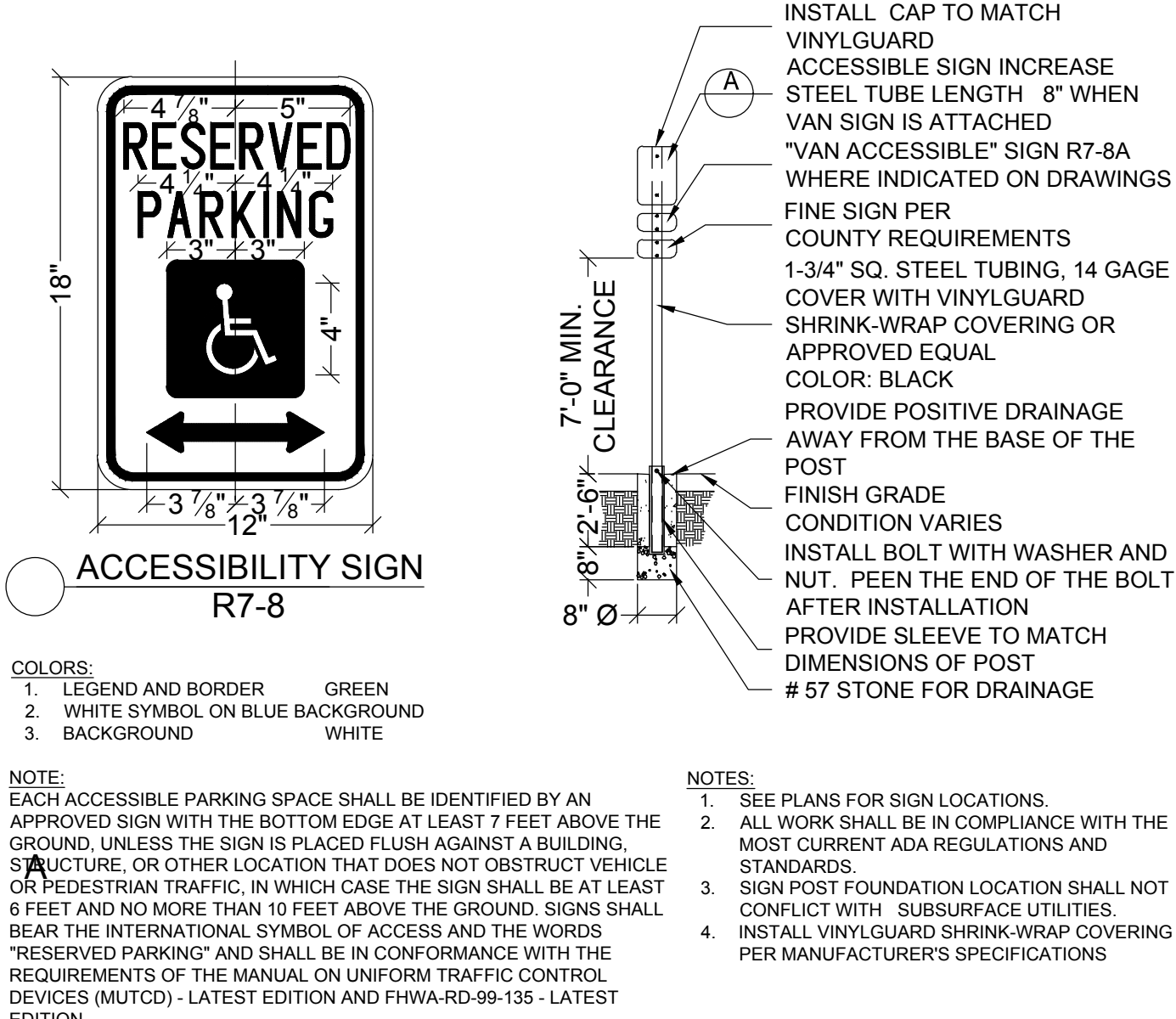
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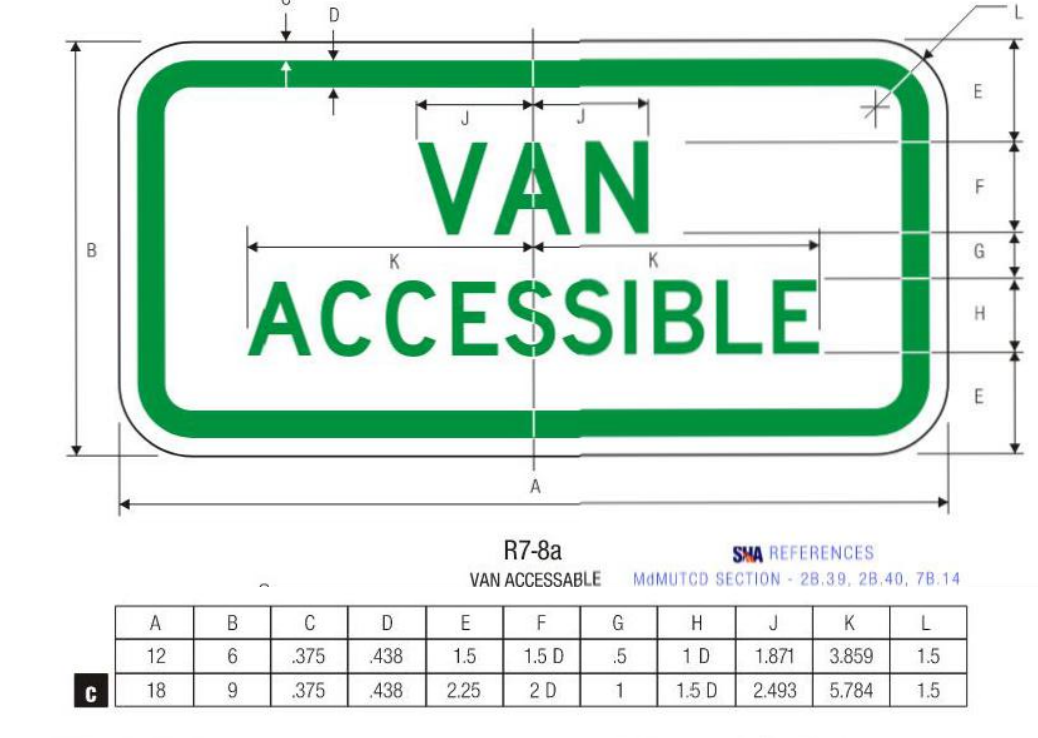
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	APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL		APPROVAL DATE		APPROVAL DATE		APPROVAL DATE		APPROVAL DATE



1 ADA PARKING LOT DETAIL
NOT TO SCALE



2 ADA PARKING LOT AND SIGN POST MOUNTING DETAIL
NOT TO SCALE



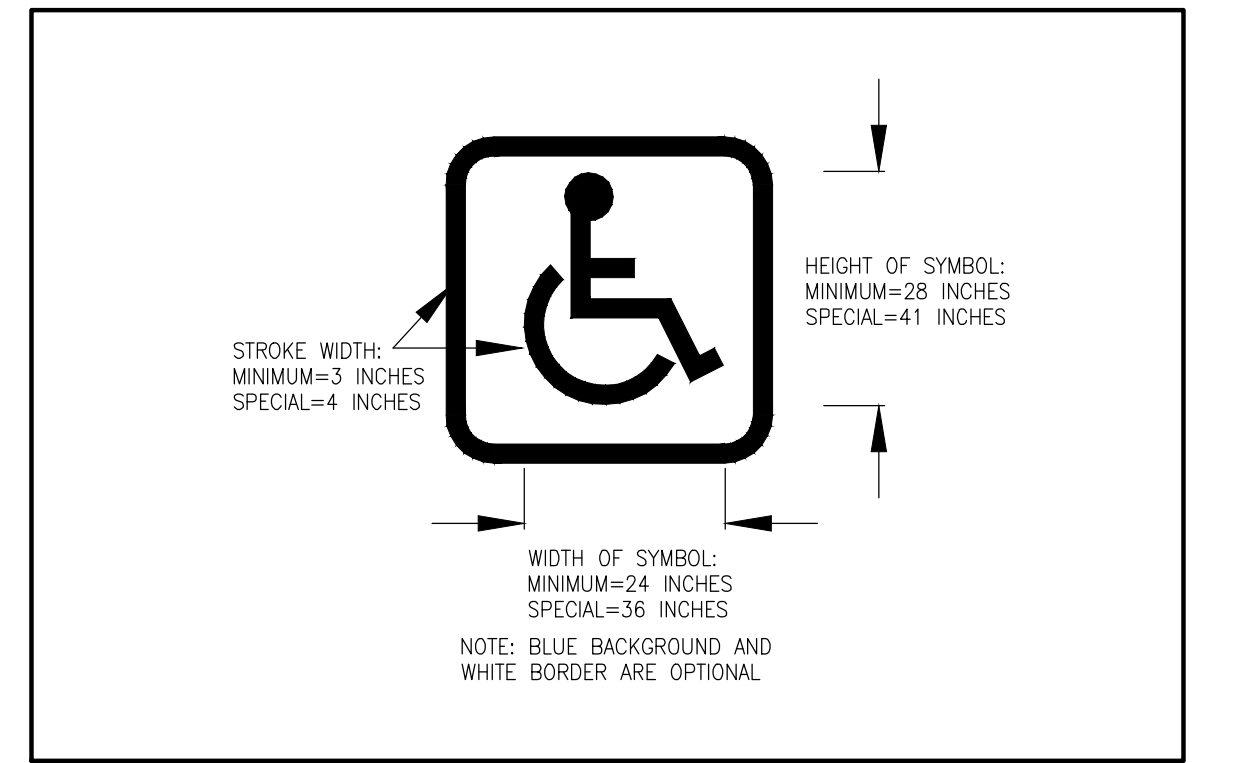
3 VAN ACCESSIBLE SIGN R7-8a
NOT TO SCALE



4 MAXIMUM FINE SIGN R7-8(2)
NOT TO SCALE



5 ACCESS AISLE SIGN R8-1(2)
NOT TO SCALE



6 MUTCD STANDARD ACCESSIBILITY MARKING
NOT TO SCALE

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DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 MARYLAND AVE. ROCKVILLE, MARYLAND

DESIGNED BY: SIV DRAFTED BY: ZOL CHECKED BY: SIV SUBMITTED BY: RAB

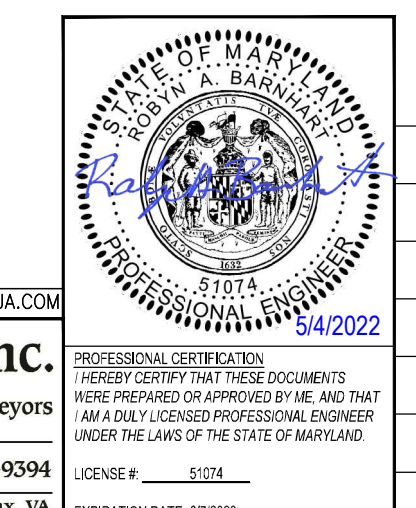
DESIGN PLAN APPROVAL PWK# _____ SCP# _____ SMP# _____ REVIEWED BY _____ APPROVAL DATE _____

AS-BUILT PLAN APPROVAL CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE _____

THOMAS FARM COMMUNITY CENTER PERVIOUS PARKING LOT REPLACEMENT MARKING AND SIGNAGE PLAN DETAILS

THOMAS FARM COMMUNITY CENTER PARCEL BF, BLOCK R ELECTION DISTRICT NO. 8 CITY OF ROCKVILLE, MARYLAND

DATE SUBMITTED: MARCH, 2022 SCALE: 1"=30' SHEET NO. 2 OF 2 FILE # _____



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NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE