

TWINBROOK COMMUNITY CENTER RESTROOM RENOVATIONS

12920 TWINBROOK PARKWAY, ROCKVILLE, MD 20851

FM-5

C. Biggs 08/20/2024

SEE FIRE MARSHAL PLAN REVIEW
COMMENTS ON DRAWING: G-002

A Separate Sprinkler and Fire Alarm
Permit May Be Required

2024-7746-ALT
THESE PLANS HAVE BEEN
REVIEWED AND APPROVED FOR
CODE COMPLIANCE.
08/13/2024

Chris Demgawoff

THE APPROVED PLANS AND
ATTACHED NOTES SHALL BE
AVAILABLE ON THE JOB SITE AT ALL
TIMES. INSPECTIONS WILL NOT BE
CONDUCTED WITHOUT THE
APPROVED PLANS

The approval of these drawings
does not permit the installation or
alteration of any
required/non-required fire
protection systems. A separate
fire alarm or sprinkler permit MAY
be required.

DELTA PROJECT NO. 2019.331.012

07/22/2024

100% Re-Submission

INDEX OF DRAWINGS

APPLICABLE CODES

- 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2021 INTERNATIONAL BUILDING CODE (IBC)
- 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC)
- 2021 INTERNATIONAL PLUMBING CODE (IPC)
- 2021 INTERNATIONAL MECHANICAL CODE (IMC)
- 2021 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2023 INTERNATIONAL ELECTRICAL CODE (NFPA 70)
- 2015 INTERNATIONAL INTERNATIONAL GREEN CONSTRUCTION CODE (IgCC)
- 2010 ADA STANDARDS
- CITY OF ROCKVILLE AMENDMENTS
- ANNOTATED CODE OF MARYLAND, TITLE 12 (PUBLIC SAFETY ACT)
- MARYLAND BUILDING PERFORMANCE STANDARDS (COMAR 09.12.51)
- MARYLAND ACCESSIBILITY CODE (COMAR 09.12.53)
- 2018 NFPA 1 FIRE CODE
- 2018 NFPA 101 LIFE SAFETY CODE
- 2016 NFPA 13, 13R, 13D FIRE SPRINKLER CODES
- 2016 NFPA 72 FIRE ALARM CODE
- 2018 CITY OF ROCKVILLE CHAPTER 9 LOCAL AMENDMENTS

GENERAL

- G-001 TITLE SHEET
- G-002 LEGENDS, ABBREVIATIONS AND NOTES
- G-003 LIFE SAFETY

ARCHITECTURAL

- A-101 PLANS
- A-102 PLANS
- A-103 EQUIPMENT PLAN
- A-301 ELEVATIONS
- A-601 SCHEDULES & DIAGRAMS

MECHANICAL

- M-101 MECHANICAL AND PLUMBING PLANS

GENERAL COMMENTS

- All work performed, whether detailed on the approved plans or not, shall comply with all applicable codes, ordinances and referenced standards as adopted and amended by the City of Rockville and the State of Maryland.
- This construction must comply with all applicable provisions outlined in the Maryland State Accessibility Code.
- Any changes to the "APPROVED PLANS" shall be submitted to and approved by this Division prior to the change being made in the field.
- Review all comments prior to scheduling an inspection.
- Approved plans MUST be on-site for all inspections. INSPECTIONS WILL NOT BE PERFORMED WITHOUT THE APPROVED PLANS PRESENT. Permits must be posted where visible from the street or front entrance.
- Field inspections shall determine code compliance. Any omissions or errors on the approved plans do not constitute approval of non-compliant installations.
- The approval of these drawings does not allow the installation of the required/non-required fire protection system. OBTAIN A SEPARATE FIRE ALARM AND SPRINKLER PERMIT.

Refer to trade-specific drawings for trade-specific comments.

No further items found at this time; any future findings will require proper resolution to code conformance.

Other agency approvals may be required prior to the final inspections and or occupancy of this structure.

SUMMARY OF WORK

THE SCOPE OF WORK INCLUDES RENOVATIONS IN BOTH BUILDINGS AT THE TWINBROOK COMMUNITY RECREATION FACILITY- THE PRIMARY RECREATION FACILITY AND THE SMALLER ANNEX BUILDING.

IN THE PRIMARY FACILITY THE SCOPE OF WORK INVOLVES RENOVATING AN EXISTING OFFICE AND ADJACENT JANITOR'S CLOSET TO BECOME A NEW SINGLE USE GENDER NEUTRAL RESTROOM WITH A SEPARATE SHOWER AREA. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, THE REMOVAL OF AN EXISTING PARTITION, REMOVAL OF DOORS AND FRAMES, DEMOLITION OF THE EXISTING SLAB ON GRADE AS REQUIRED FOR THE INSTALLATION OF NEW PLUMBING LINES AND A NEW SHOWER FLOOR, REMOVAL OF FLOOR AND CEILING FINISHES, REMOVAL OF A JANITOR'S CLOSET MOP BASIN, REMOVAL OF LIGHT FIXTURES, AN ELECTRIC HEATER, CEILING SUPPLY, RETURN AND EXHAUST DIFFUSERS AND ASSOCIATED BRANCH DUCTWORK, SPRINKLER HEADS AND BRANCH LINES, AND OTHER ITEMS AS REQUIRED FOR THE NEW WORK. THE NEW WORK INCLUDES BUT IS NOT LIMITED TO THE INSTALLATION OF NEW PARTITIONS, INFILL OF OPENINGS, NEW DOORS, INSTALLATION OF PRIVACY WINDOW FILM, RESTROOM FIXTURES AND ACCESSORIES, A NEW SHOWER, LOCKERS, BENCH, NEW CEILING, WALL AND FLOOR FINISHES, LIGHT FIXTURES, CEILING SUPPLY AND EXHAUST DIFFUSERS AND ASSOCIATED BRANCH DUCTWORK, SPRINKLER HEADS AND BRANCH LINES, AND OTHER ITEMS AS REQUIRED FOR THE NEW WORK.

IN THE ANNEX BUILDING THE SCOPE OF WORK INVOLVES CONVERTING THE EXISTING MEN'S AND WOMEN'S ROOMS INTO THREE GENDER NEUTRAL RESTROOMS, AS WELL AS A SEPARATE ELECTRICAL CLOSET. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, THE REMOVAL OF EXISTING PARTITIONS, REMOVAL OF DOORS AND FRAMES, REMOVAL OF TOILET PARTITION SYSTEMS, DEMOLITION OF THE EXISTING SLAB ON GRADE AS REQUIRED FOR THE INSTALLATION OF NEW PLUMBING LINES, REMOVAL OF CEILING FINISHES, REMOVAL OF LIGHT FIXTURES, CEILING SUPPLY AND EXHAUST DIFFUSERS AND ASSOCIATED BRANCH DUCTWORK AND OTHER ITEMS AS REQUIRED FOR THE NEW WORK. THE NEW WORK INCLUDES BUT IS NOT LIMITED TO THE INSTALLATION OF NEW PARTITIONS, INFILL OF OPENINGS, NEW DOORS, RESTROOM FIXTURES AND ACCESSORIES, NEW CEILING AND WALL FINISHES, LIGHT FIXTURES, CEILING SUPPLY AND EXHAUST DIFFUSERS AND ASSOCIATED BRANCH DUCTWORK, AND OTHER ITEMS AS REQUIRED FOR THE NEW WORK. THE ANNEX BUILDING SCOPE ALSO INCLUDES TWO ADD ALTERNATES- ONE FOR THE INSTALLATION OF AN ADULT CHANGING STATION, AND THE OTHER FOR THE REPLACEMENT OF EXISTING CERAMIC TILE WALL AND FLOOR FINISHES.

ARCHITECT/ENGINEER



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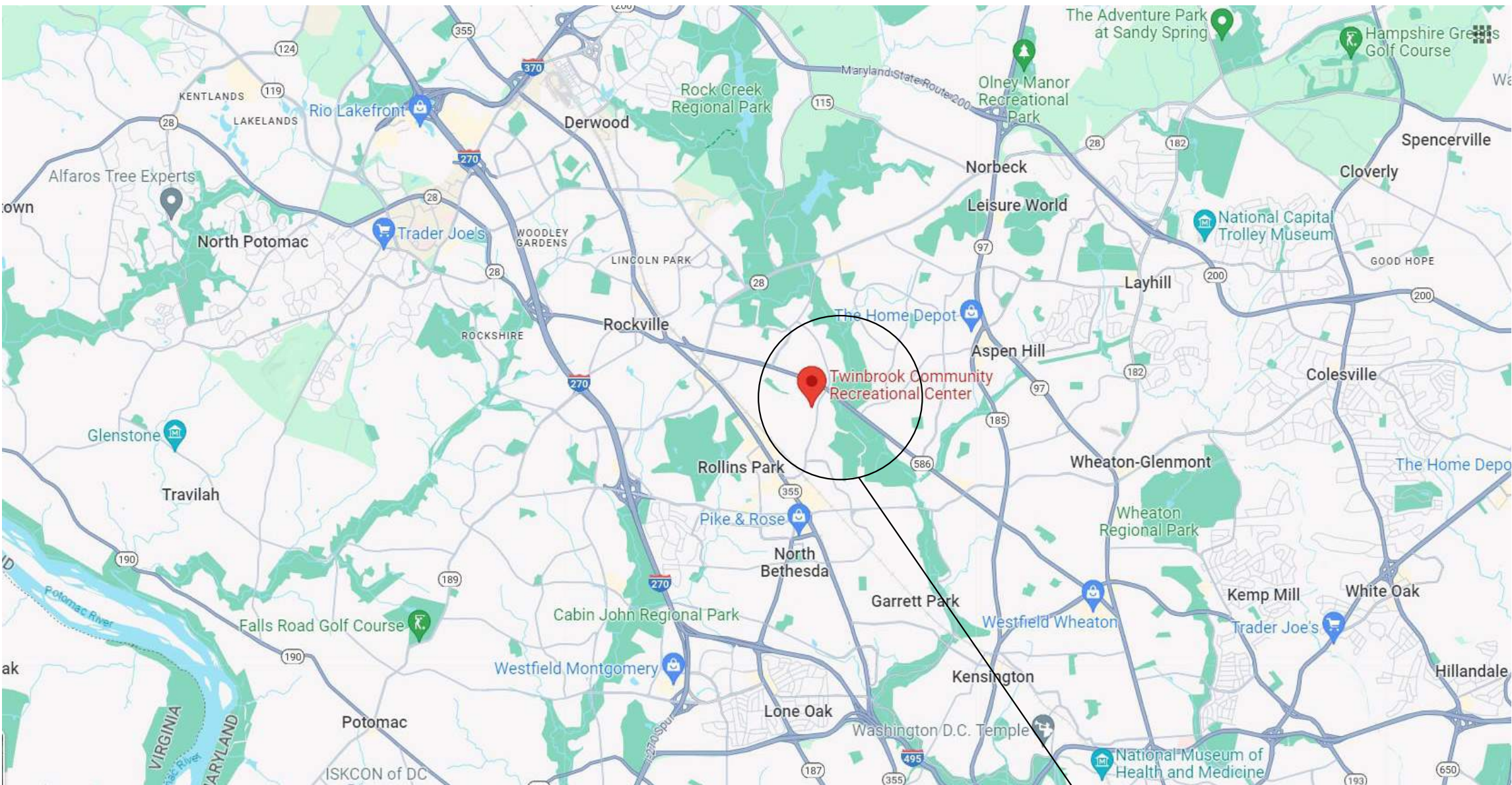
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PROJECT LOCATION



PROJECT
LOCATION

OWNER



City of Rockville



I certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. license number 13892, expiration date 2025-06-24

Construction/Installation subject to inspection by Fire Marshal. Schedule all fire inspections on-line through My Government On-line Customer Service Portal.

G-001

ABBREVIATIONS		
A		
ACT	ACCOUSTICAL CEILING TILE	
ADJ	ADJACENT	
AFF	ABOVE FINISH FLOOR	
ALUM	ALUMINUM	
ANOD	ANODIZED	
@	AT	
B		
BLKG	BLOCKING	
C		
CAB	CABINET	
CCT	CUBICLE CURTAIN TRACK	
CG	CORNER WALL GUARD	
CLG	CEILING	
CLO	CLOSET	
CMU	CONCRETE MASONRY UNIT	
CONC	CONCRETE	
CONT	CONTINUOUS	
CORR	CORRIDOR	
CSS	CLINICAL SERVICE SINK	
CPT	CARPET	
CT	CERAMIC TILE	
D		
DET	DETAIL	
DIA	DIAMETER	
DIM	DIMENSION	
DR	DOOR	
DWG	DRAWING	
DWR	DRAWER	
E		
EA	EACH	
EG	END WALL GUARD	
ELEC	ELECTRICAL	
ELEV	ELEVATOR ELEVATION	
EMER	EMERGENCY	
EQUIP	EQUIPMENT	
ETR	EXISTING TO REMAIN	
EWG	ELECTRIC WATER COOLER	
EXIST	EXISTING	
EXT	EXTERIOR	
F		
FA	FIRE ALARM	
FT	FEET/ FOOT	
FD	FLOOR DRAIN	
FE	FIRE EXTINGUISHER	
FEC	FIRE EXTINGUISHER CABINET	
FHS	FIRE HOSE STATION (CABINET)	
FHV	FIRE HOSE VALVE CABINET	
FLR	FLOORING	
FLUOR	FLUORESCENT	
FR	FRAME	
FVC	FIRE VALVE CABINET	
G		
GALV	GALVANIZED	
GB	GRAB BAR	
GC	GENERAL CONTRACTOR	
GOVT	GOVERNMENT	
GWB	GYPSUM WALL BOARD	
H		
HC	HOLLOWCORE	
HDW	HARDWARE	
HGT	HEIGHT	
HM	HOLLOW METAL	
HORIZ	HORIZONTAL	
I		
IB	INTEGRAL BASE	
ID	INSIDE DIAMETER	
IN	INCHES	
INT	INTERIOR	
INTEG	INTERGRAL	
INTLK	INTERLOCK	
L		
LAM	LAMINATE	
LAV	LAVATORY	
LB	POUND	
LT	LENGTH	
LH	LEFT HAND	
LHRB	LEFT HAND REVERSE BEVEL	
LOCK	LOCKERS	
LVR	LOUVER	
M		
MA	MEDICAL AIR	
MAX	MAXIMUM	
MED	MEDICAL/MEDICATIONS	
MFR	MANUFACTURER	
MIN	MINIMUM	
MISC	MISCELLANEOUS	
MO	MASONRY OPENING	
MTL	METAL	
N		
N	NORTH/NITROGEN	
NC	NURSE CALL	
NEG	NEGATIVE	
NIC	NOT IN CONTRACT	
NO	NUMBER	
NOM	NOMINAL	
NTS	NOT TO SCALE	
O		
OC	OVERALL	
OD	ON CENTER	
OH	OUTSIDE DIAMETER	
OIOX	OPPOSITE HAND	
OPG	OXYGEN	
P		
PL	PLATE	
PLAM	PLASTIC LAMINATE	
PLYWD	PLYWOOD	
PNL	PANEL	
PNT	PAINT	
PR	PAIR	
PNT	PAINTED	
PRT	PARTITION	
R		
RB	RESILIENT BASE	
REQ	REQUIRED	
RESIL	RESILIENT	
REV	REVISED	
RH	RIGHT HAND	
RHRB	RIGHT HAND REVERSE BEVEL	
RO	ROUGH OPENING	
S		
S	SOUTH	
SCW	SOLID CORE WOOD	
SEAL	SEALANT	
SECT	SECTION	
SHT	SHEET	
SIM	SIMILAR	
SPEC	SPECIFICATION(S)	
SO	SQUARE	
SSM	SOLID SURFACE MATERIAL	
SS	SEAMLESS STEEL	
SSV	SEAMLESS SHEET VINYL	
STL	STEEL	
STN	STAIN	
STOR	STORAGE	
STRUCT	STRUCTURAL	
SV	SHEET VINYL	
T		
TC	TERRA COTTA	
TEL	TELEPHONE	
TEMP	TEMPORARY	
THK	THICKNESS	
TOC	TOP OF CURB	
TOIL	TOILET	
TOS	TOP OF SLAB/ TOP OF STEEL	
TPTN	TOILET PARTITION	
TV	TELEVISION	
TW	TOP OF WALL	
TYP	TYPICAL	
TZ	TERRAZZO	
U		
UNO	UNLESS NOTED OTHERWISE	
UON	UNLESS OTHERWISE NOTED	
V		
VAC	VACUUM	
VB	VAPOR BARRIER	
VCT	VINYL COMPOSITION TILE	
VERT	VERTICAL	
VERIF	VERIFY IN FIELD	
VWC	VINYL WALL COVERING	
W		
W	WEST	
WI	WITH	
WC	WATER CLOSET/	
	WATER COOLER/	
	WALL COVERING	
WD	WOOD	
WG	WIRE GLASS	
WH	WALL HUNG	
WO	WITHOUT	
WP	WATERPROOFING	
WR	WATER RESISTANT	
WS	WEATHERSTRIPPING	
WSCT	WAINSCOT	
WT	WEIGHT	

ANNOTATION SYMBOLS LEGEND:		
	REMOVAL KEY NOTE	
	RENOVATION KEY NOTE	
	DOOR TAG	
	WINDOW TAG	
EXAMPLE:		
	WALL / PARTITION TYPE TAG	
	DIMENSION STRING	
	ELEVATION MARKER	
	ROOM	
	ROOM TAG	
	NORTH ARROW	
	DETAIL ELEVATION	
	EXTERIOR ELEVATION	
	CALLOUT LASSO	
	SIM	
	BUILDING SECTION	
	WALL SECTION	
	DETAIL SECTION	
	REVISION IDENTIFICATION	
	DOOR (EXISTING)	
	DOOR (NEW CONSTRUCTION)	
	EXISTING CONSTRUCTION (TO BE REMOVED)	

TYPICAL MOUNTING HEIGHTS AND LOCATIONS:		
SD - SOAP DISPENSER TD - TOWEL DISPENSER WR - WASTE RECEPTACLE UR - URINAL LAV - LAVATORY MIRR - MIRROR WC - WATER CLOSET GB - GRAB BAR TPH - TOILET PAPER HOLDER DFWBF - DRINKING FOUNTAIN / WATER BOTTLE FILLER FE - FIRE EXTINGUISHER FEC - FIRE EXTINGUISHER CABINET SN - SIGN	NOTE: GBX = GRAB BAR; "X" REPRESENTS LENGTH (E.G. GB36 IS A 36" LONG GRAB BAR. GBL30S2 IS AN L-SHAPED GRAB BAR 30"x52"). NOTE: FOR OTHER ACCESSORY ITEMS, SEE MANUFACTURER'S REQUIREMENTS FOR HANDICAPPED MOUNTING HEIGHTS. NOTE: REFER TO PLUMBING DRAWINGS FOR ACTUAL FIXTURE TYPES. FIXTURES DEPICTED ARE FOR INFORMATIONAL PURPOSES WITH REGARD TO MOUNTING HEIGHTS AND LOCATIONS. NOTE: REFER TO WASHROOM INTERIOR ELEVATIONS FOR ACCESSORY MOUNTING LOCATIONS IN ROOMS. NOTE: COORDINATE MOUNTING HEIGHTS OF FIXTURES AND EQUIPMENT WITH SUGGESTED CHILDREN'S REACH RANGES CHART PER ADVISORY 308.1 REACH RANGES FROM THE U.S. ACCESS BOARD FOR ANSI 117.1-2009.	
REMOVAL LINE TYPE LEGEND		
RENOVATION LINE TYPE LEGEND		
LINE TYPE LEGEND - ROOF		
HATCH LEGEND		

ADA CLEARANCES:		
TURNING RADIUS	WHEELCHAIR APPROACH	KNEE & TOE CLEARANCES

SEE FIRE MARSHAL
REVIEW COMMENTS

General Notes: These plans have been reviewed for compliance with the Rockville City Fire Code and the 2018 NFPA 101, Life Safety code. Comments are referenced from 2018 NFPA 1, 2016 NFPA 13, NFPA 13R, & 2018 NFPA 101, unless otherwise indicated and shall be corrected prior to final occupancy inspection. Please contact the reviewer whose name appears above with any questions regarding these comments.

These plans were reviewed under Chapter 13, Existing Assembly Occupancies.
These plans were reviewed under Chapter 42, Storage Occupancies.
These plans were reviewed under Chapter 43, building Rehabilitation.

Building is fully sprinklered. Installation or alterations to sprinkler system shall be in accordance with Section 9.7. (Automatic Sprinklers). Submit plans to City of Rockville, Inspection Services Division for review and obtain permit prior to installation/alteration of sprinkler system. Permit required for one (1) or more heads.

Hazardous areas including but not limited to general storage areas, boiler/furnace rooms, maintenance shops, etc. shall have 1-hour separation, or automatic sprinklers and smoke partitions with self or automatic-closing doors. NFPA 101, 39.3.2.1.

This review does NOT include formal review of Fire Alarm and/or Sprinkler system plans. Contractors responsible for installing systems shall submit plans and specifications to City of Rockville, Inspection Services Division for review and obtain permit prior to system installation/alteration.

Ceiling height shall be not less than 7 feet 6 inches. Projections from ceiling shall be at least 6 ft. 8 in. above the floor. NFPA 101, 7.1.5.1(1).

No door opening in a means of egress shall be less than 32 in. clear width. All projections into the opening (including door hardware) shall be counted as a reduction in the clear width. NFPA 101, 7.2.1.2.3.2. (1 thru 9).

Doors serving a room or area with an occupant load of 50 or more shall swing in the direction of exit travel. NFPA 101, 7.2.1.4.2(1).

During its swing, any door in a means of egress shall leave not less than one half the required width of an aisle, corridor, passageway, landing unobstructed. When fully open, door cannot project more than 7 inches into the required width. NFPA 101, 7.2.1.4.3.1.

Special locking arrangements such as delayed egress locks or access controlled egress doors shall comply with requirements of Chapter 7.

Every required exit, exit discharge, and exit access shall be maintained during construction. NFPA 101, 4.5.3.2.

Occupant load calculated at plan review is limited to 38 total occupants (including staff). Final capacity will be determined by the Fire Inspector at time of occupancy inspection.

Means of egress shall be illuminated in accordance with Chapter 7.

Provide exit signs in accordance with Chapter 7.

Exit signs having directional indicators shall comply with Chapter 7. Directional indicator shall be located outside of the exit legend, not less than 3/8 inch from any letter. NFPA 101, 7.10.6.2.

Emergency lighting shall be provided in accordance with Chapter 7.

Fire alarm shall be audible and visible throughout. Additions or alterations to system shall be in accordance with Section 9.6. Submit plans to City of Rockville, Inspection Services Division, for review and obtain permit prior to installation.

Provide Fire Inspector with flame spread certificates for all interior finishes. Class A or B in the exits and exit access; Class A, B or C for other areas, smoke development not to exceed 450.

Electrical installations shall be in accordance with NFPA 70, The National Electrical Code. All electrical equipment must be clearly labeled, marked or stamped with the symbol of an electrical testing laboratory approved by the Maryland State Fire Marshal.

Ground-fault circuit-interrupter receptacles shall be installed within six- (6) feet of a sink, 2014 NEC 70, Section 210.8 (B)(1) & (5).

Installation/alteration of all HVAC shall be in accordance with NFPA 90A.

Provide duct smoke detection on supply side for all HVAC systems over 2000 CFM. Detectors shall not activate fire alarm.

Provide smoke detection on supply and return sides of all HVAC systems over 15,000 CFM. Detectors shall not activate fire alarm.

All fire dampers, smoke dampers, and ceiling dampers shall be operated prior to the occupancy of a building to determine that they function in accordance with the requirements of this standard. NFPA 90A, 7.2.

Fire/smoke dampers shall be labeled in accordance with 607.4 of the 2018 IMC.

Natural gas lines and appliances shall be installed and tested in accordance with NFPA 54, National Fuel Gas Code.

Provide a Knox Box key lock box (NFPA 1, 18.2.2.1.) in a location approved by City of Rockville Fire Marshal Office. See attachment or Call 240.314.8256 or 8263 to discuss the requirements with the fire department Knox Box contact person.

Fire extinguishers shall be conspicuously located where they are readily accessible and immediately available in the event of fire. NFPA 10, 6.1.3.1.

Review and permit issuance by the City of Rockville Fire Marshal's Office shall not relieve the applicant of the responsibility of compliance with this Code. NFPA 1, 1.14.4.

When required by the AHJ (Authority Having Jurisdiction), revised construction documents or shop drawings shall be prepared and submitted for review and approval to illustrate corrections or modifications necessitated by field conditions or other revisions to approved plans. NFPA 1, 1.14.5.



PROJECT:
TWINBROOK COMMUNITY
CENTER RESTROOM
RENOVATIONS PARKWAY

PROJECT ADDRESS:
12920 TWINBROOK PARKWAY
ROCKVILLE, MARYLAND 20851

ARCHITECT:

DELTA

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REGISTRATION:

I certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License number 13892, expiration date 2026-06-24

Revision

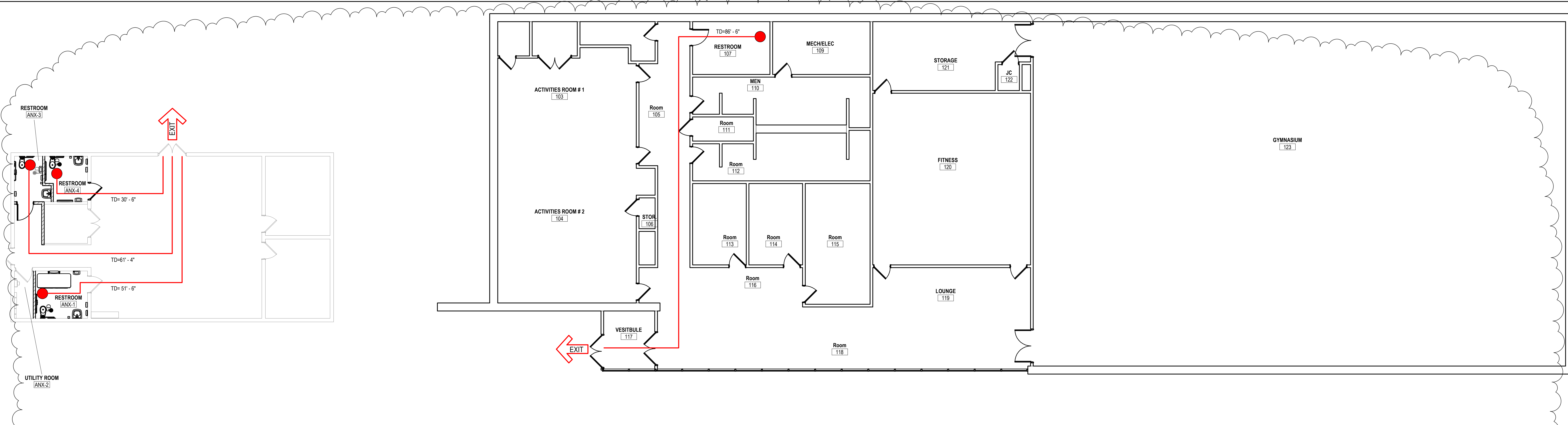
Number Description Date

PROJECT NO: 2019.331.012
DRAWN BY: LA
CHECKED BY: DDA

RESUBMISSION: 100%-07-22-2024

SHEET TITLE:
LEGENDS, ABBREVIATIONS
AND NOTES

G-002



2 ANNEX BUILDING - LIFE SAFETY PLAN
G-003 SCALE: 1/8" = 1'-0"

1 MAIN BLDG. FIRST FLOOR PLAN - LIFE SAFETY PLAN
G-003 SCALE: 1/8" = 1'-0"

BUILDING DATA - ANNEX BUILDING							
FUNCTION:		EXISTING/ASSEMBLY					
CLASSIFICATION:		GROUP A					
SEPARATION:		N/A					
CONSTRUCTION TYPE:		III					
FIRE PROTECTION:		AUTOMATIC FIRE PROTECTION SYSTEM PER NFPA 13 - 903.2.5					
HEIGHT AND AREA (PER FIRE AREA)							
ALLOWABLE HEIGHT AND AREA (PER TABLES 504.3, 504.4, AND 506.2)							
GROUP	MAX. ALLOW. HT. (FT)	ACTUAL HT. (FT)	MAX. ALLOW. HT. (STORIES)	ACTUAL HT. (STORIES)	MAX. ALLOW. AREA (SQ.FT./FLR)	ACTUAL (SQ.FT./FLR)	
A	65'	44'-0"	3	1	14,000	1,800	
**Values indicated do not include area calculations for Frontage or Sprinkler increases.							

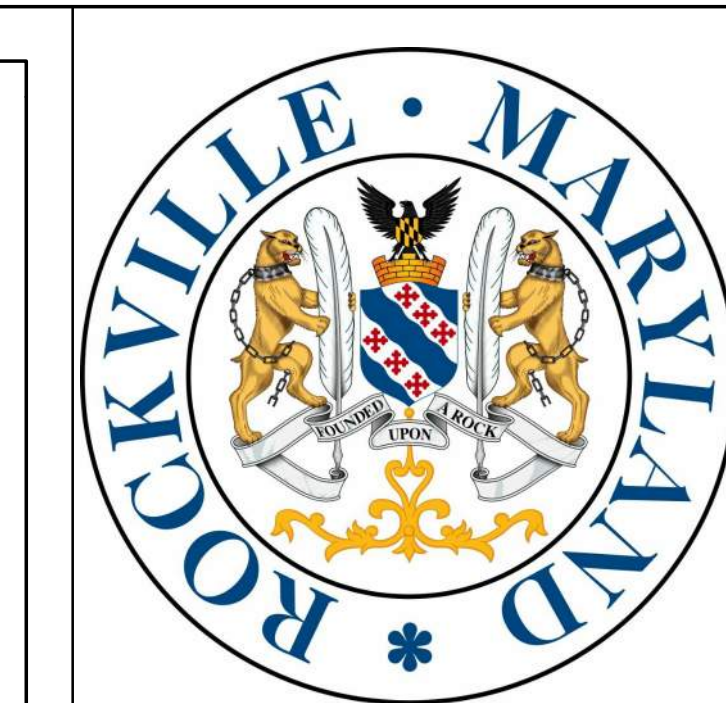
EGRESS					
COMPONENT	OCCUPANCY			CODE REF.	
	A-1				
EXIT ACCESS TRAVEL DISTANCE - MAXIMUM	ALLOWABLE	250'			IBC 1017.2
	ACTUAL *	61'-4"			
COMMON PATH OF TRAVEL - MAXIMUM	ALLOWABLE	75'			IBC 1006.2.1
	ACTUAL	61'-4"			
DEAD END CORRIDOR - MAXIMUM	ALLOWABLE	20'			IBC 1020.4
	ACTUAL	N/A			
MINIMUM CORRIDOR WIDTH	ALLOWABLE	44"			IBC 1020.3
	ACTUAL	50"			
MINIMUM EGRESS DOOR WIDTH	ALLOWABLE	32"			IBC 1010.1.1
	ACTUAL	XX"			

BUILDING DATA - MAIN BUILDING						
FUNCTION:		EXISTING/ASSEMBLY				
CLASSIFICATION:		GROUP A				
SEPARATION:		N/A				
CONSTRUCTION TYPE:		II-B				
FIRE PROTECTION:		AUTOMATIC FIRE PROTECTION SYSTEM PER NFPA 13 - 903.2.5				
HEIGHT AND AREA (PER FIRE AREA)						
ALLOWABLE HEIGHT AND AREA (PER TABLES 504.3, 504.4, AND 506.2)						
GROUP	MAX. ALLOW. HT. (FT)	ACTUAL HT. (FT)	MAX. ALLOW. HT. (STORIES)	ACTUAL HT. (STORIES)	MAX. ALLOW. AREA (SQ.FT./FLR)	ACTUAL (SQ.FT./FLR)
A	75'	44'-0"	4	3	69,000	54,000
**Values indicated do not include area calculations for Frontage or Sprinkler increases.						

EGRESS					
COMPONENT	OCCUPANCY			CODE REF.	
	A-1				
EXIT ACCESS TRAVEL DISTANCE - MAXIMUM	ALLOWABLE	250'			IBC 1017.2
	ACTUAL *	86'-6"			
COMMON PATH OF TRAVEL - MAXIMUM	ALLOWABLE	75'			IBC 1006.2.1
	ACTUAL	61'-4"			
DEAD END CORRIDOR - MAXIMUM	ALLOWABLE	20'			IBC 1020.4
	ACTUAL	N/A			
MINIMUM CORRIDOR WIDTH	ALLOWABLE	44"			IBC 1020.3
	ACTUAL	50"			
MINIMUM EGRESS DOOR WIDTH	ALLOWABLE	32"			IBC 1010.1.1
	ACTUAL	XX"			

APPLICABLE CODES	
BUILDING CODE:	2021 INTERNATIONAL BUILDING CODE (IBC)
STRUCTURAL CODE:	Not applicable
ACCESSIBILITY CODE:	ICC/ANSI A117.1-09 Accessible and Usable Buildings and Facilities 2020 International Building Code (Chapter 11) 2010 ADA STANDARDS
FIRE CODE:	2018 NFPA 1 FIRE CODE 2018 NFPA 101 LIFE SAFETY CODE 2016 NFPA 13, 13R, 13D FIRE SPRINKLER CODE 2016 NFPA 72 FIRE ALARM CODE 2018 CITY OF ROCKVILLE CHAPTER 9 LOCAL AMENDMENTS
MECHANICAL CODE:	2018 INTERNATIONAL PLUMBING CODE
PLUMBING CODE:	2018 INTERNATIONAL PLUMBING CODE
ELECTRICAL CODE:	NFPA 70 - 2023 National Electrical Code NFPA 72 - 2022 National Fire Alarm Code NFPA 110 - 2016 Emergency and Standby Power Systems Illuminating Engineering Society (IES) Design Guidelines
Note: Refer to each trades respected general sheets for additional code information.	

LIFE SAFETY LEGEND	
	1 HOUR FIRE RESISTANCE RATING
	2 HOUR FIRE RESISTANCE RATING
	SMOKE BARRIER (1HR RATED, UNLESS OTHERWISE SHOWN)
	PRIMARY EGRESS PATH
	SECONDARY EGRESS PATH
	TRAVEL DISTANCE TO EXIT
	MOST REMOTE POINT OF EGRESS ACCESS
	EXIT DISCHARGE
	FIRE EXTINGUISHER
	FIRE EXTINGUISHER CABINET



PROJECT:
TWINBROOK COMMUNITY
CENTER RESTROOM
RENOVATIONS

PROJECT ADDRESS:
12920 TWINBROOK PARKWAY
ROCKVILLE, MARYLAND 20851

ARCHITECT:
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REGISTRATION:

I certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License number 13892, expiration date 2026-06-24

Revision		
Number	Description	Date
1	Revision 1 Resubmission	07/22/24

PROJECT NO: 2019.331.012
DRAWN BY: Author
CHECKED BY: Checker

RESUBMISSION: 100% 07-22-2024

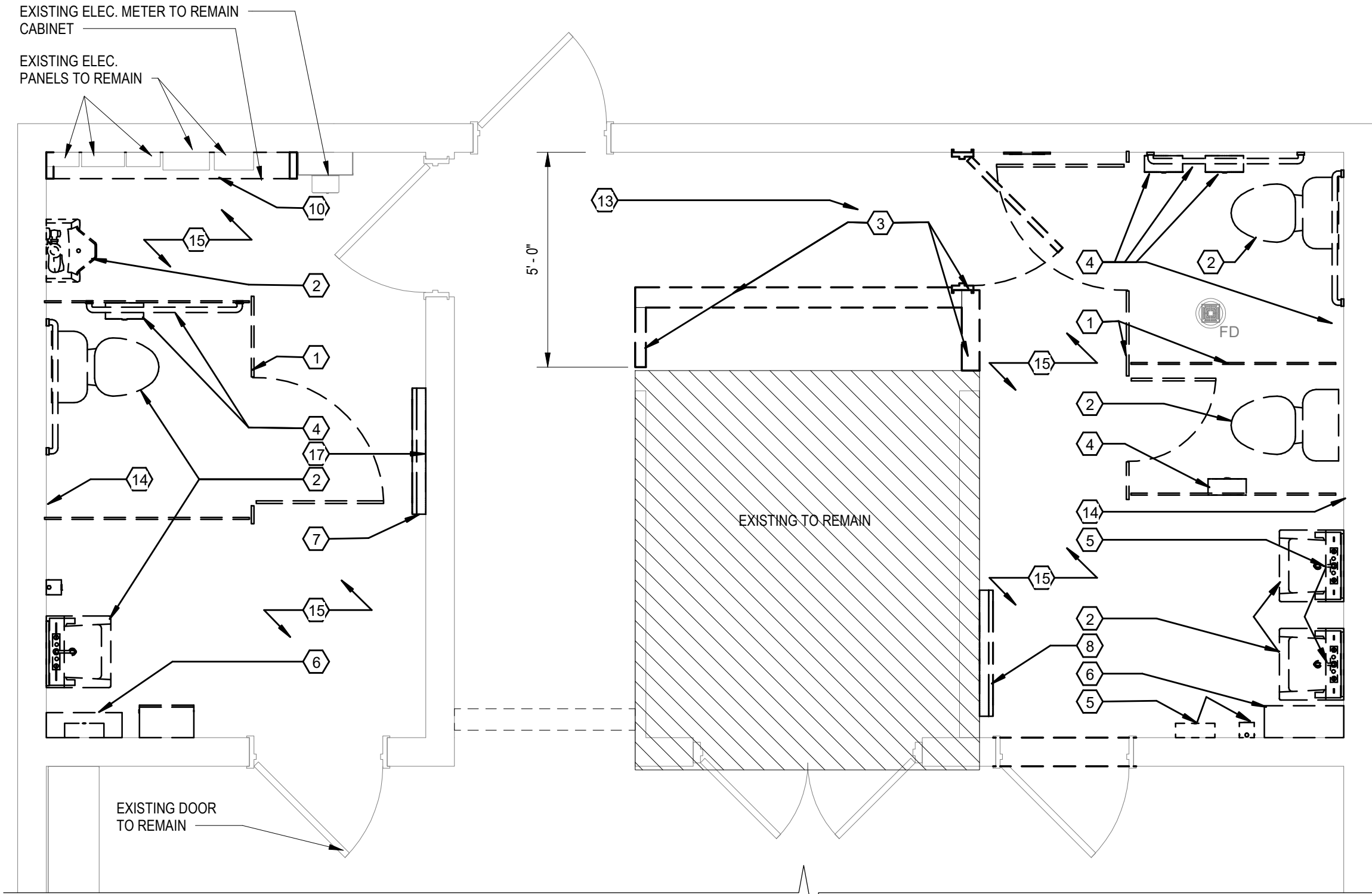
SHEET TITLE:
LIFE SAFETY

PLAN NORTH

G-003

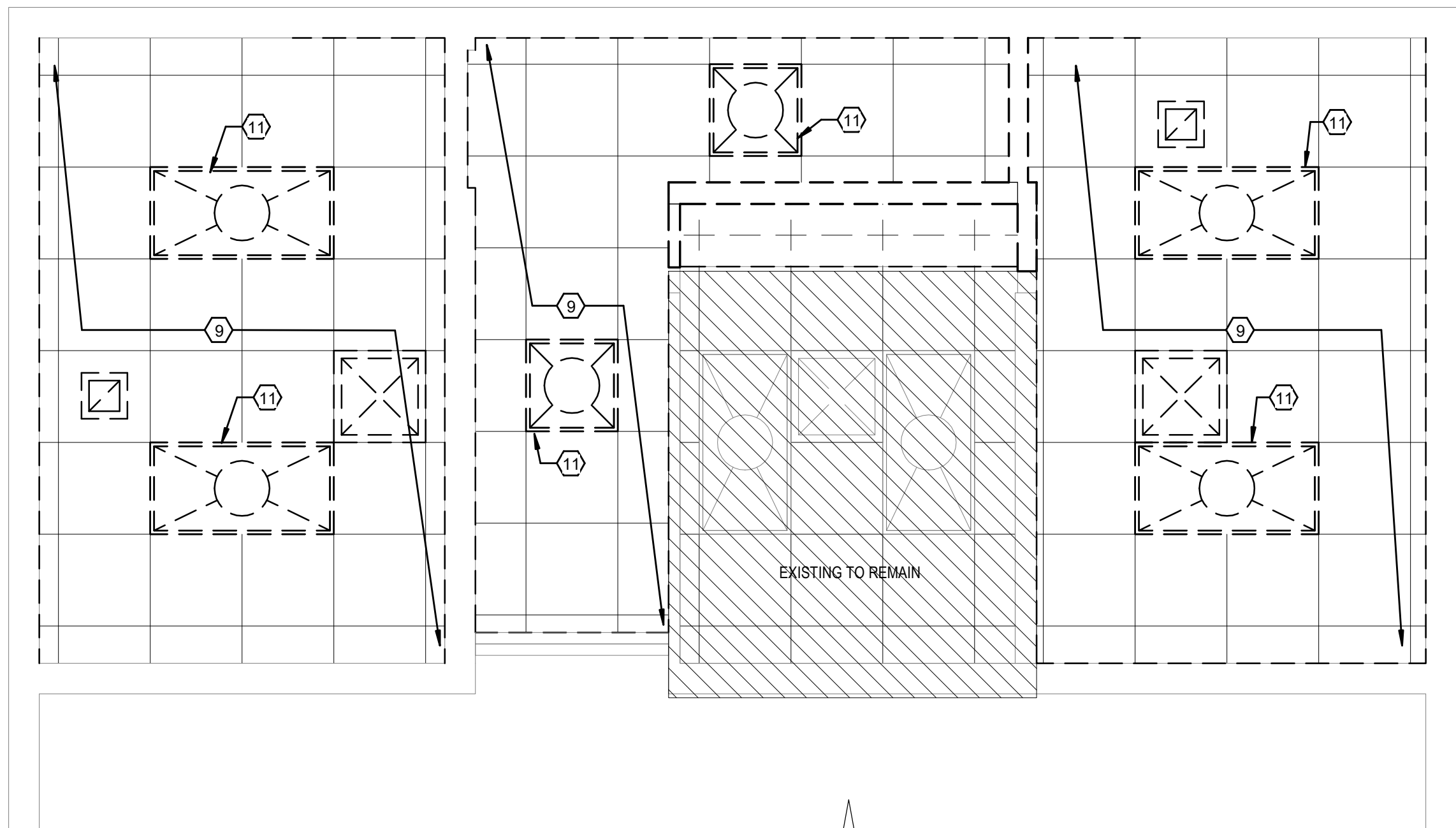
KEYED DEMOLITION NOTES

- REMOVE AND DISPOSE OF EXISTING TOILET STALLS, URINAL SCREEN & SUPPORTS.
- REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURE.
- REMOVE AND DISPOSE OF EXISTING PARTITIONS, WALLS, DOORS AND FRAMES AS REQUIRED FOR NEW WORK.
- REMOVE AND DISPOSE OF EXISTING TOILET ACCESSORIES: TOILET TISSUE DISPENSER, TOILET SEAT COVER, & GRAB BARS.
- REMOVE AND DISPOSE OF EXISTING RESTROOM ACCESSORIES: PAPER TOWEL DISPENSER, MIRROR, & SOAP DISPENSER.
- REMOVE AND DISPOSE OF INSTA-HOT. RETAIN CIRCUIT FOR REUSE WITH DEVICES IN RENOVATED RESTROOMS.
- REMOVE AND DELIVER TO OWNER BABY CHANGING STATION
- REMOVE & RELOCATE BABY CHANGING STATION
- COMPLETELY REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM AND MECHANICAL REGISTERS
- REMOVE AND DISPOSE OF WALL MOUNTED WOOD CABINET
- COMPLETELY REMOVE AND DISPOSE OF EXISTING LIGHTS. RETAIN EXISTING CIRCUITING FOR INSTALLATION OF NEW LIGHTING.
- REMOVE EXISTING FINISHED FLOORING
- SAW CUT AND REMOVE EXISTING SLAB AS INDICATED TO PERMIT INSTALLATION OF SLOPED SLAB AT NEW SHOWER
- ALTERNATE 1: REMOVE AND DISPOSE OF EXISTING CERAMIC WALL TILE
- ALTERNATE 1: REMOVE AND DISPOSE OF EXISTING CERAMIC FLOOR TILE
- REMOVE EXISTING ELECTRICAL DEVICE. RETAIN CIRCUIT FOR REUSE WITH NEW DEVICES IN RENOVATED RESTROOM
- REMOVE WALL FINISH AND INSTALL SOLID BLOCKING FROM FLOOR TO STRUCTURE. SOLID BLOCKING PER MANUFACTURER'S REQUIREMENTS FOR INSTALLATION OF ADULT CHANGING STATION



1 ANNEX BUILDING RESTROOM FLOOR PLAN - DEMO

A-101 SCALE: 3/8" = 1'-0"



3 ANNEX BUILDING RESTROOM RCP - DEMO

A-101 SCALE: 3/8" = 1'-0"

REFLECTED CEILING PLAN LEGEND

2x2 ACOUSTICAL CEILING TILE

GYPSUM WALL BOARD

2X2 LIGHT FIXTURE: LITHONIA 2VTL2-33L-ADP-GZ1-LP835 OR APPROVED EQUAL

2X2 SUPPLY DIFFUSER

1X1 EXHAUST DIFFUSER

CEILING HEIGHT A.F.F.

OCCUPANCY SENSOR

SPRINKLER HEAD

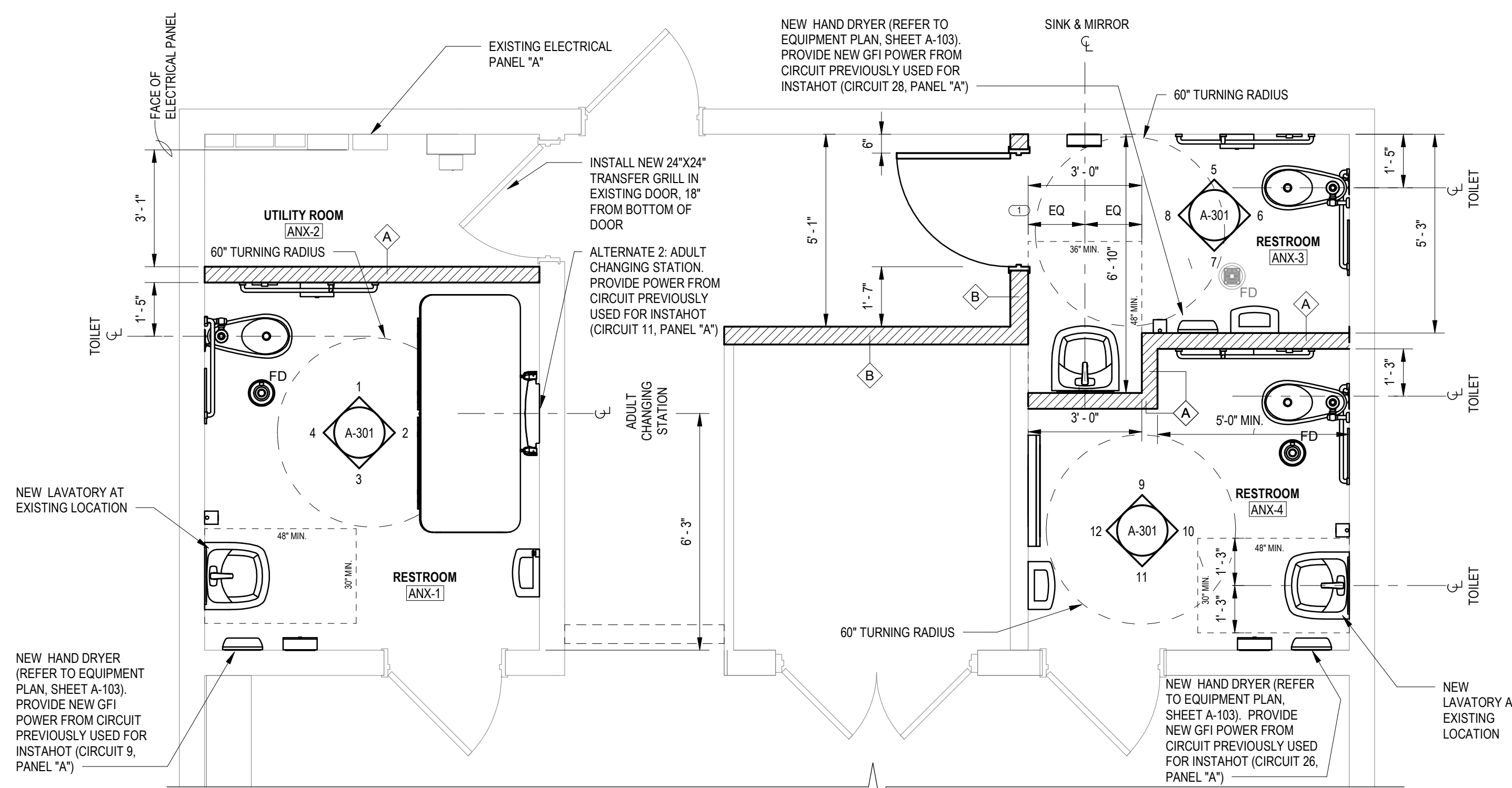
FIRE ALARM STROBE

NOTE: REFER TO "P", "M", AND "E" DRAWINGS FOR EXACT FIXTURE / EQUIPMENT TYPE(S), SIZES AND ADDITIONAL INFORMATION.

REMOVAL LINE TYPE LEGEND

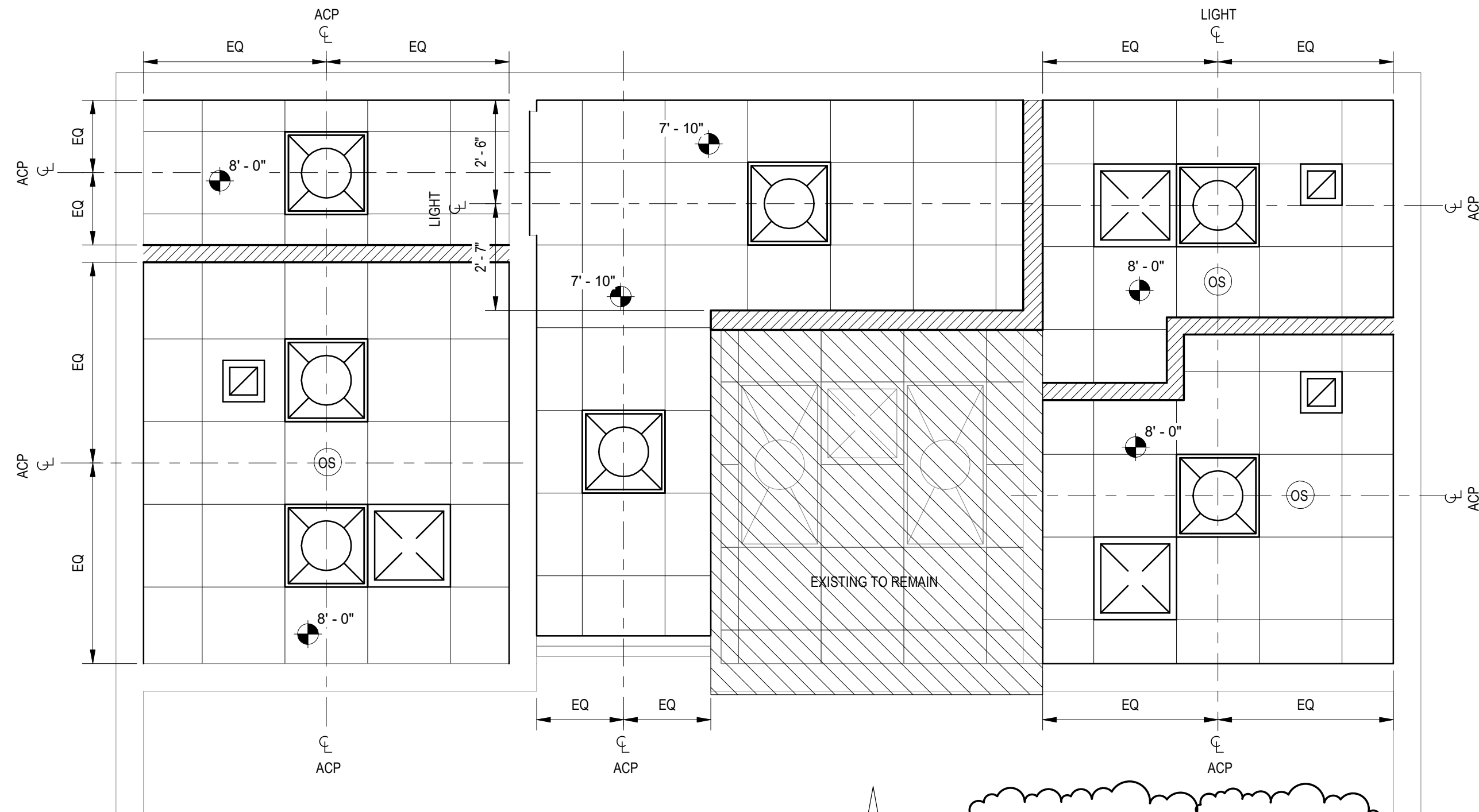
EXISTING ITEM(S) / EQUIPMENT TO REMAIN

EXISTING ITEM(S) / EQUIPMENT TO BE REMOVED



2 ANNEX BUILDING RESTROOM FLOOR PLAN - NEW WORK

A-101 SCALE: 3/8" = 1'-0"



EXISTING FIRE ALARM NOTE: THE ANNEX BUILDING DOES NOT INCLUDE FIRE ALARM STROBES/ANNUNCIATORS. IF A FIRE IS DETECTED IN THE ANNEX BUILDING, AN ALARM IS SIGNALED IN THE RECREATION CENTER. THE SOW WORK FOR THIS PROJECT DOES NOT ALTER THIS EXISTING SYSTEM.

4 ANNEX BUILDING RESTROOM RCP - NEW WORK

A-101 SCALE: 3/8" = 1'-0"



PROJECT:
TWINBROOK COMMUNITY
CENTER RESTROOM
RENOVATIONS PARKWAY

PROJECT ADDRESS:
12920 TWINBROOK PARKWAY
ROCKVILLE, MARYLAND 20851

ARCHITECT:

DELTA

8401 Connecticut Ave. Suite 350
Chevy Chase, Maryland
Phone: 301-718-0080
Fax: 301-718-9520
www.delta-eas.com



REGISTRATION:

I certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License number 13892, expiration date 2026-06-24

Revision		
Number	Description	Date
1	Revision 1 Resubmission	07/22/24

PROJECT NO: 2019.331.012
DRAWN BY: Author
CHECKED BY: Checker

RESUBMISSION: 100% 07-22-2024

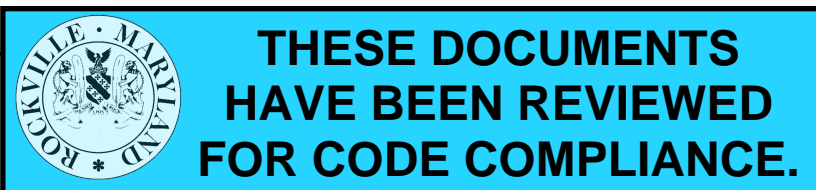
SHEET TITLE:
PLANS

A-101



0" 1'-4" 2'-8" 5'-4"

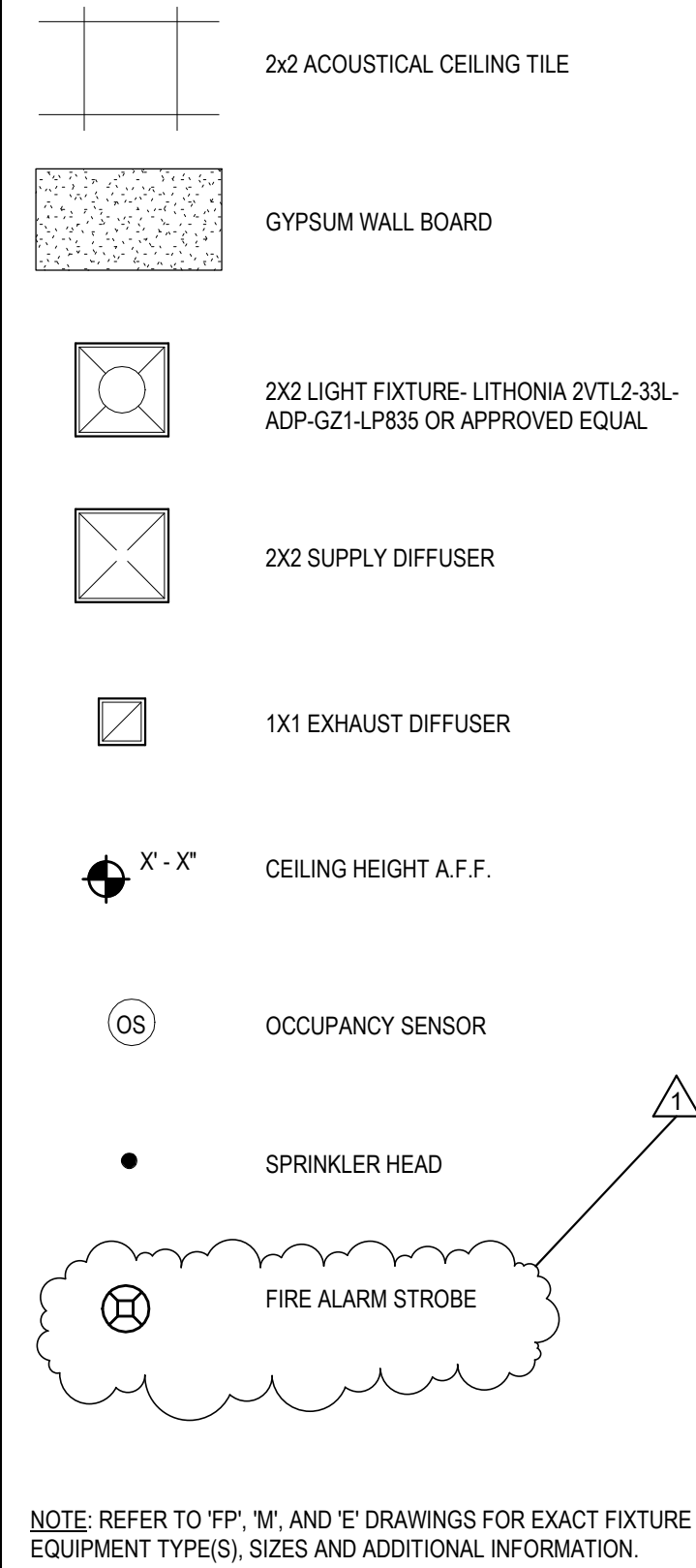
SCALE: 3/8" = 1'-0"
Construction/Installation subject to inspection by Fire Marshal. Schedule all fire inspections online through My Government On-line Customer Service Portal.



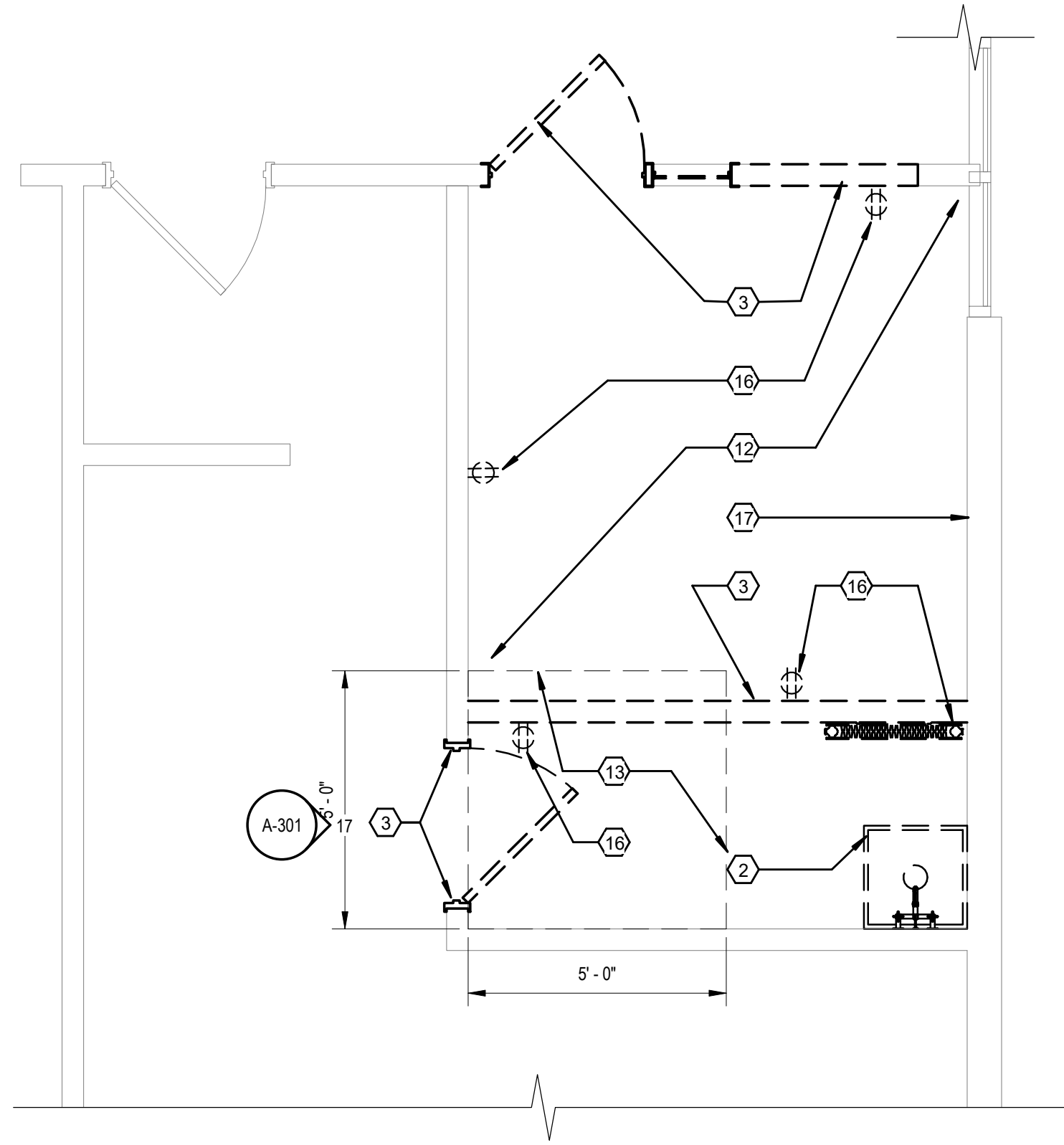
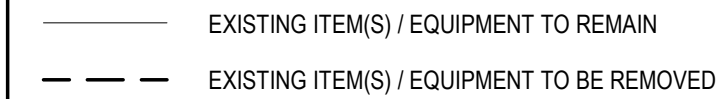
KEYED DEMOLITION NOTES

- 1 REMOVE AND DISPOSE OF EXISTING TOILET STALLS, URINAL SCREEN & SUPPORTS.
- 2 REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURE.
- 3 REMOVE AND DISPOSE OF EXISTING PARTITIONS, WALLS, DOORS AND FRAMES AS REQUIRED FOR NEW WORK.
- 4 REMOVE AND DISPOSE OF EXISTING TOILET ACCESSORIES: TOILET TISSUE DISPENSER, TOILET SEAT COVER, & GRAB BARS.
- 5 REMOVE AND DISPOSE OF EXISTING RESTROOM ACCESSORIES: PAPER TOWEL DISPENSER, MIRROR, & SOAP DISPENSER.
- 6 REMOVE AND DISPOSE OF INSTA-HOT. RETAIN CIRCUIT FOR REUSE WITH DEVICES IN RENOVATED RESTROOMS.
- 7 REMOVE AND DELIVER TO OWNER BABY CHANGING STATION
- 8 REMOVE & RELOCATE BABY CHANGING STATION
- 9 COMPLETELY REMOVE AND DISPOSE OF EXISTING CEILING SYSTEM AND MECHANICAL REGISTERS
- 10 REMOVE AND DISPOSE OF WALL MOUNTED WOOD CABINET
- 11 COMPLETELY REMOVE AND DISPOSE OF EXISTING LIGHTS. RETAIN EXISTING CIRCUITING FOR INSTALLATION OF NEW LIGHTING.
- 12 REMOVE EXISTING FINISHED FLOORING
- 13 SAW CUT AND REMOVE EXISTING SLAB AS INDICATED TO PERMIT INSTALLATION OF SLOPED SLAB AT NEW SHOWER
- 14 ALTERNATE 1: REMOVE AND DISPOSE OF EXISTING CERAMIC WALL TILE
- 15 ALTERNATE 1: REMOVE AND DISPOSE OF EXISTING CERAMIC FLOOR TILE
- 16 REMOVE EXISTING ELECTRICAL DEVICE. RETAIN CIRCUIT FOR REUSE WITH NEW DEVICES IN RENOVATED RESTROOM
- 17 REMOVE WALL FINISH AND INSTALL SOLID BLOCKING FROM FLOOR TO STRUCTURE. SOLID BLOCKING PER MANUFACTURER'S REQUIREMENTS FOR INSTALLATION OF ADULT CHANGING STATION

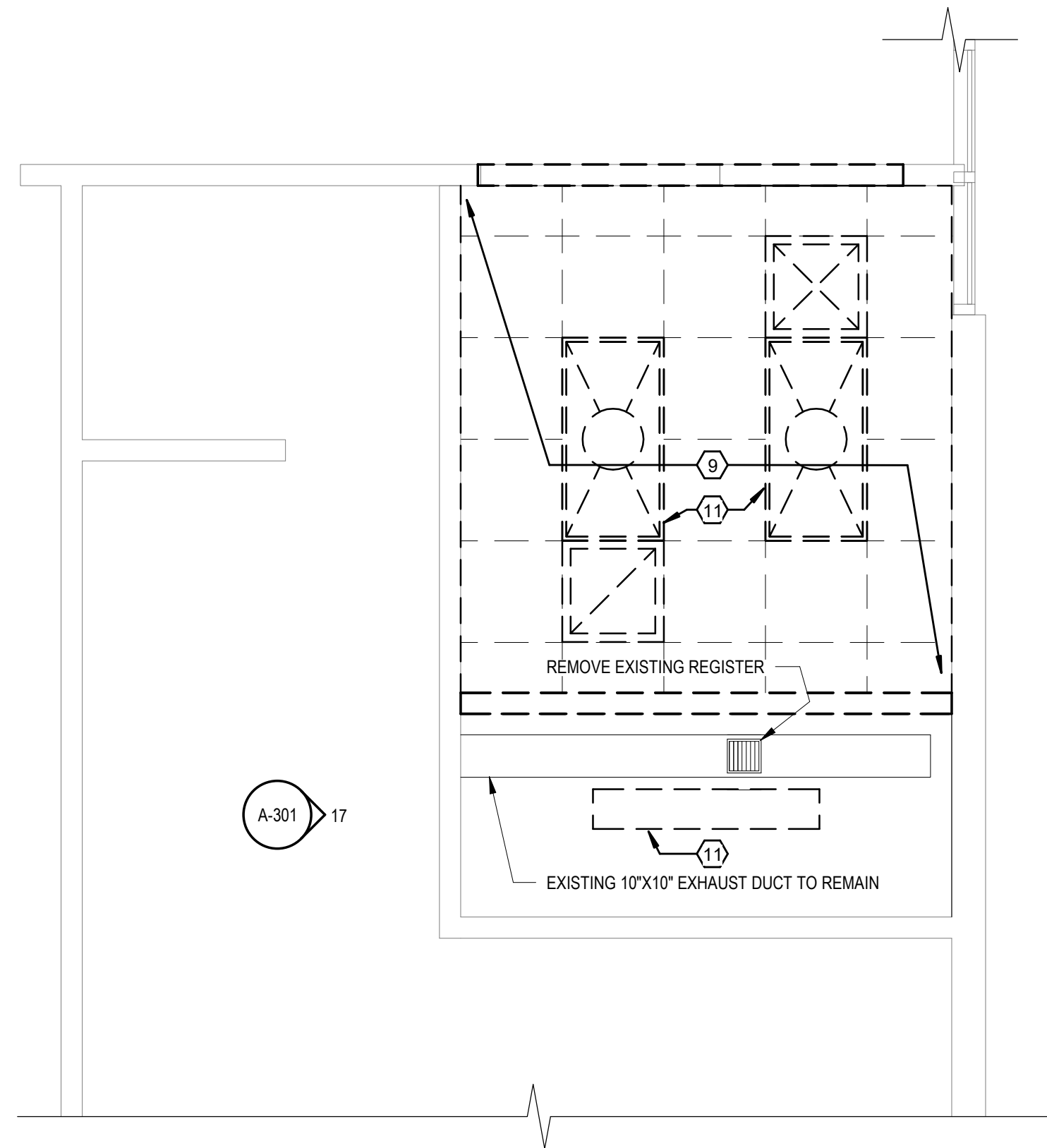
REFLECTED CEILING PLAN LEGEND



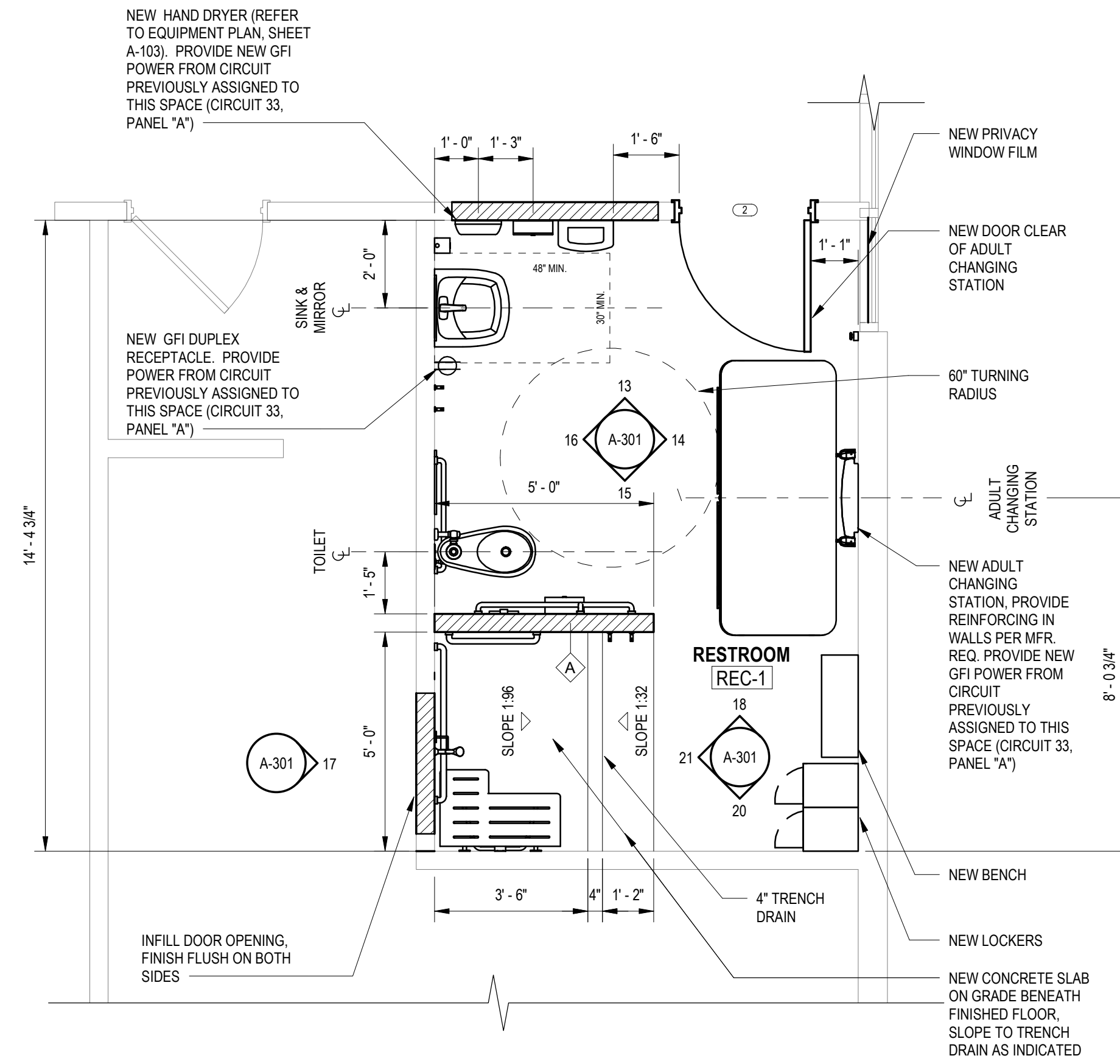
REMOVAL LINE TYPE LEGEND



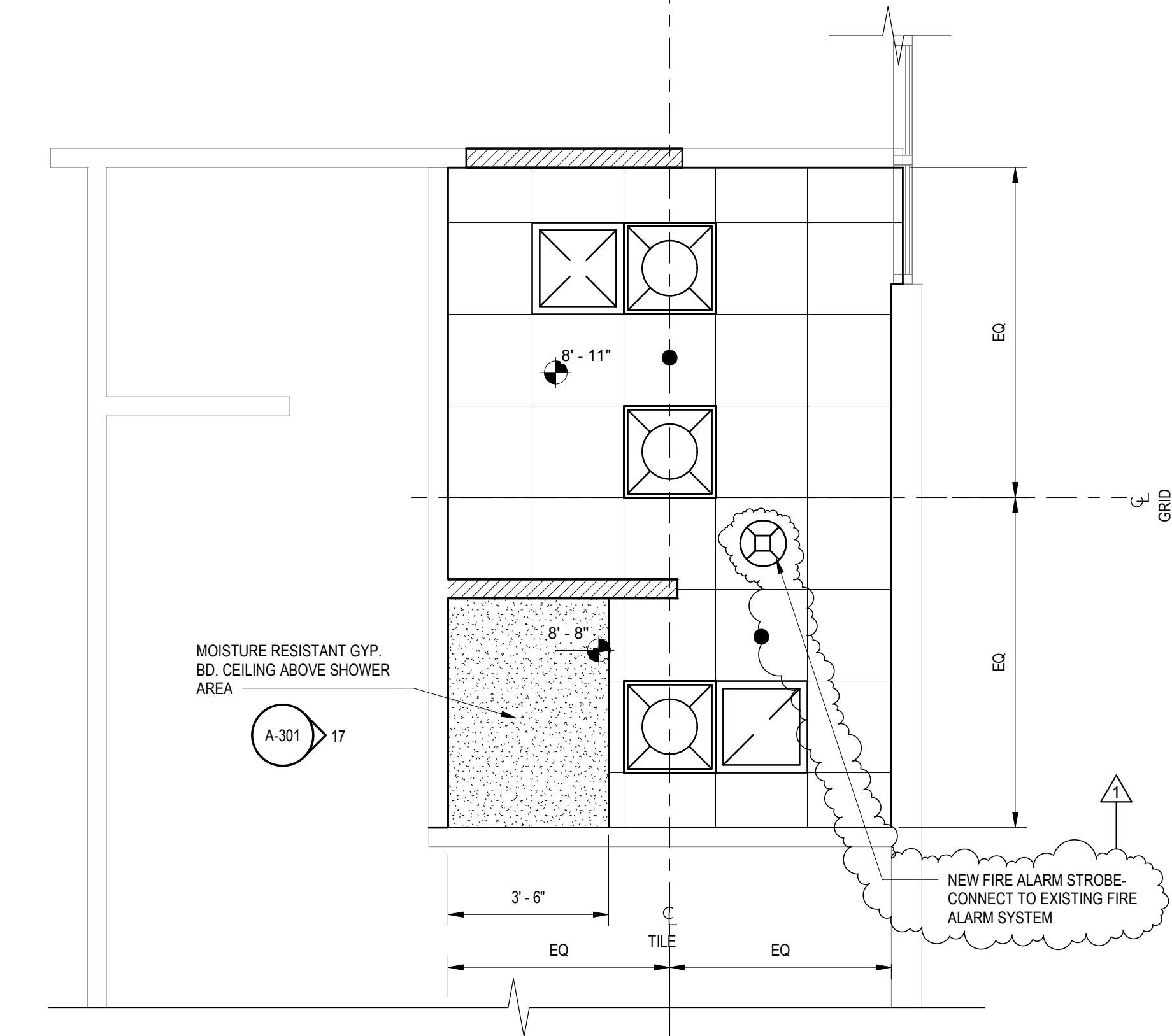
1 RECREATION CENTER- NEW RESTROOM - DEMO
A-102 SCALE: 3/8" = 1'-0"



3 RECREATION CENTER- NEW RESTROOM RCP - DEMO
A-102 SCALE: 3/8" = 1'-0"



2 RECREATION CENTER- NEW RESTROOM FLOOR PLAN - NEW WORK
A-102 SCALE: 3/8" = 1'-0"



4 RECREATION CENTER- NEW RESTROOM RCP - NEW WORK
A-102 SCALE: 3/8" = 1'-0"



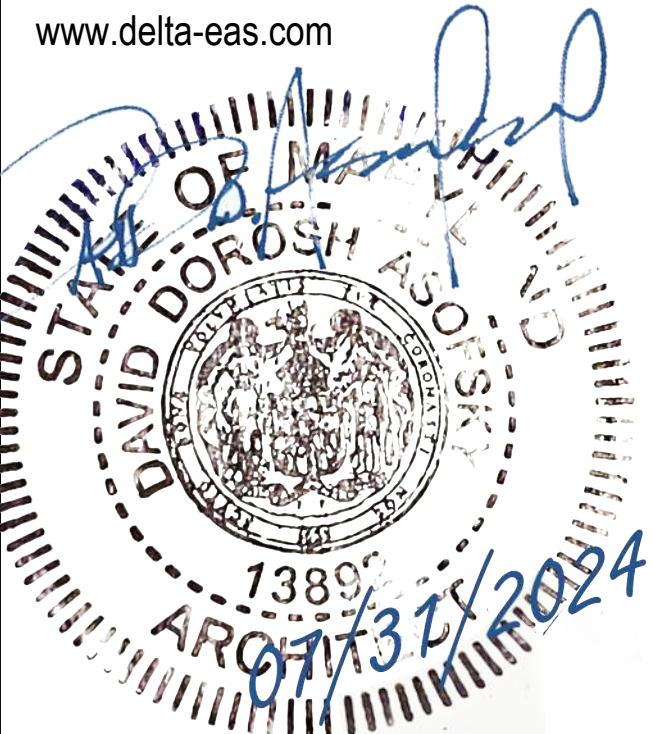
PROJECT:
TWINBROOK COMMUNITY
CENTER RESTROOM
RENOVATIONS PARKWAY

PROJECT ADDRESS:
12920 TWINBROOK PARKWAY
ROCKVILLE, MARYLAND 20851

ARCHITECT:



8401 Connecticut Ave, Suite 350
Chevy Chase, Maryland
Phone: 301-718-0080
Fax: 301-718-9520
www.delta-eas.com



REGISTRATION:

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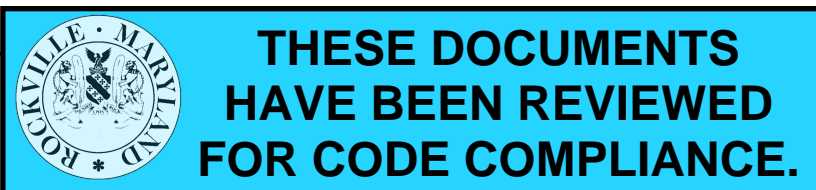
Revision		
Number	Description	Date
1	Revision 1 Resubmission	07/22/24

PROJECT NO: 2019.331.012
DRAWN BY: LA
CHECKED BY: DDA

RESUBMISSION: 100% 07-22-2024

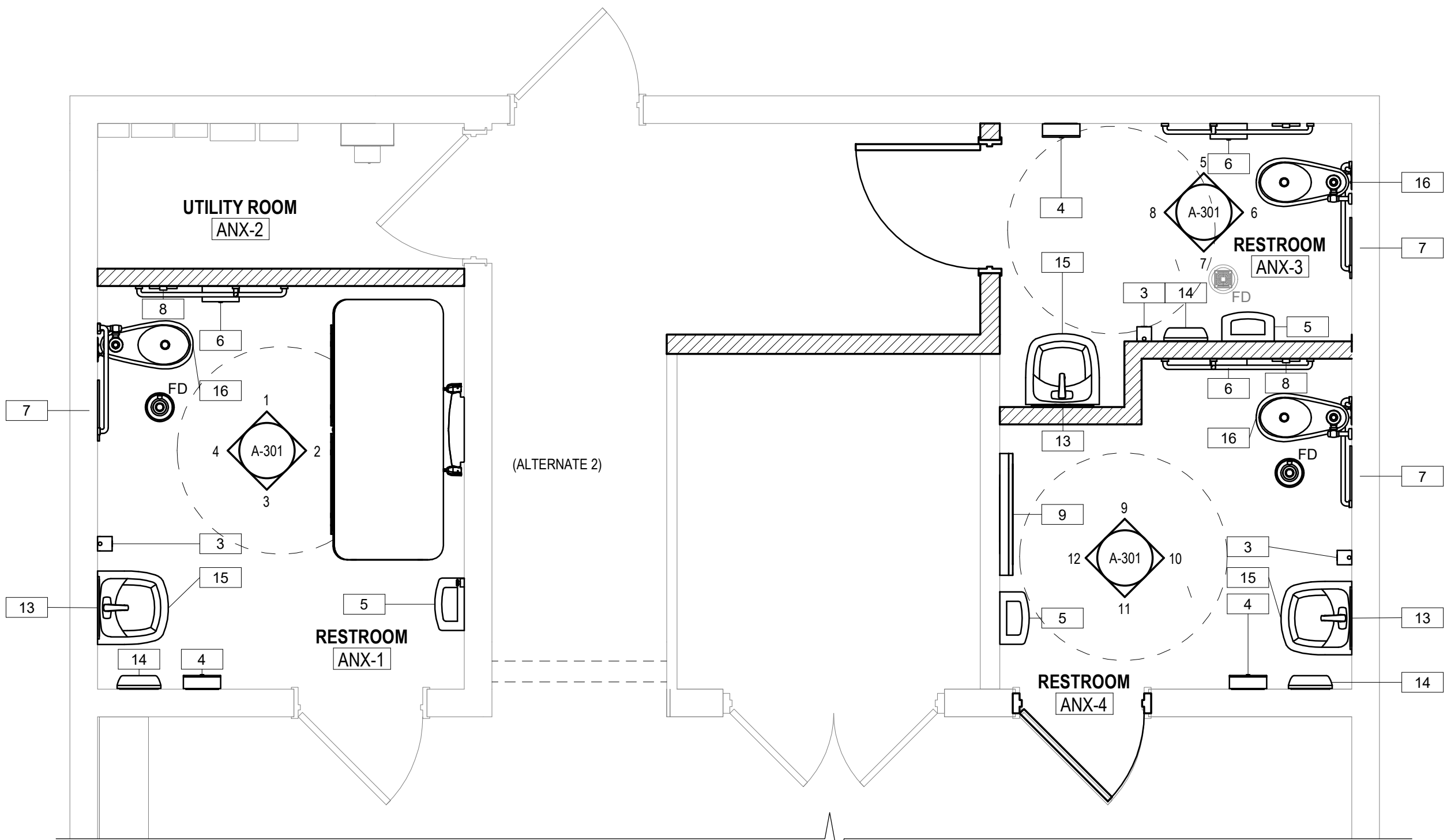
SHEET TITLE:
PLANS

A-102

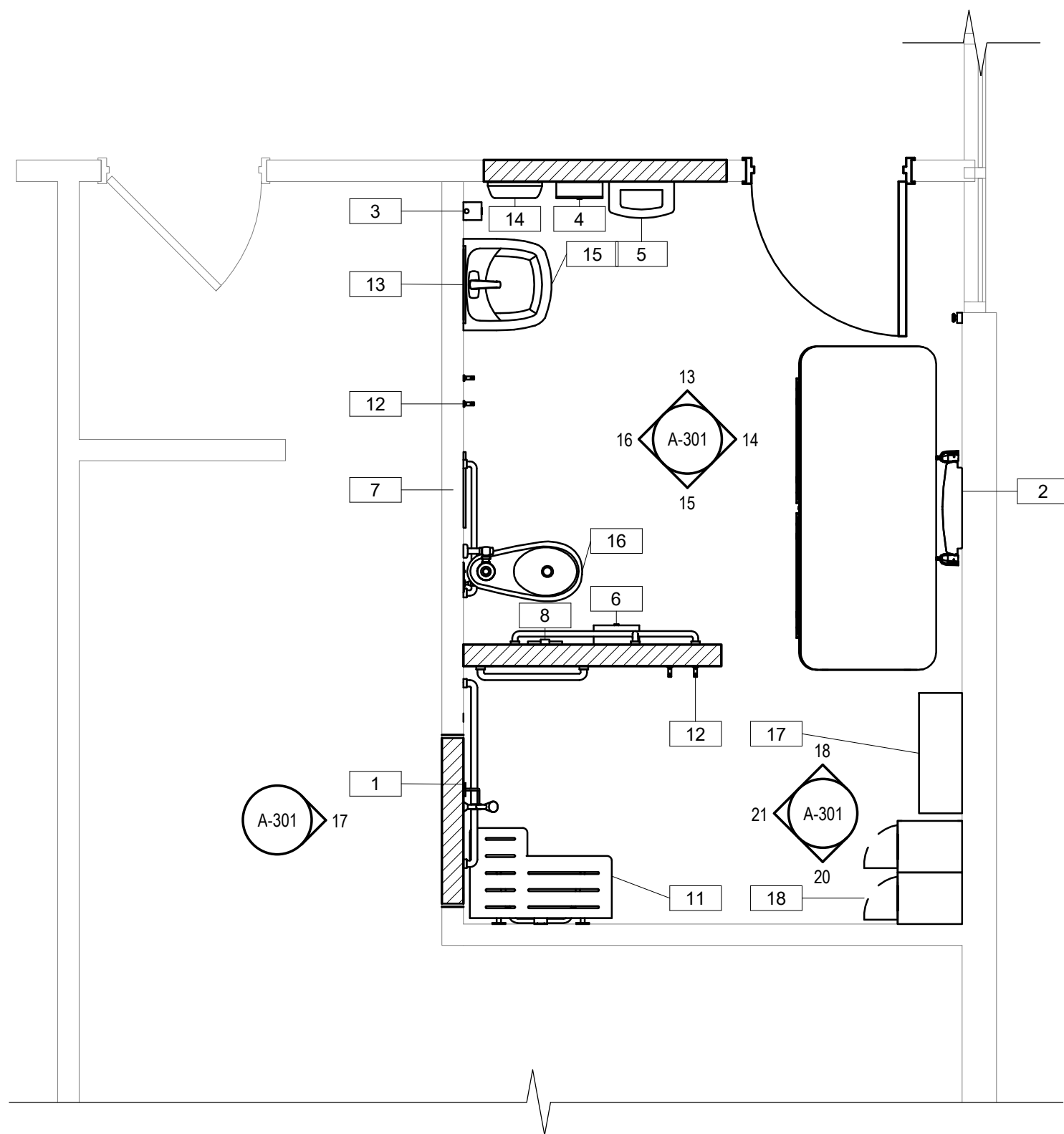


Construction/Installation subject to inspection by Fire Marshal. Schedule all fire inspections online through My Government On-line Customer Service Portal.

EQUIPMENT SCHEDULE				
EQUIPMENT NUMBER	EQUIPMENT NAME	Manufacturer	Model	COMMENTS
1	GRAB BARS	Bobrick Washroom Equipment, Inc.	B-5806	REFER TO INTERIOR ELEVATION FOR QTY, LENGTH & ORIENTATION
3	SOAP DISPENSER	Bobrick Washroom Equipment, Inc.	B-2012	
4	PAPER TOWEL DISPENSER	Bobrick Washroom Equipment, Inc.	B-262	
5	WASTE RECEPTACLE	American Specialties Inc.	20826-T	
6	TOILET TISSUE DISPENSER	American Specialties Inc.	0046	
7	TOILET SEAT COVER DISPENSER	Bobrick Washroom Equipment, Inc.	B-3013	
8	SANITARY NAPKIN DISPOSAL	Bobrick Washroom Equipment, Inc.	B-3513	
9	BABY CHANGING TABLE	Koala Care	KB200-55SS	
10	SHOWER ROD	Bobrick Washroom Equipment, Inc.	B-6047x60	
11	FOLDING SHOWER SEAT	Bobrick Washroom Equipment, Inc.	B-5181	
12	COAT HOOK	Bobrick Washroom Equipment, Inc.	B-5642	
13	MIRROR	Bobrick Washroom Equipment, Inc.	B-165	
14	HAND DRYER	Bobrick	B-7125	
15	LAVATORY	American Standard	0954.004EC	
16	WATER CLOSET W/ FLUSH VALVE	Sloan Valve	WETS-2000.1301	
17	BENCH	American Standard (WC) & Sloan (Flush Valve)	SEE NOTES	WC=Madera Flowise 16 1/2" high Elongated bowl, Flush Valve = 111 ess-1.28 TMO-HW
18	LOCKERS	Holman, Incorporated	PA-1	



1 ANNEX FIRST FLOOR PLAN - EQUIPMENT
A-103 SCALE: 3/8" = 1'-0"



2 Y-MAIN BLDG. FIRST FLOOR PLAN - EQUIPMENT PLAN
A-103 SCALE: 3/8" = 1'-0"



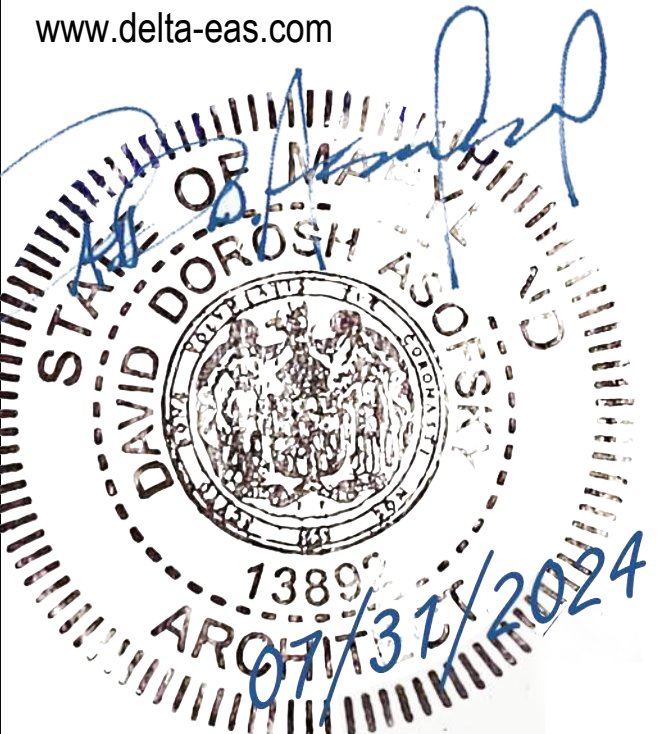
PROJECT:
TWINBROOK COMMUNITY
CENTER RESTROOM
RENOVATIONS PARKWAY

PROJECT ADDRESS:
12920 TWINBROOK PARKWAY
ROCKVILLE, MARYLAND 20851

ARCHITECT:



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Revision

Number	Description	Date
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PROJECT NO: 2019.331.012
DRAWN BY: LA
CHECKED BY: DDA

RESUBMISSION: 100% 07-22-2024

SHEET TITLE:
EQUIPMENT PLAN

A-103



PROJECT:
TWINBROOK COMMUNITY
CENTER RESTROOM
RENOVATIONS PARKWAY

PROJECT ADDRESS:
12920 TWINBROOK PARKWAY
ROCKVILLE, MARYLAND 20851

ARCHITECT:

DELTA

8401 Connecticut Ave. Suite 350
Chevy Chase, Maryland
Phone: 301-718-0080
Fax: 301-718-9520
www.delta-eas.com



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Revision

Number Description Date

PROJECT NO: 2019.331.012

DRAWN BY: LA

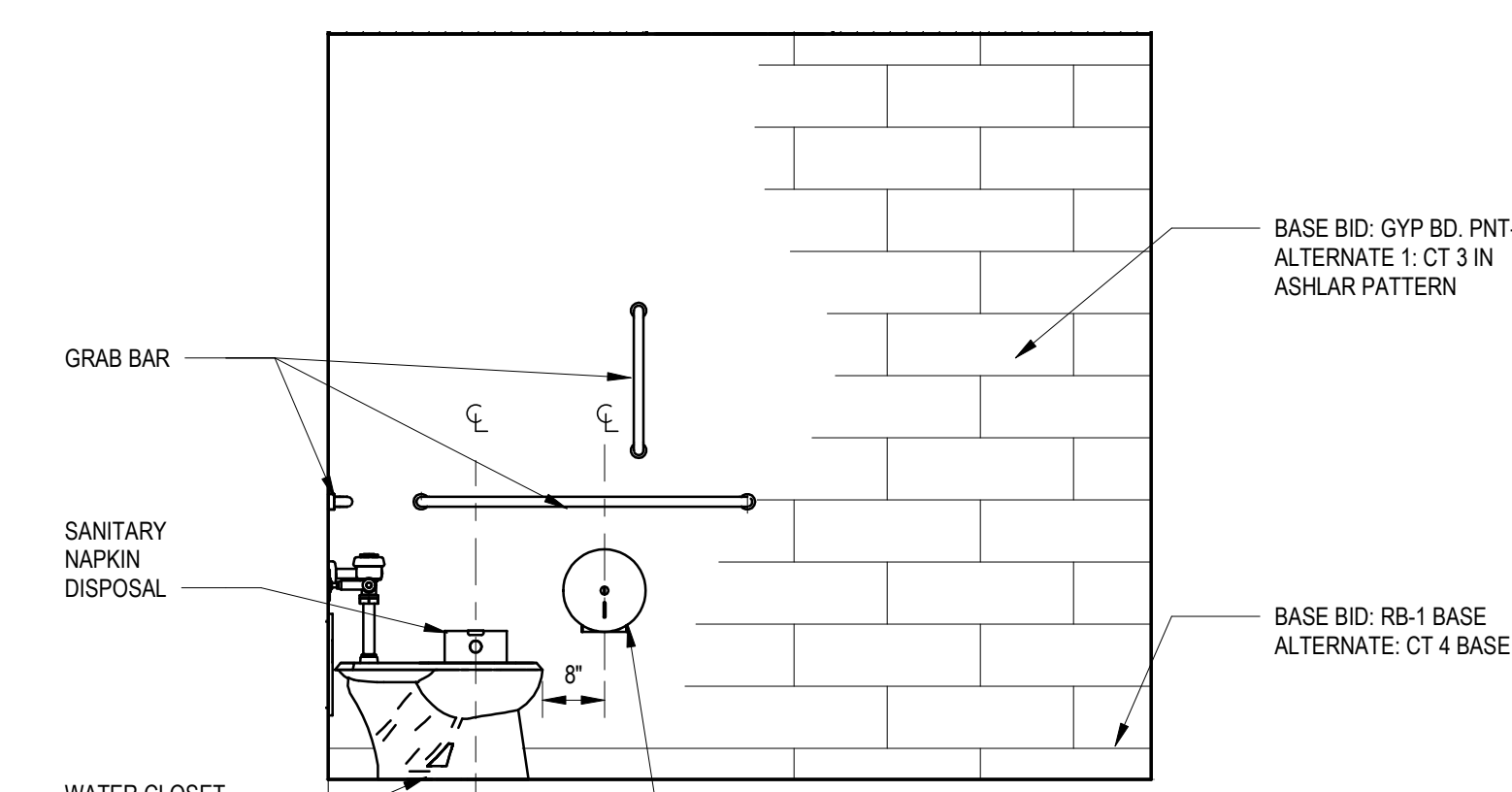
CHECKED BY: DDA

RESUBMISSION: 100% 07-22-2024

SHEET TITLE:
ELEVATIONS

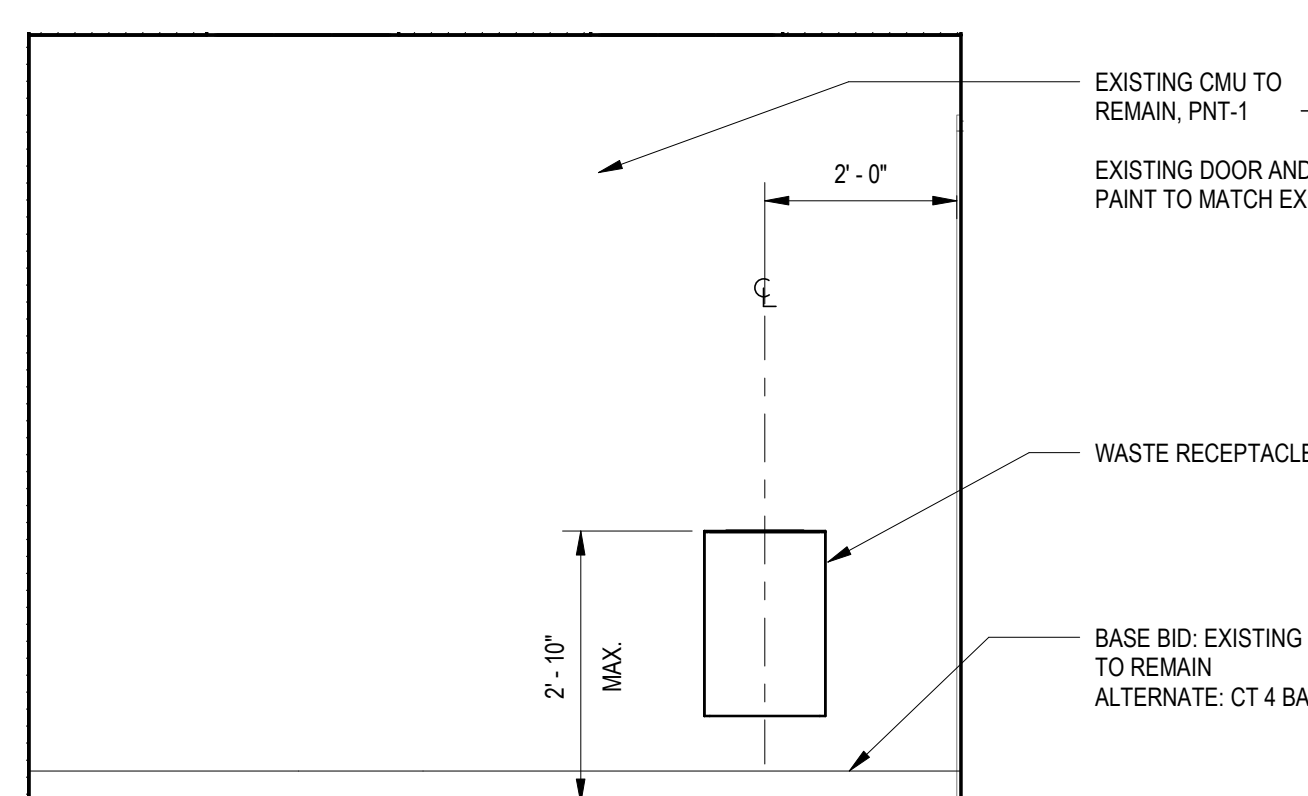
A-301

Construction/Installation subject to inspection by Fire Marshal. Schedule all fire inspections online through My Government On-line Customer Service Portal.



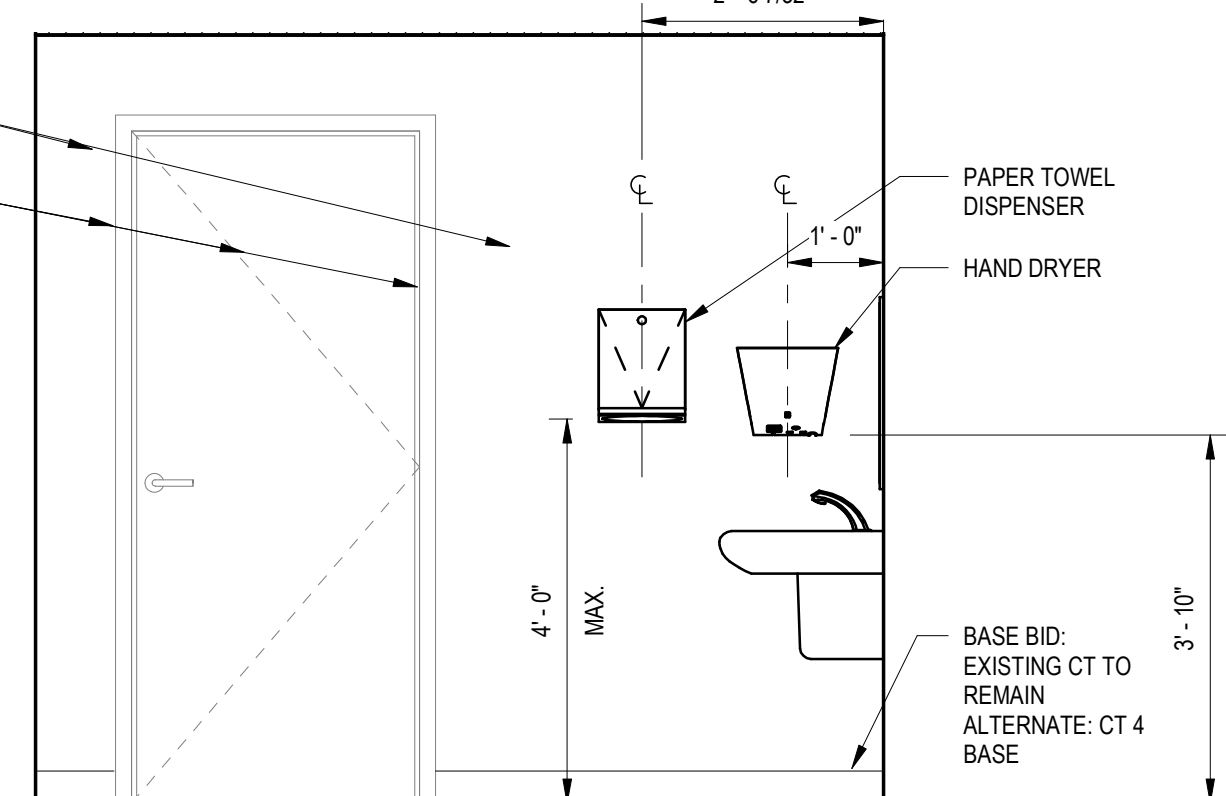
1 RESTROOM ANX-1 - NORTH ELEV.

A-301 SCALE: 1/2" = 1'-0"



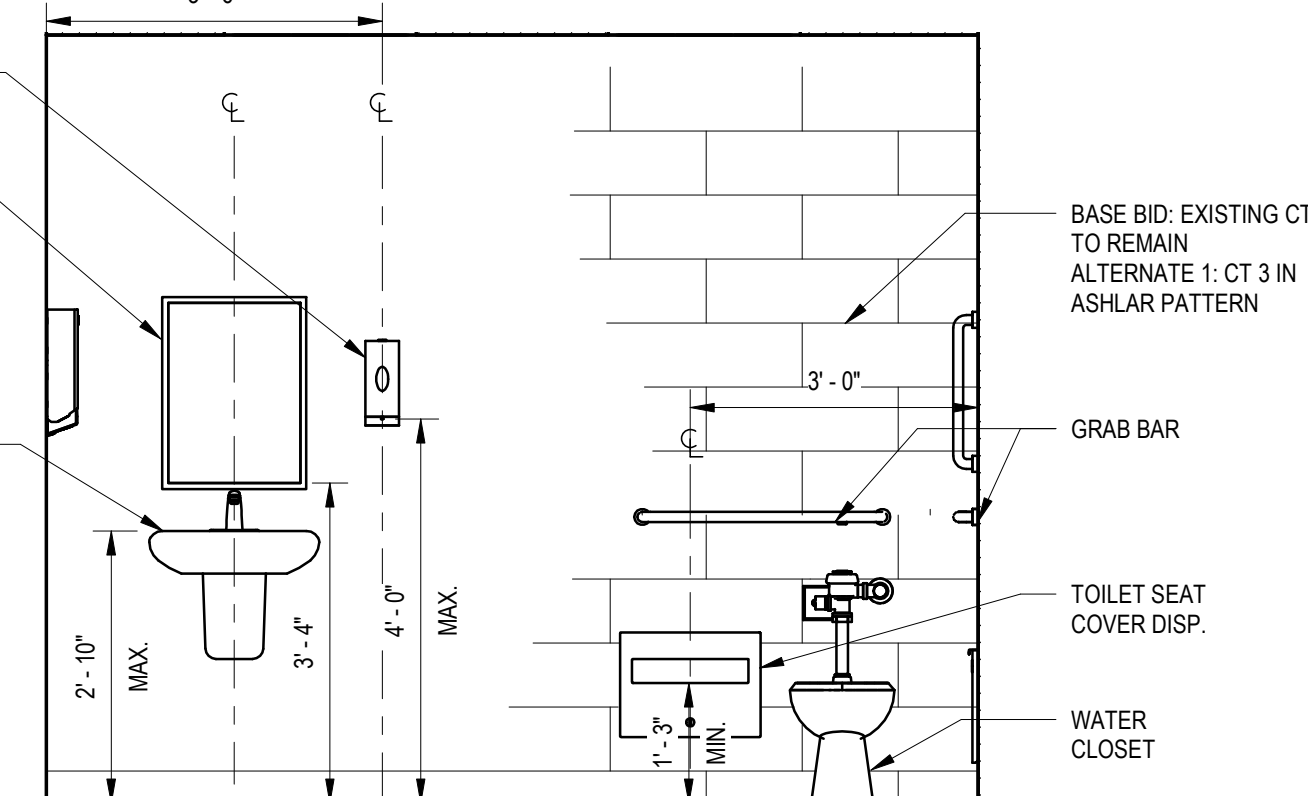
2 RESTROOM ANX-1 - EAST ELEV.

A-301 SCALE: 1/2" = 1'-0"



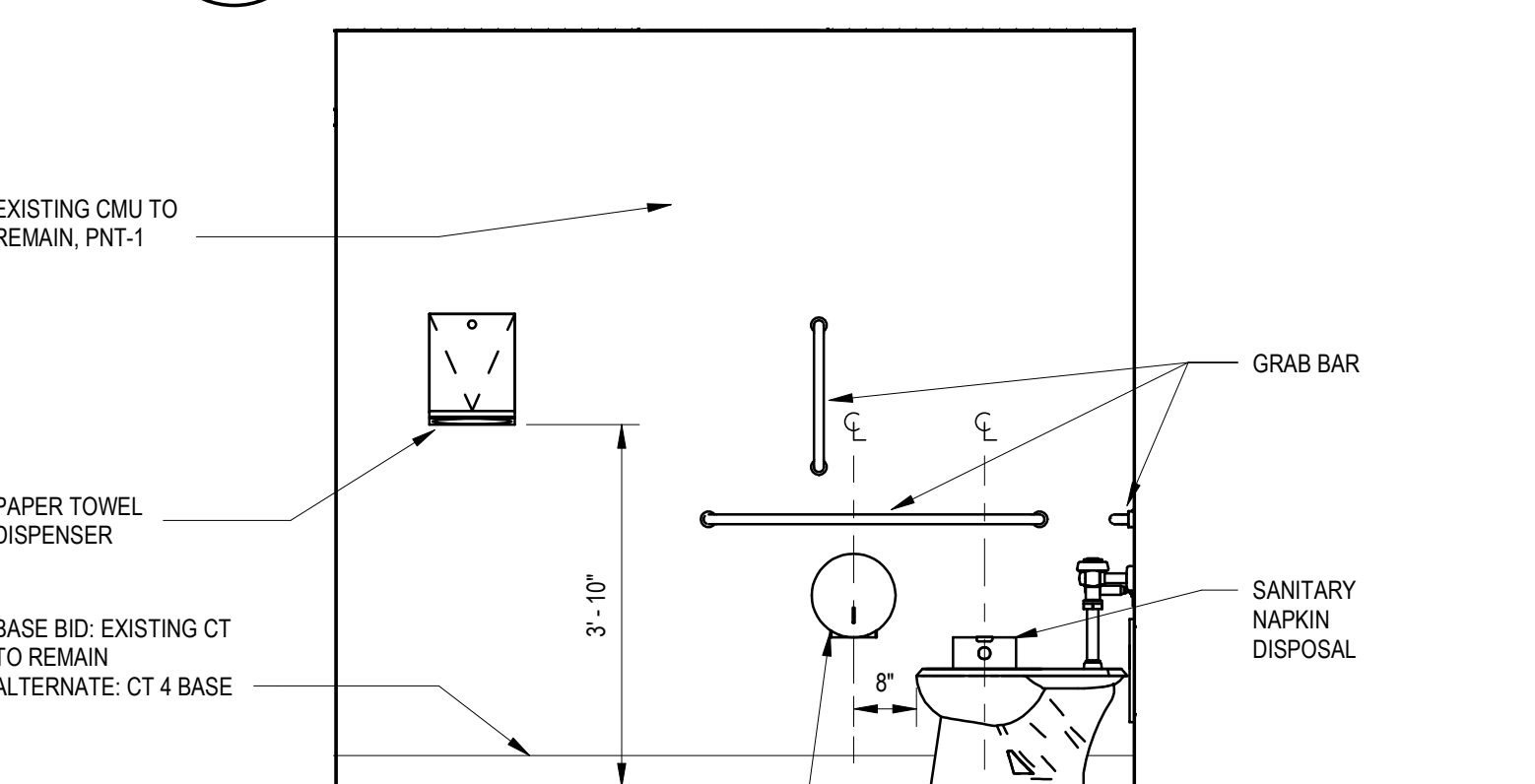
3 RESTROOM ANX-1 - SOUTH ELEV.

A-301 SCALE: 1/2" = 1'-0"



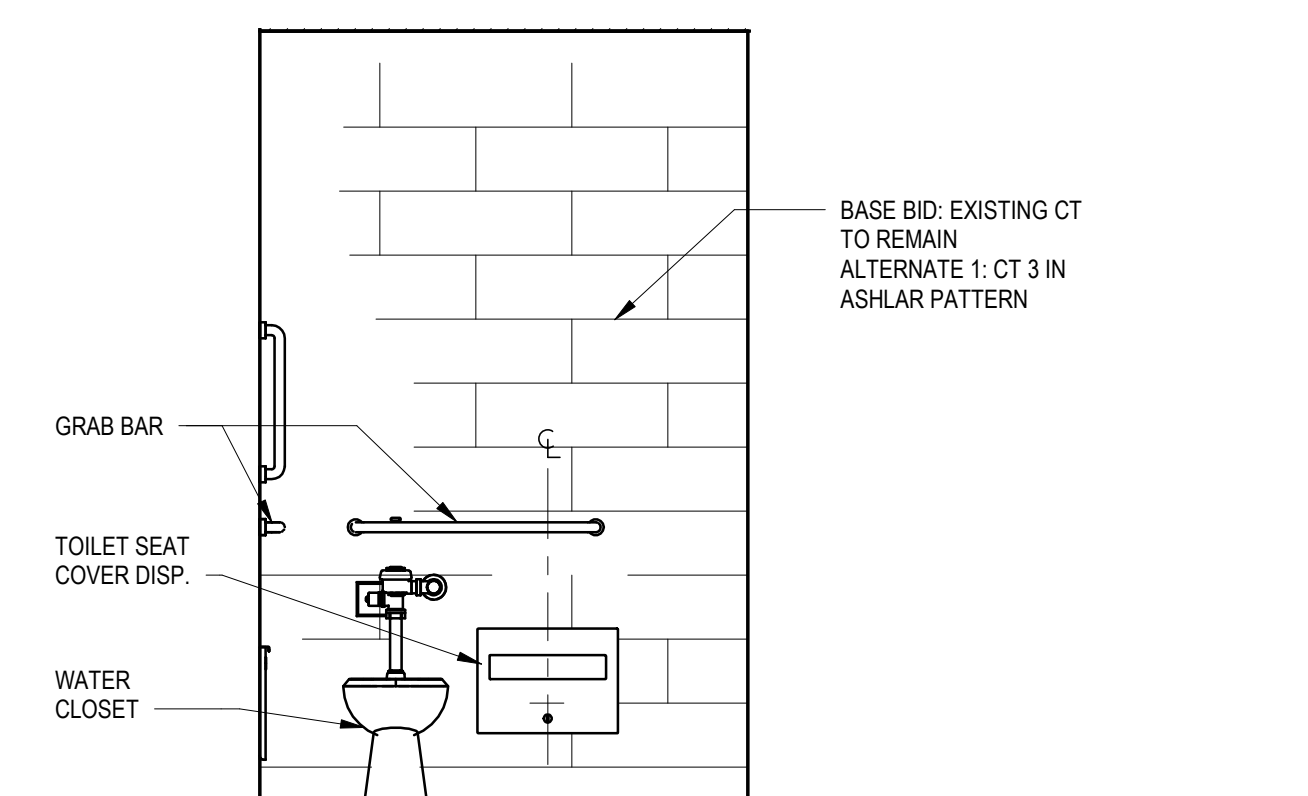
4 RESTROOM ANX-1 - WEST ELEV.

A-301 SCALE: 1/2" = 1'-0"



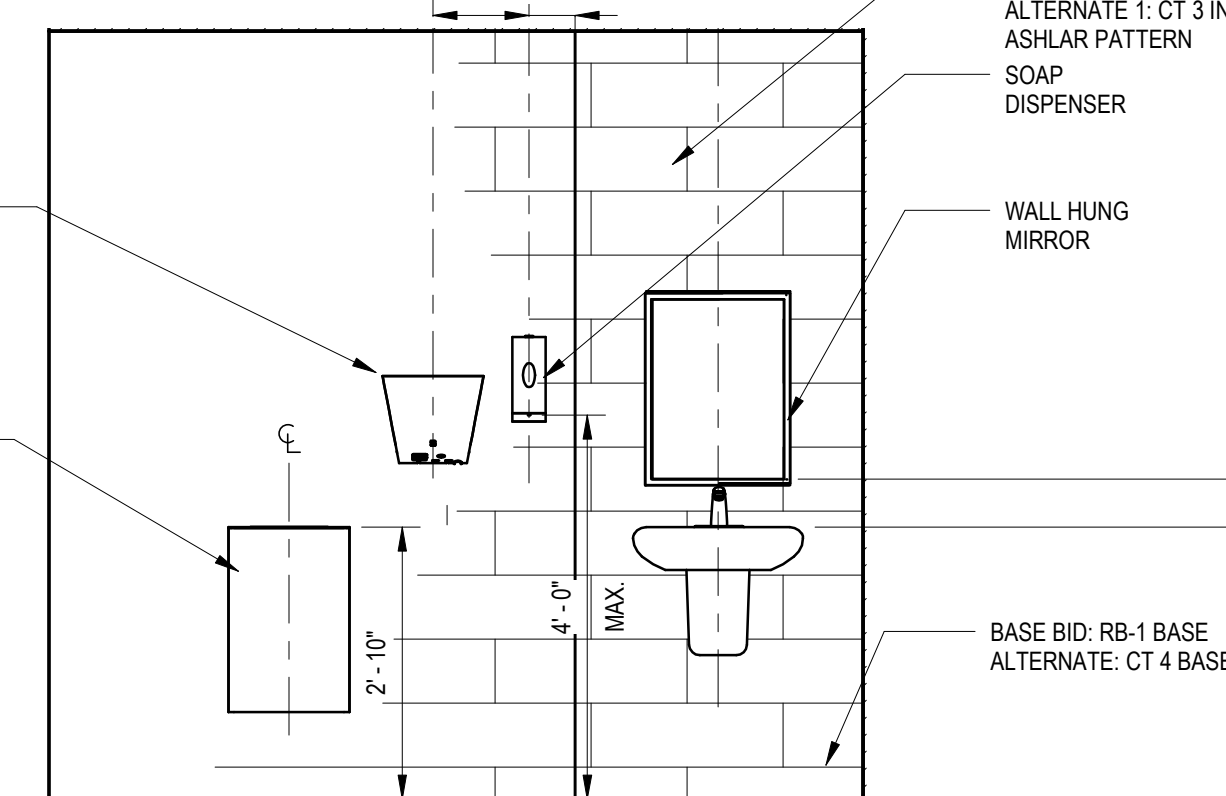
5 RESTROOM ANX-3 - NORTH ELEV.

A-301 SCALE: 1/2" = 1'-0"



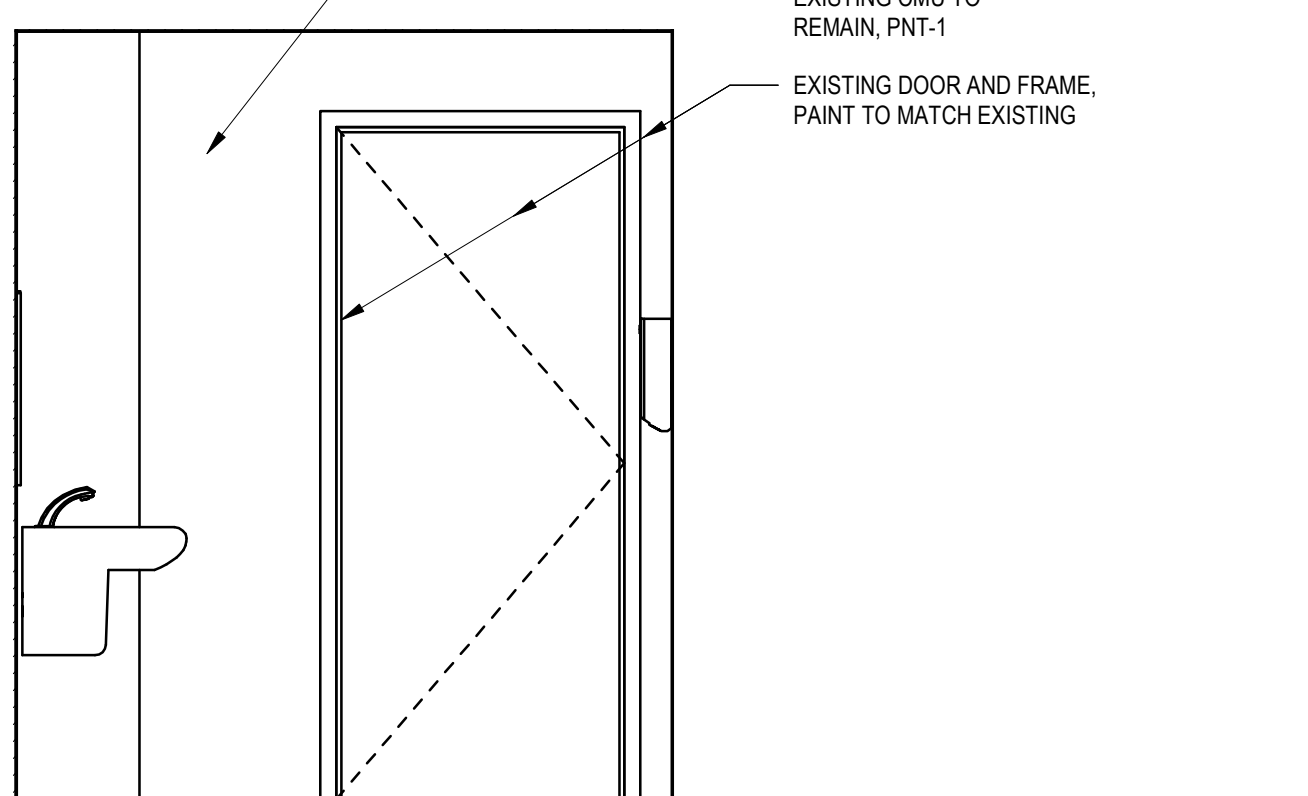
6 RESTROOM ANX-3 - EAST ELEV.

A-301 SCALE: 1/2" = 1'-0"



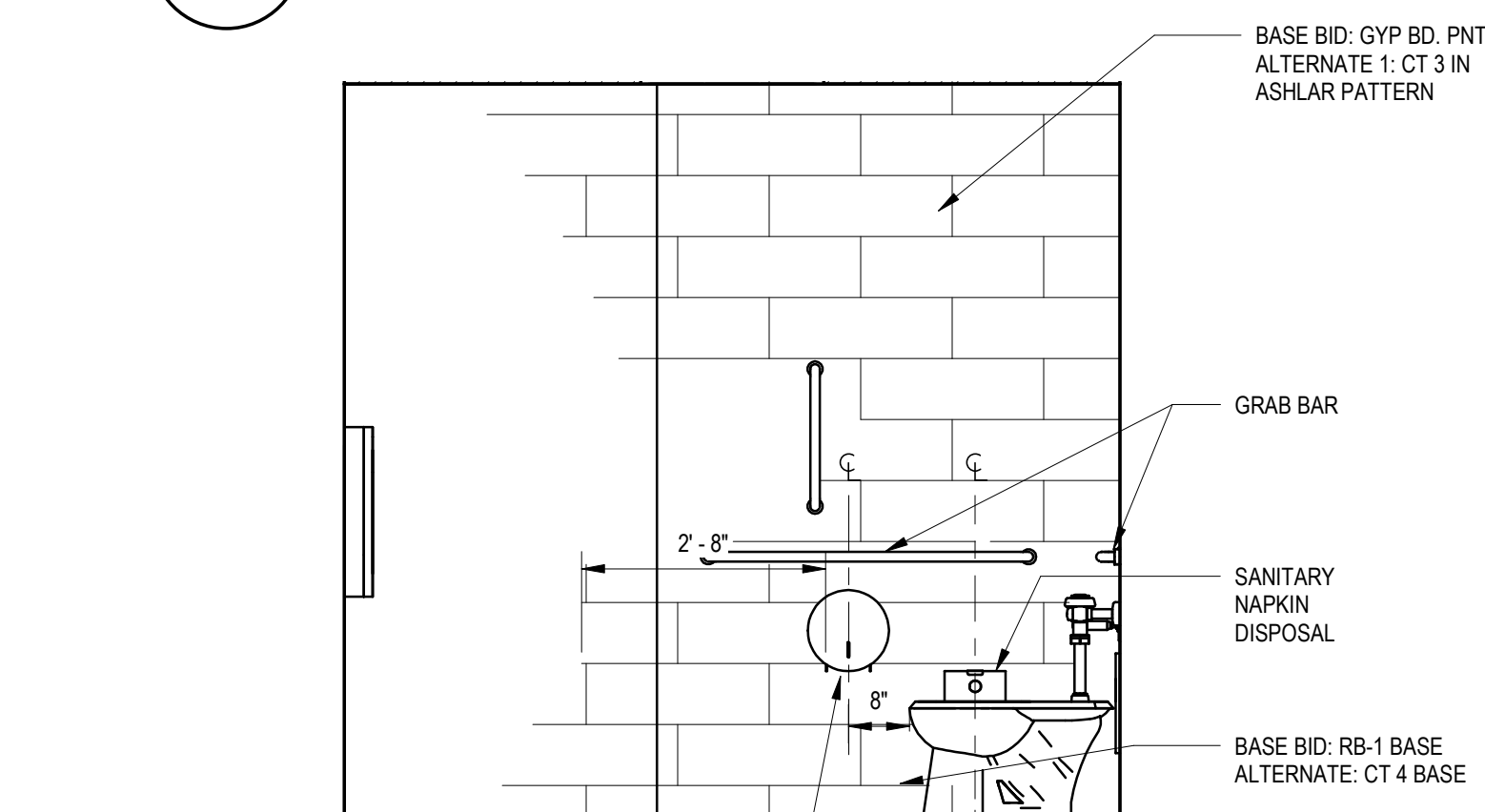
7 RESTROOM ANX-3 - SOUTH ELEV.

A-301 SCALE: 1/2" = 1'-0"



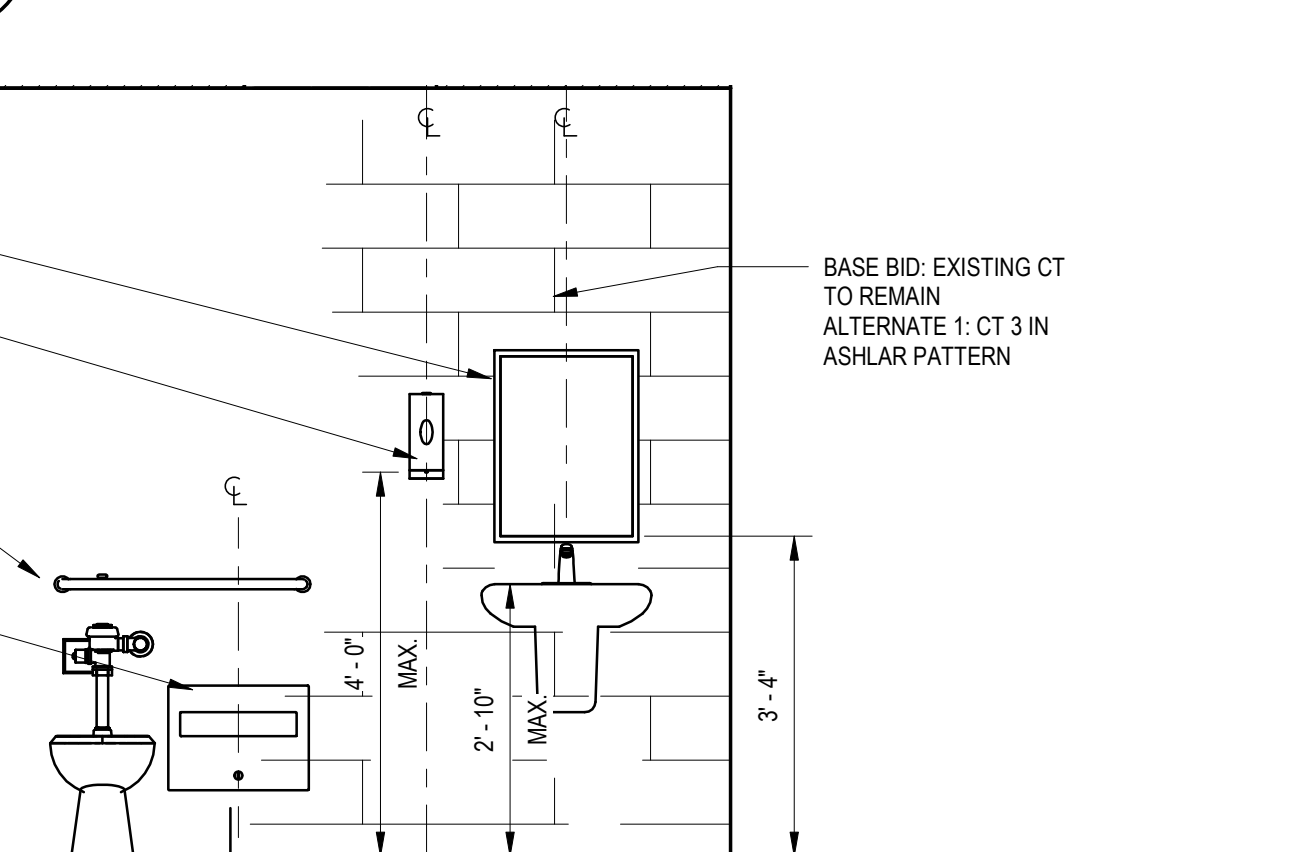
8 RESTROOM ANX-3 - WEST ELEV.

A-301 SCALE: 1/2" = 1'-0"



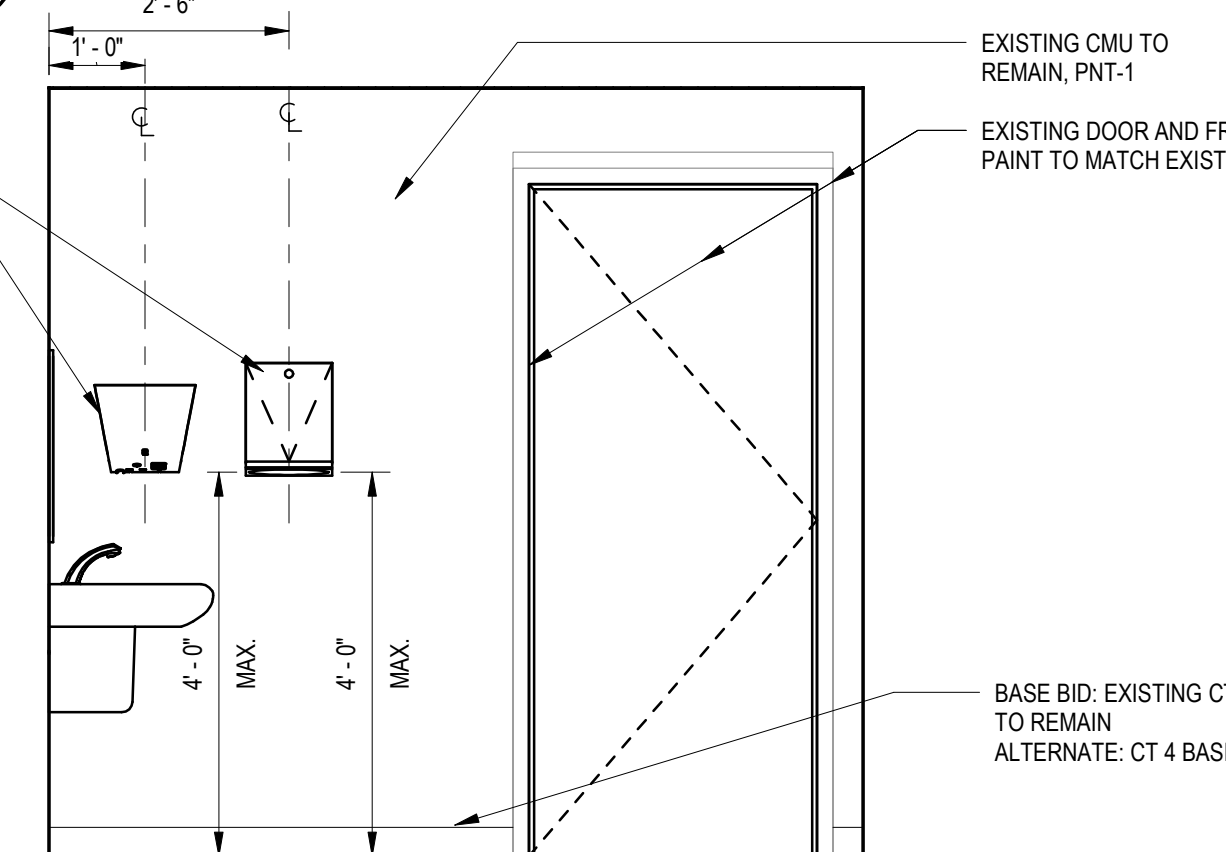
9 RESTROOM ANX-4 - NORTH ELEV.

A-301 SCALE: 1/2" = 1'-0"



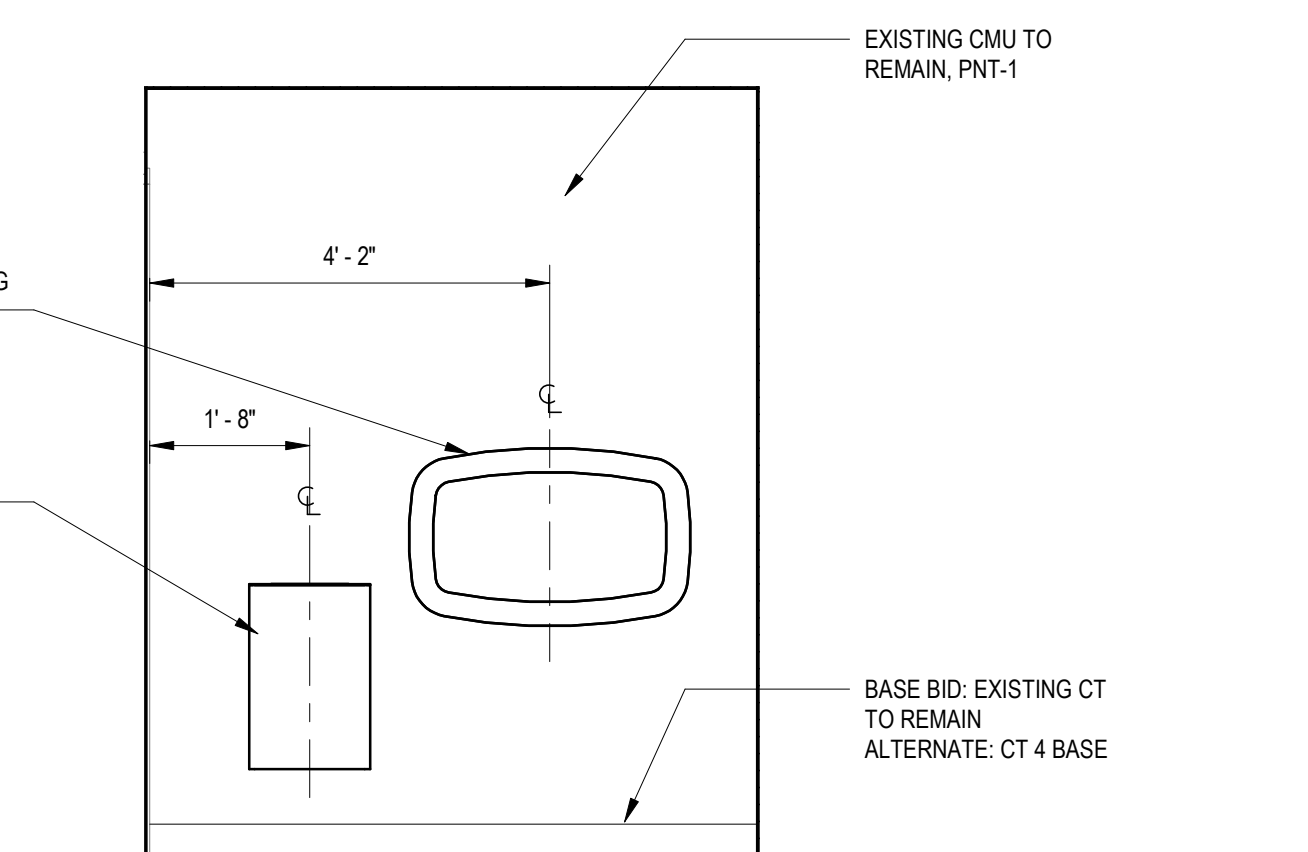
10 RESTROOM ANX-4 - EAST ELEV.

A-301 SCALE: 1/2" = 1'-0"



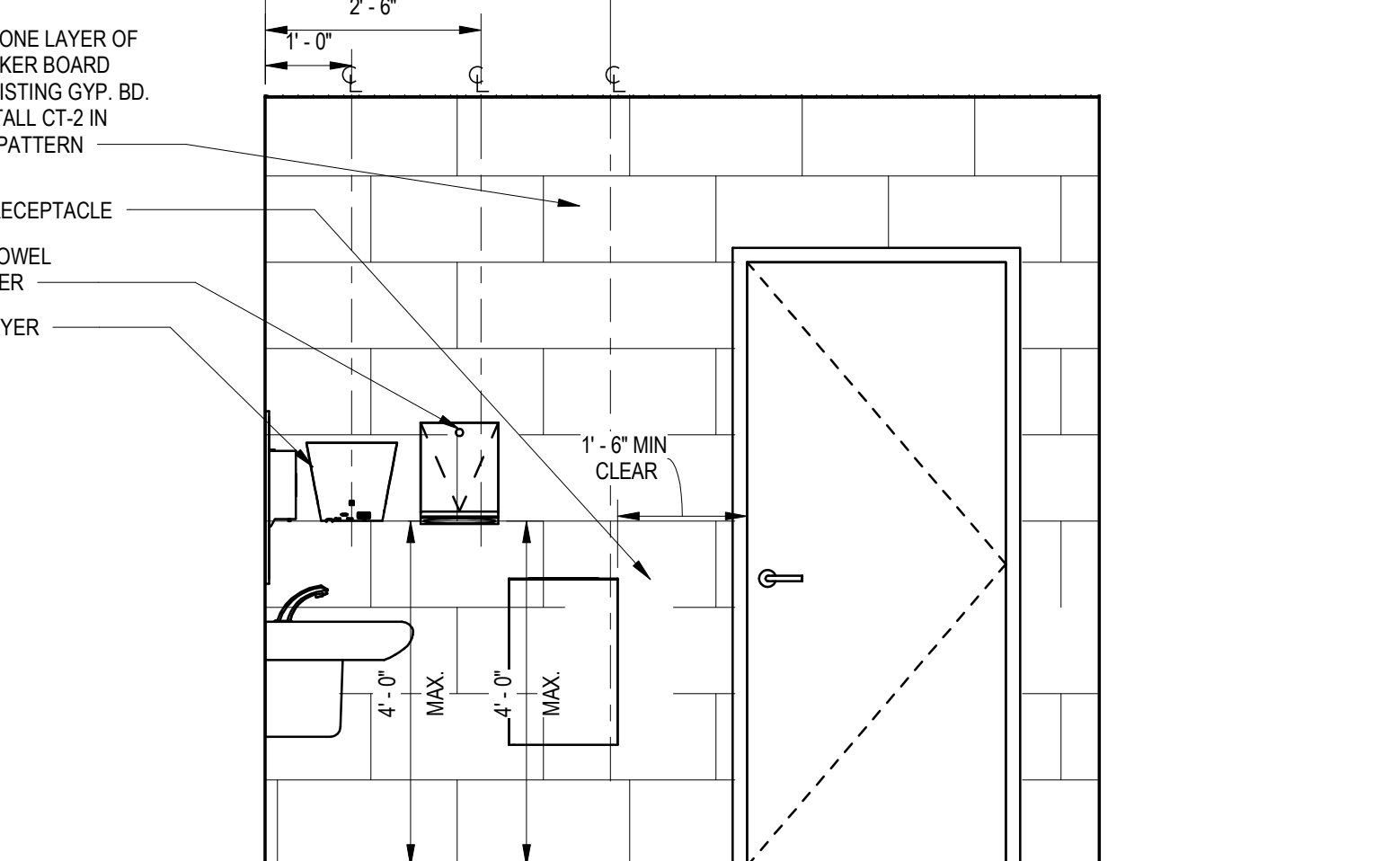
11 RESTROOM ANX-4 - SOUTH ELEV.

A-301 SCALE: 1/2" = 1'-0"



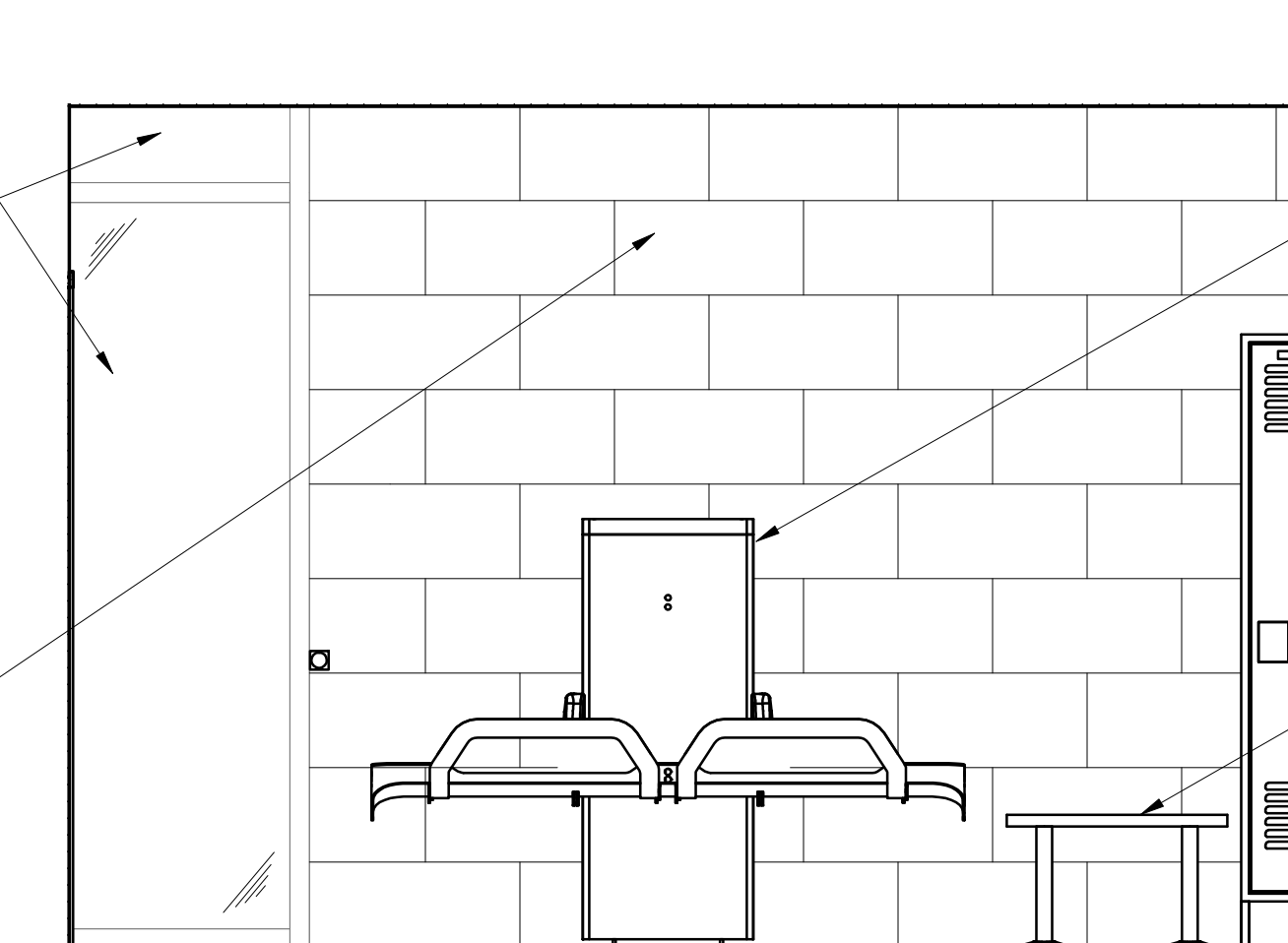
12 RESTROOM ANX-4 - WEST ELEV.

A-301 SCALE: 1/2" = 1'-0"



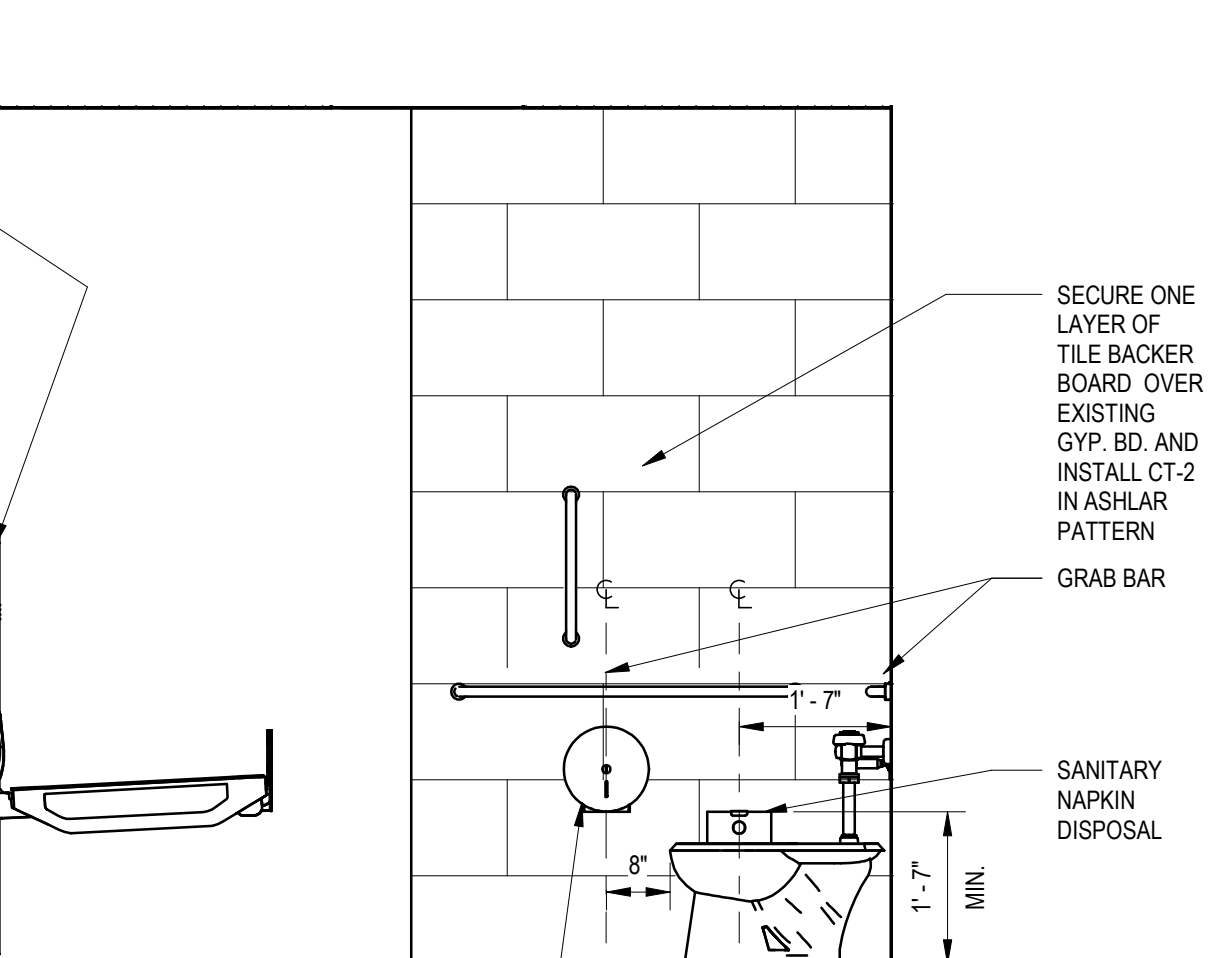
13 RESTROOM REC-1- NORTH ELEV. - TOILET AREA

A-301 SCALE: 1/2" = 1'-0"



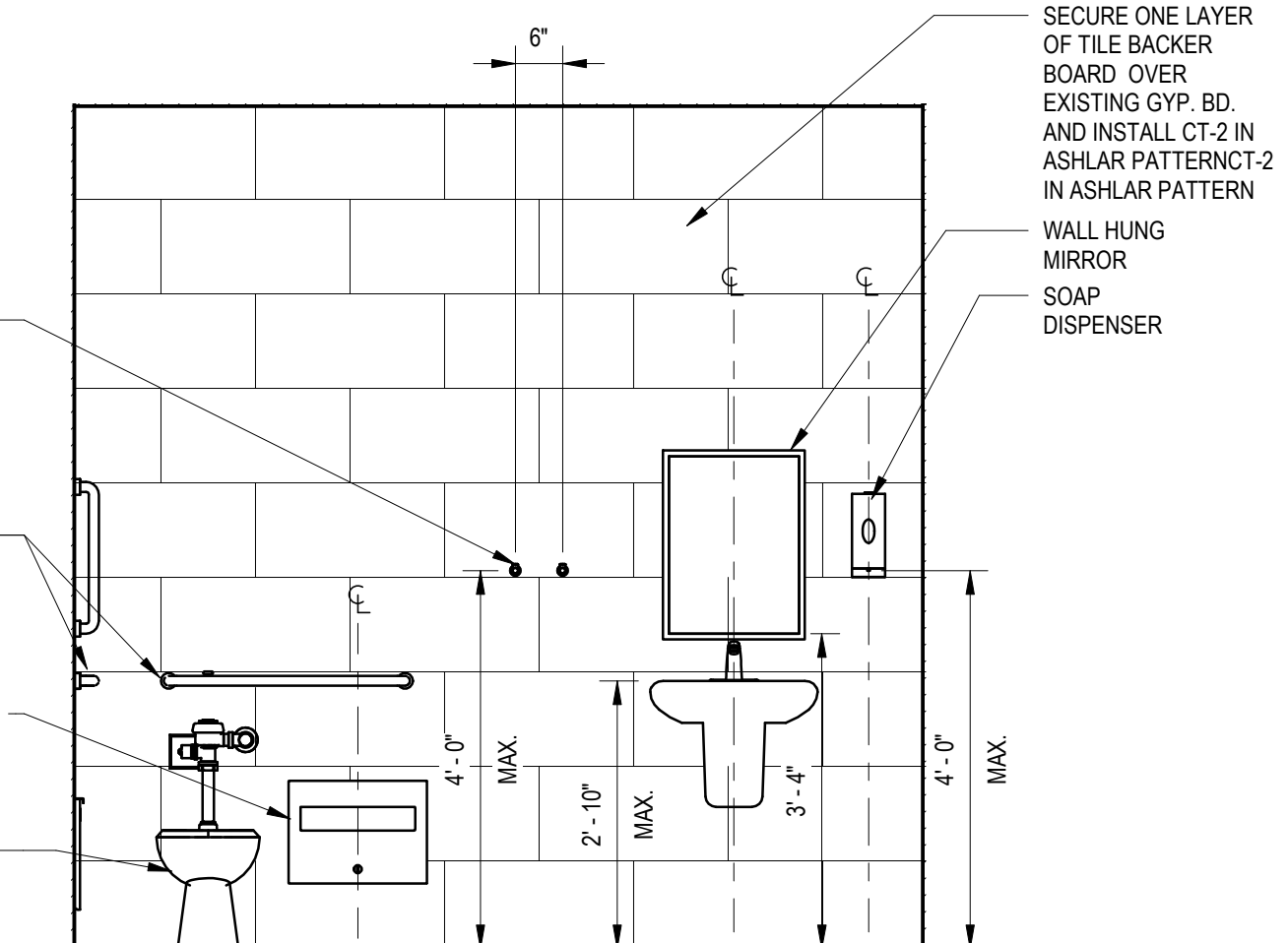
14 RESTROOM REC-1- EAST ELEV. - TOILET AREA

A-301 SCALE: 1/2" = 1'-0"



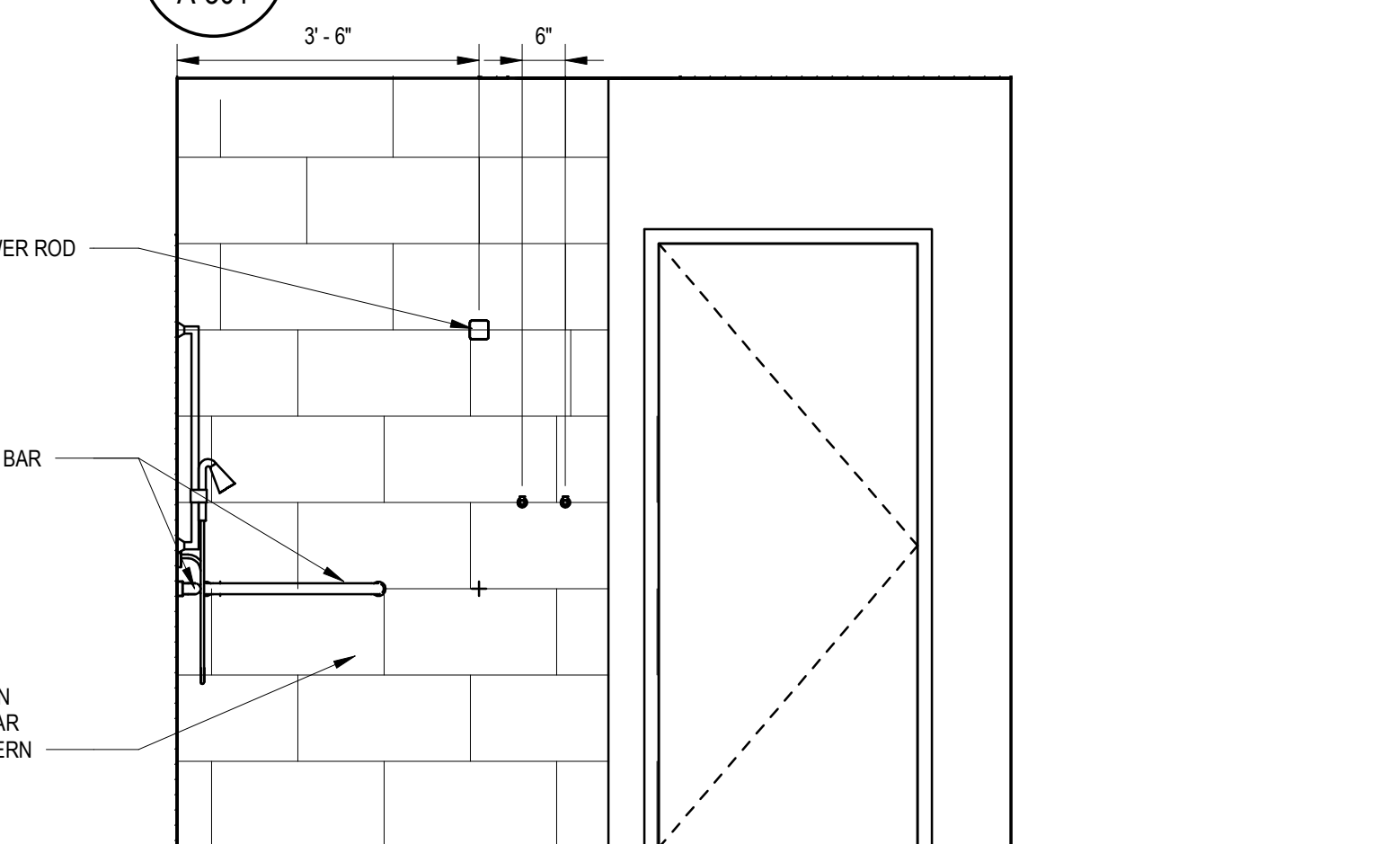
15 RESTROOM REC-1- SOUTH ELEV. - TOILET AREA

A-301 SCALE: 1/2" = 1'-0"



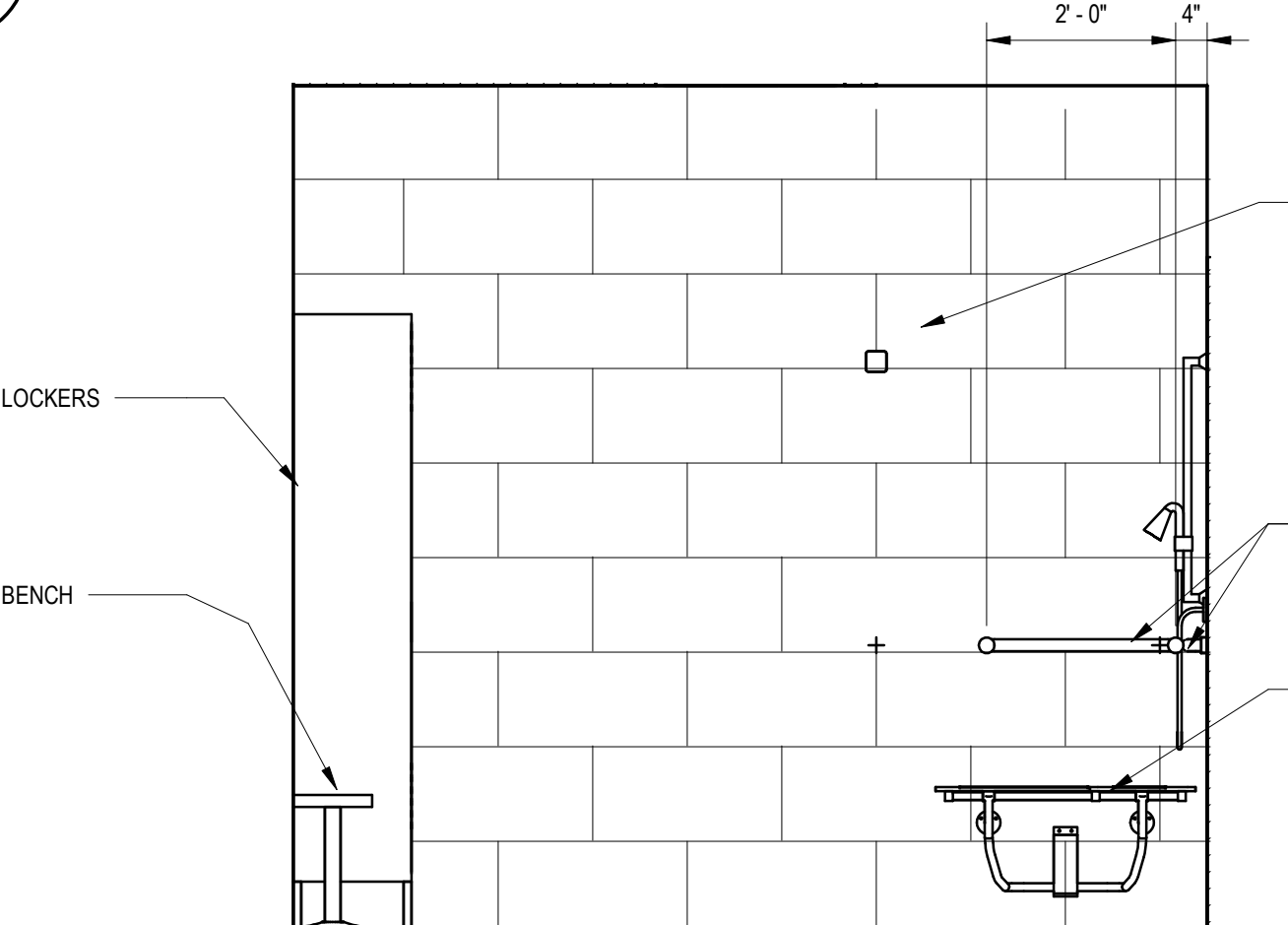
16 RESTROOM REC-1- WEST ELEV. - TOILET AREA

A-301 SCALE: 1/2" = 1'-0"



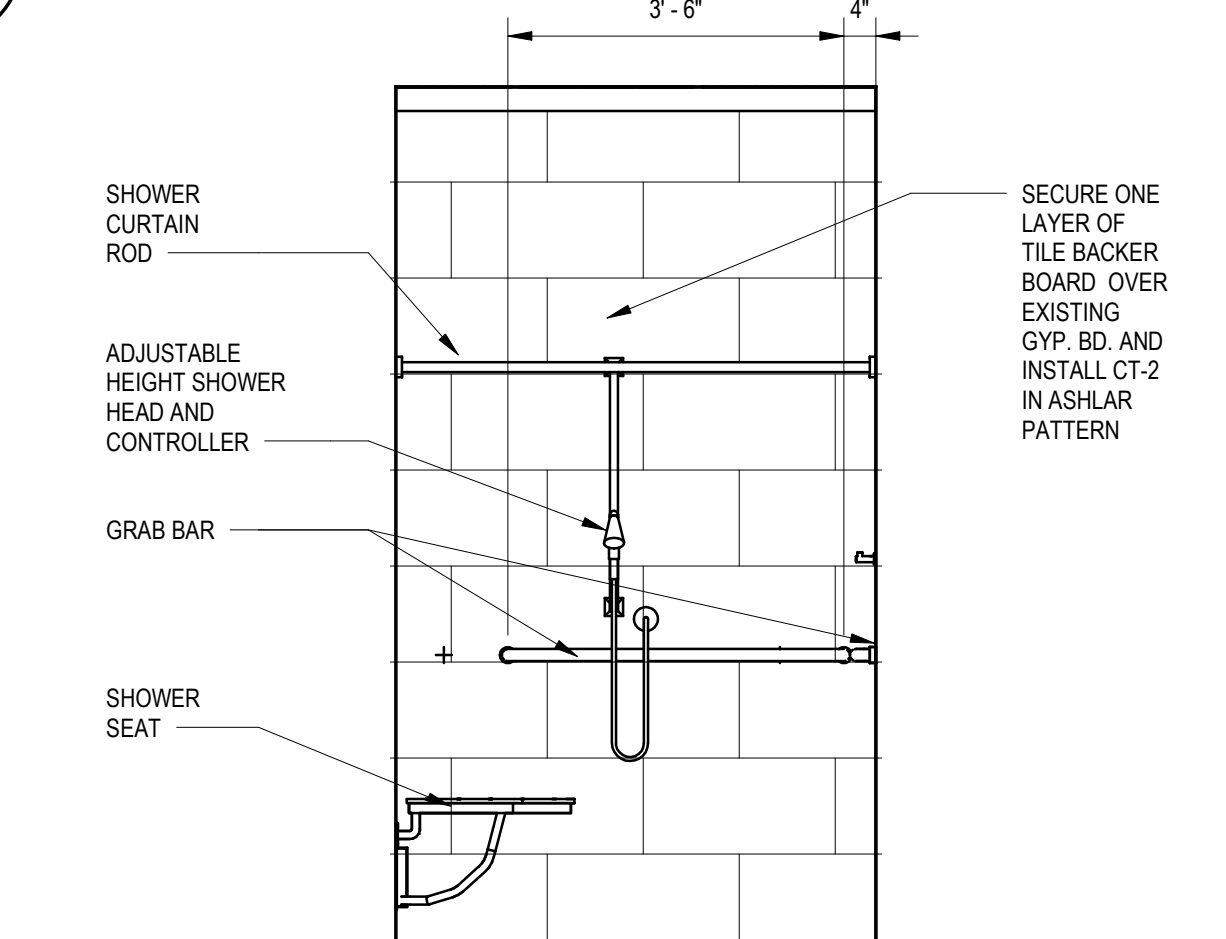
17 EXISTING RESTROOM

A-301 SCALE: 1/2" = 1'-0"



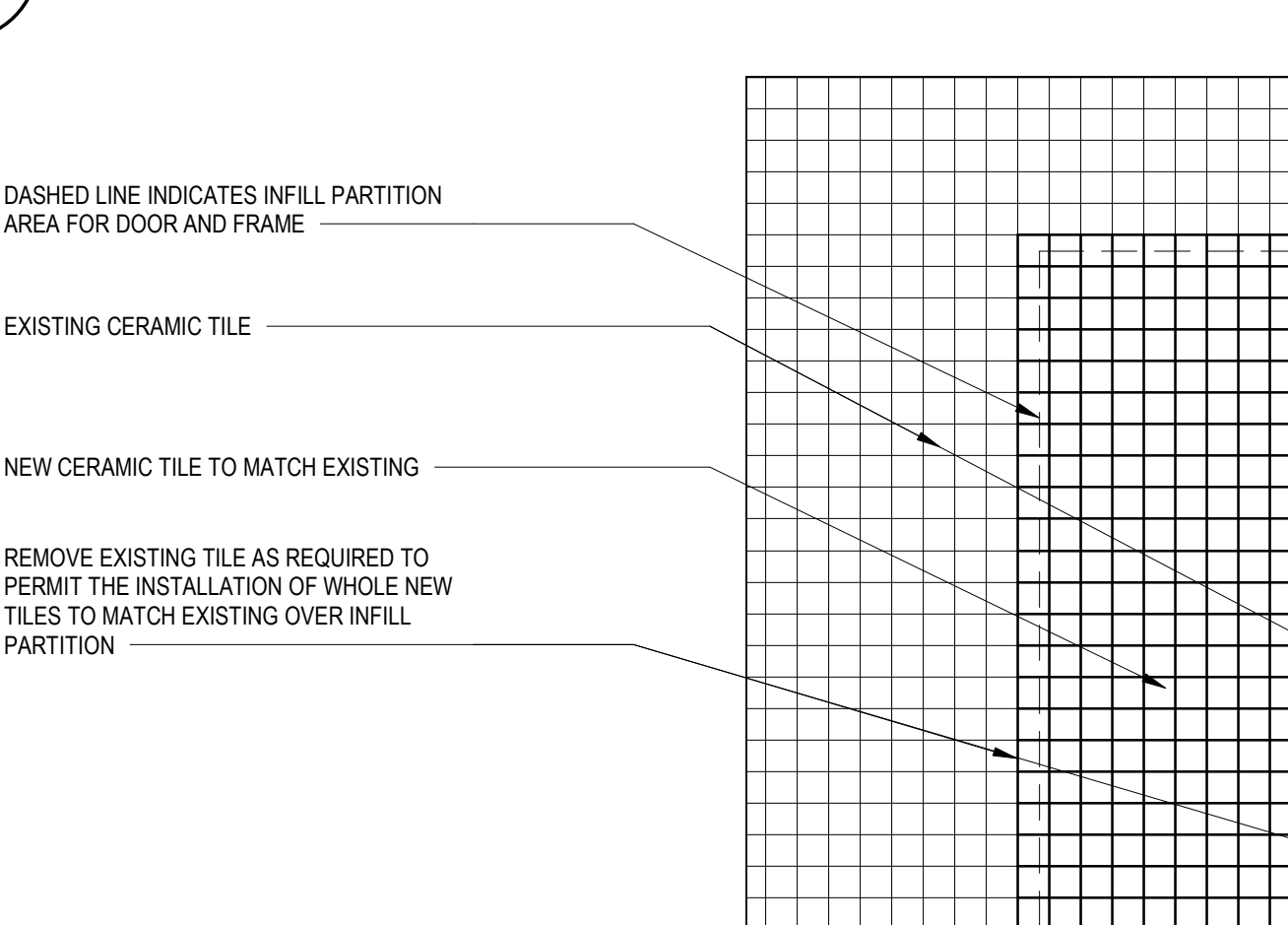
18 RESTROOM REC-1- NORTH ELEV. - SHOWER AREA

A-301 SCALE: 1/2" = 1'-0"



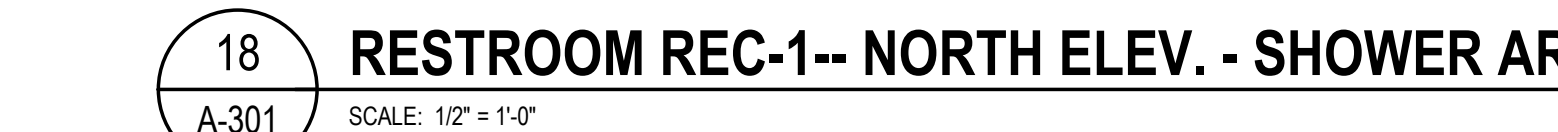
19 RESTROOM REC-1- SOUTH ELEV. - SHOWER AREA

A-301 SCALE: 1/2" = 1'-0"



20 RESTROOM REC-1- WEST ELEV. - SHOWER AREA

A-301 SCALE: 1/2" = 1'-0"



21 RESTROOM REC-1- SOUTH ELEV. - SHOWER AREA

A-301 SCALE: 1/2" = 1'-0"



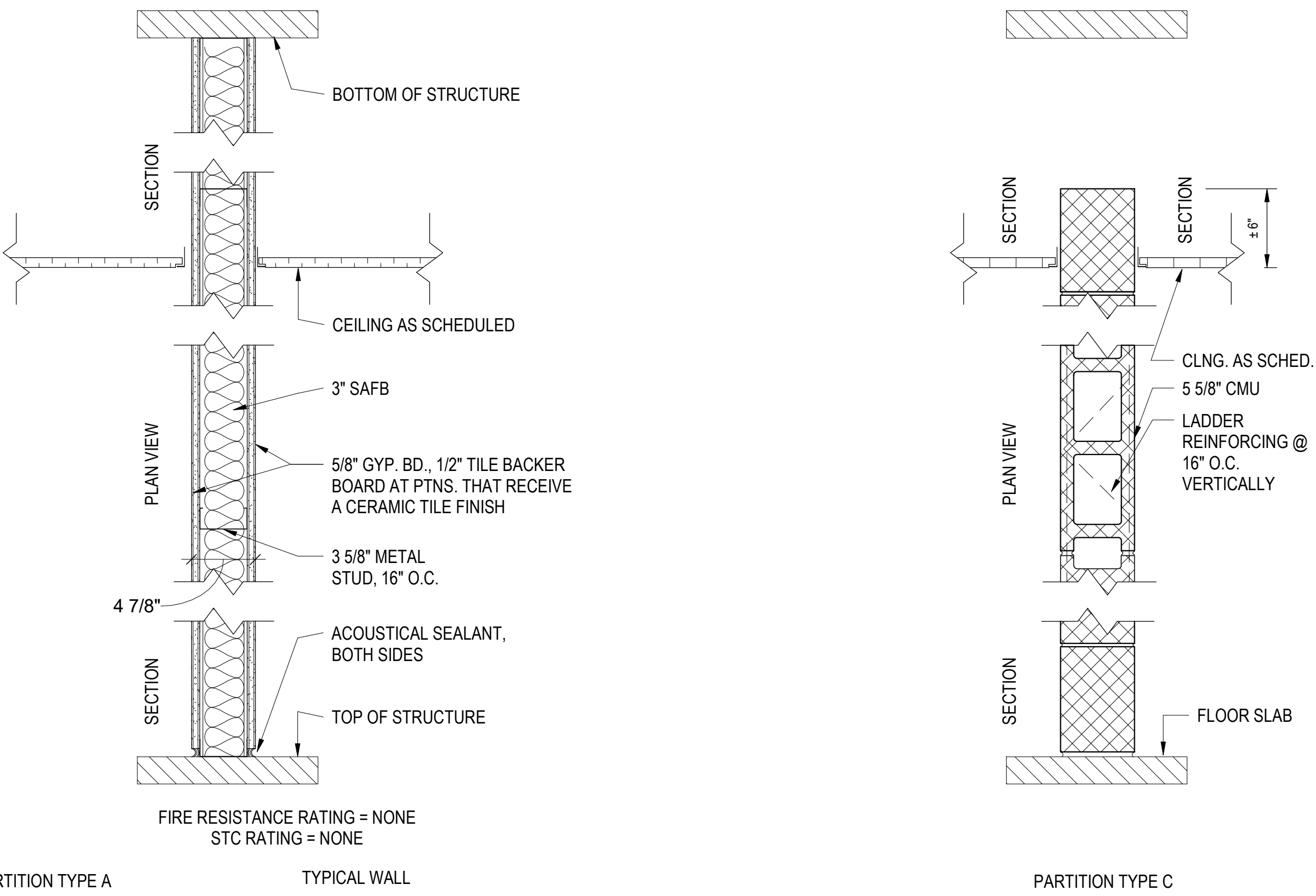
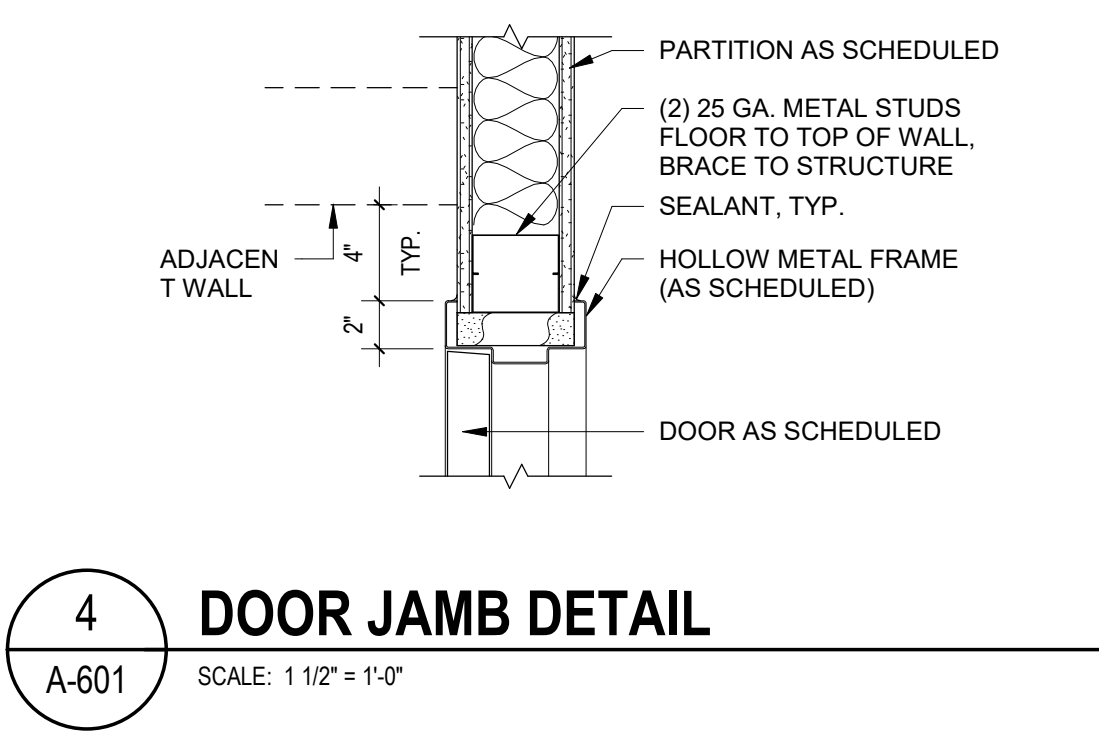
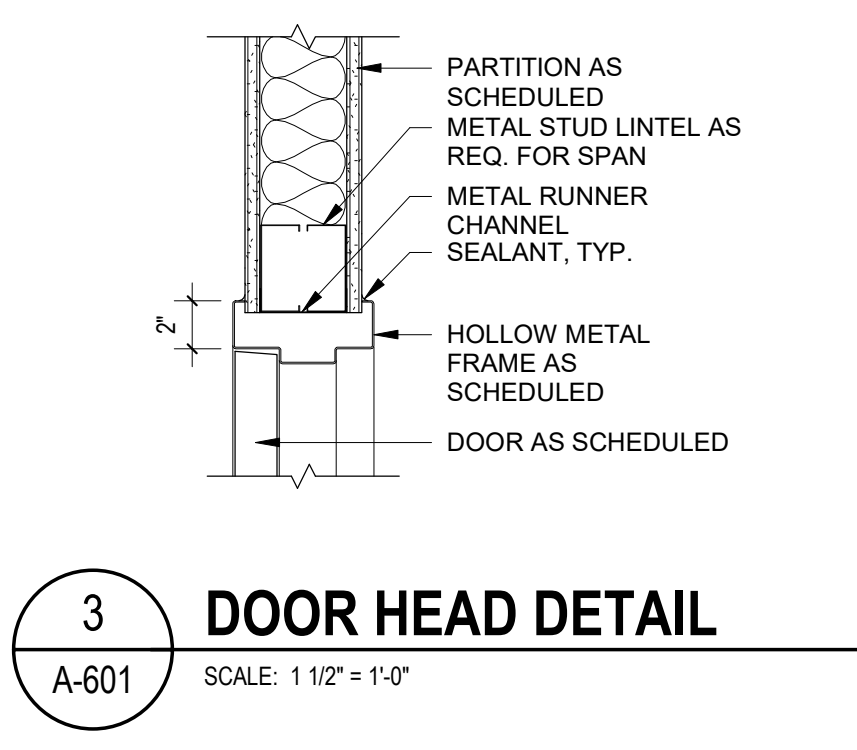
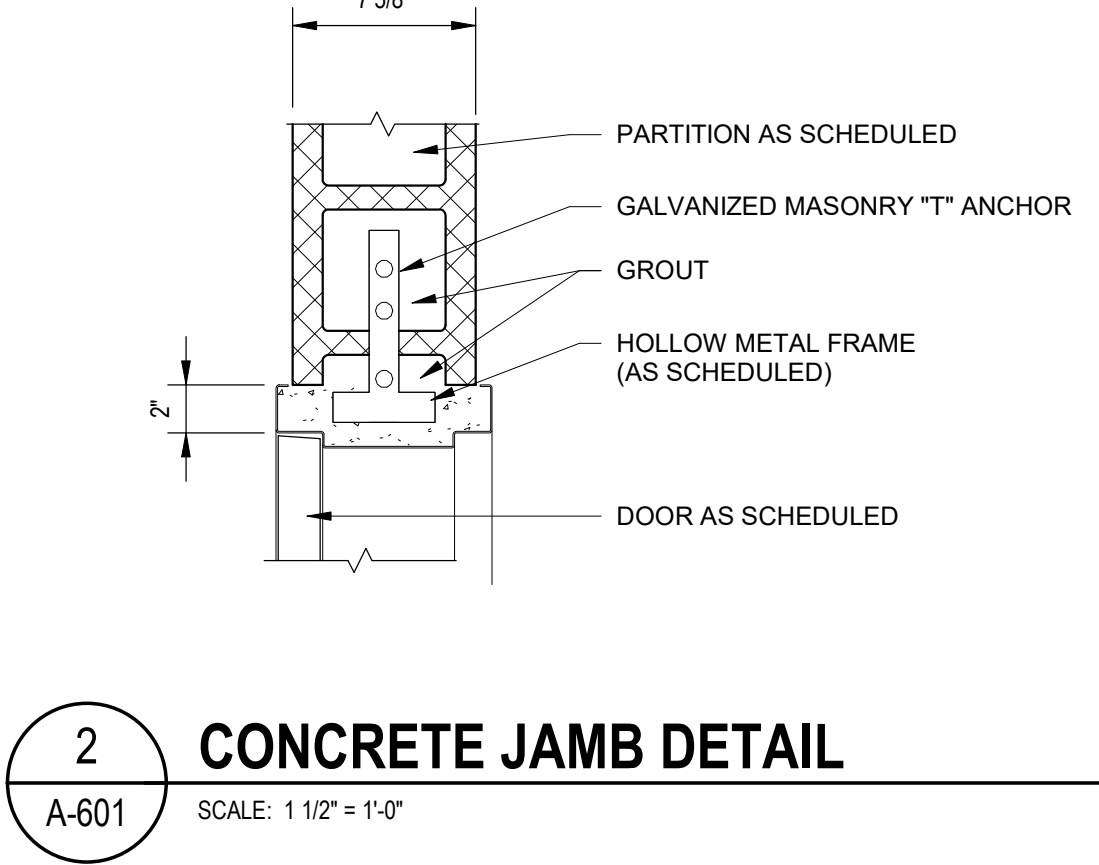
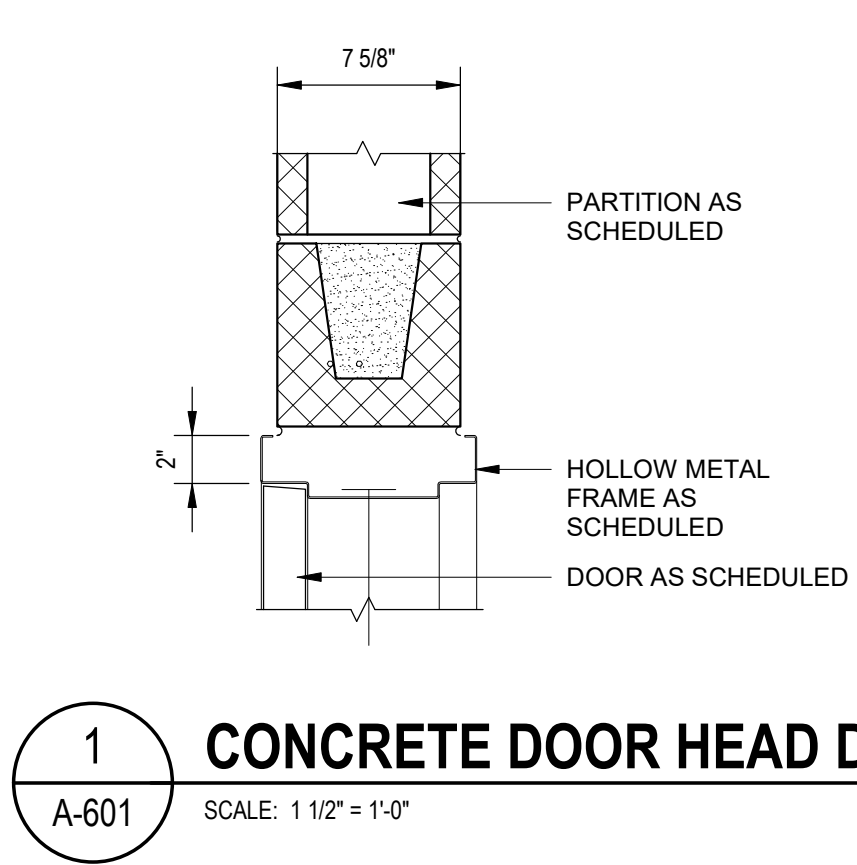
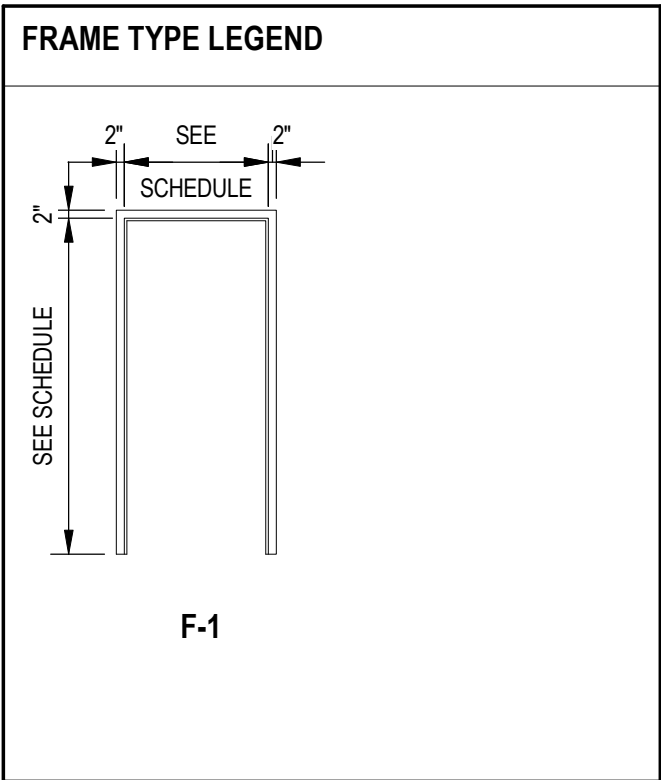
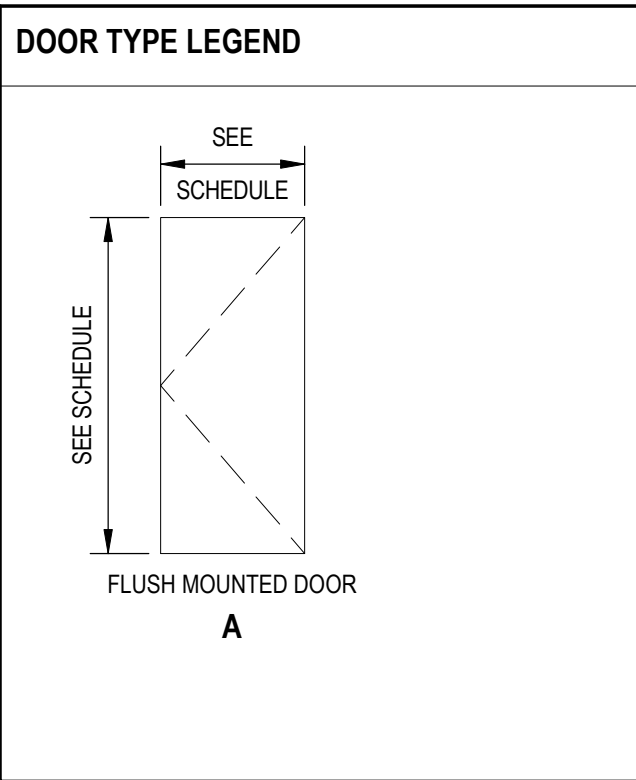
22 RESTROOM REC-1- WEST ELEV. - SHOWER AREA

A-301 SCALE: 1/2" = 1'-0"



DOOR SCHEDULE																		
DOOR NUMBER	OPENING SIZE			THICKNESS	DOOR		DOOR MATERIAL	DOOR FINISH	FRAME			FIRE RATING	GLASS	DETAILS			HARDWARE GROUP	COMMENTS
	HEIGHT	WIDTH			DOOR TYPE				FRAME TYPE	FRAME MATERIAL	FRAME FINISH			HEAD	JAMB	THRESHOLD		
1	7'-0"	3'-0"	1 3/4"	A	WD		PNT	F-1	HM	PNT			1/A601	2/A601		1	NEW DOOR IN ANNEX BUILDING	
2	7'-0"	3'-0"	1 3/4"	A	WD		STN	F-1	HM	PNT			3/A601	4/A601		1	NEW DOOR IN RECREATION CENTER	

ROOM SCHEDULE															
ROOM NUMBER	ROOM NAME	FLOOR		BASE	WALLS								CEILING		COMMENTS
		MATERIAL	FINISH		NORTH		SOUTH		EAST		WEST		MATERIAL	FINISH	
ANX-1	RESTROOM	SEE NOTES		SEE ELEVATIONS	GYP (SEE NOTES)	PNT (SEE NOTES)	ETR	PNT	ETR	PNT	ETR (SEE NOTES)	ACP	ACP	UNDER ALTERNATE 1 THE FLOOR, NORTH AND WEST WALLS RECEIVE A CT FINISH	
ANX-2	UTILITY ROOM	ETR		ETR/RB	ETR	PNT	GYP	PNT	ETR	PNT	ETR	PNT	ACP	ACP	
ANX-3	RESTROOM	SEE NOTES		SEE ELEVATIONS	ETR	PNT	GYP (SEE NOTES)	ETR	PNT	ETR	PNT	CMU	ACP	ACP	UNDER ALTERNATE 1 THE FLOOR, SOUTH AND EAST WALLS RECEIVE A CT FINISH
ANX-4	RESTROOM	SEE NOTES		SEE ELEVATIONS	GYP (SEE NOTES)	PNT (SEE NOTES)	ETR	PNT	ETR (SEE NOTES)	PNT (SEE NOTES)	ETR	PNT	ACP	ACP	UNDER ALTERNATE 1 THE FLOOR, NORTH AND EAST WALLS RECEIVE A CT FINISH
REC-1	RESTROOM	CT-1 AND CT-1A	MFR	CT-2	CT-2	MFR	CT-2	MFR	CT-2	MFR	CT-2	MFR	ACP	ACP	



NON-RATED PARTITION

	FIRE	UL	STC	SAB	NOTES
C2.2	N/A	N/A	N/A	N/A	
C2.3	N/A	N/A	N/A	N/A	
C2.4	N/A	N/A	N/A	N/A	
C2.5	N/A	N/A	N/A	N/A	



PROJECT:
TWINBROOK COMMUNITY
CENTER RESTROOM
RENOVATIONS PARKWAY

PROJECT ADDRESS:
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REGISTRATION:

I certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. license number 13892 , expiration date 2026-06-24

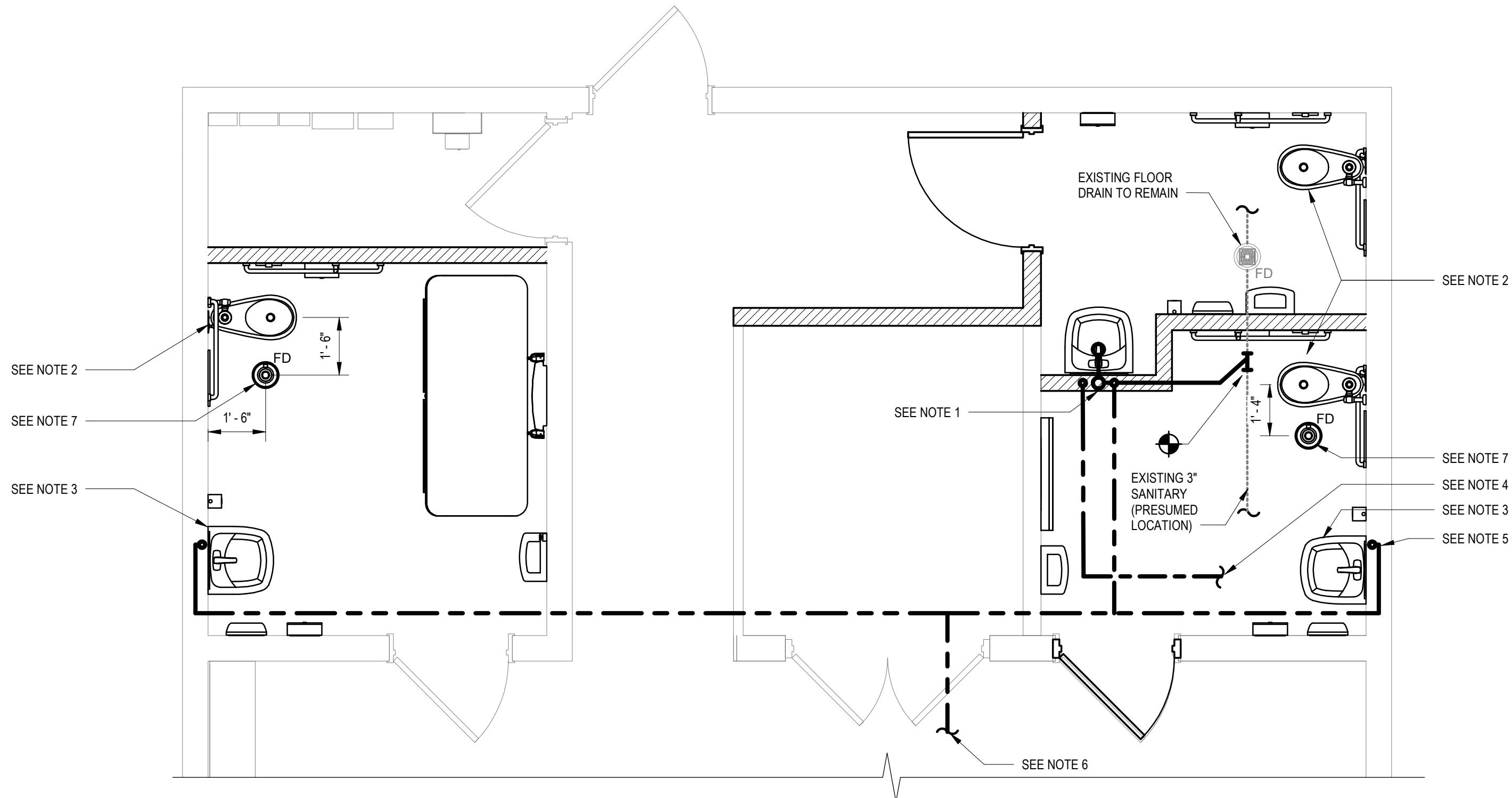
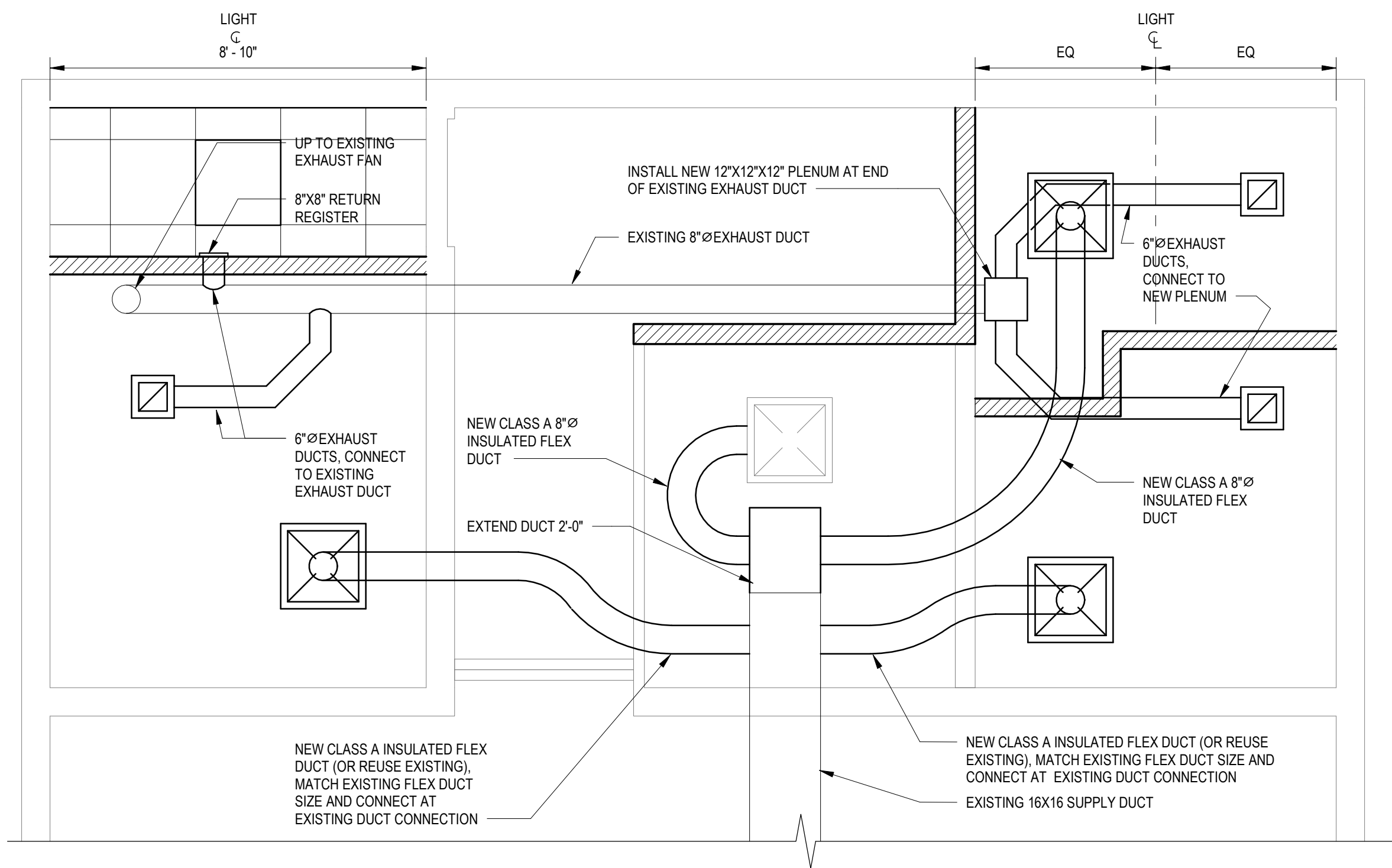
Revision		
Number	Description	Date

PROJECT NO: 2019.331.012
DRAWN BY: LA
CHECKED BY: DDA

RESUBMISSION: 100% 07-22-2024

SHEET TITLE:
SCHEDULES & DIAGRAMS

A-601



KEY:

- POINT OF CONNECTION (VERIFY ACTUAL LOCATION BASED ON FIELD CONDITIONS)
- SHUT OFF VALVE
- EXISTING COLD WATER LINE
- NEW COLD WATER LINE
- EXISTING HOT WATER LINE TO REMAIN
- NEW HOT WATER LINE
- NEW SANITARY LINE, SIZE AS INDICATED

NOTES:

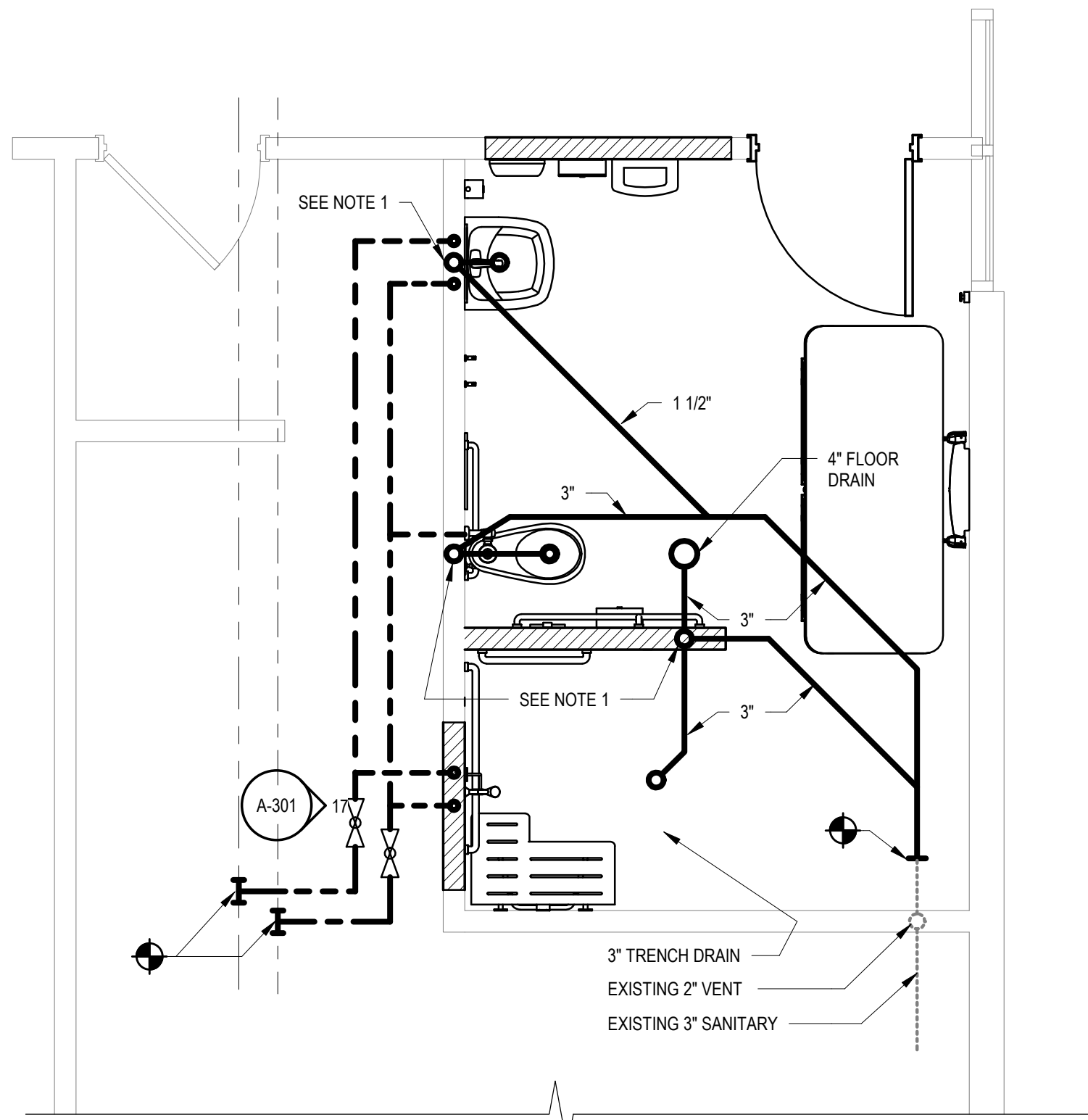
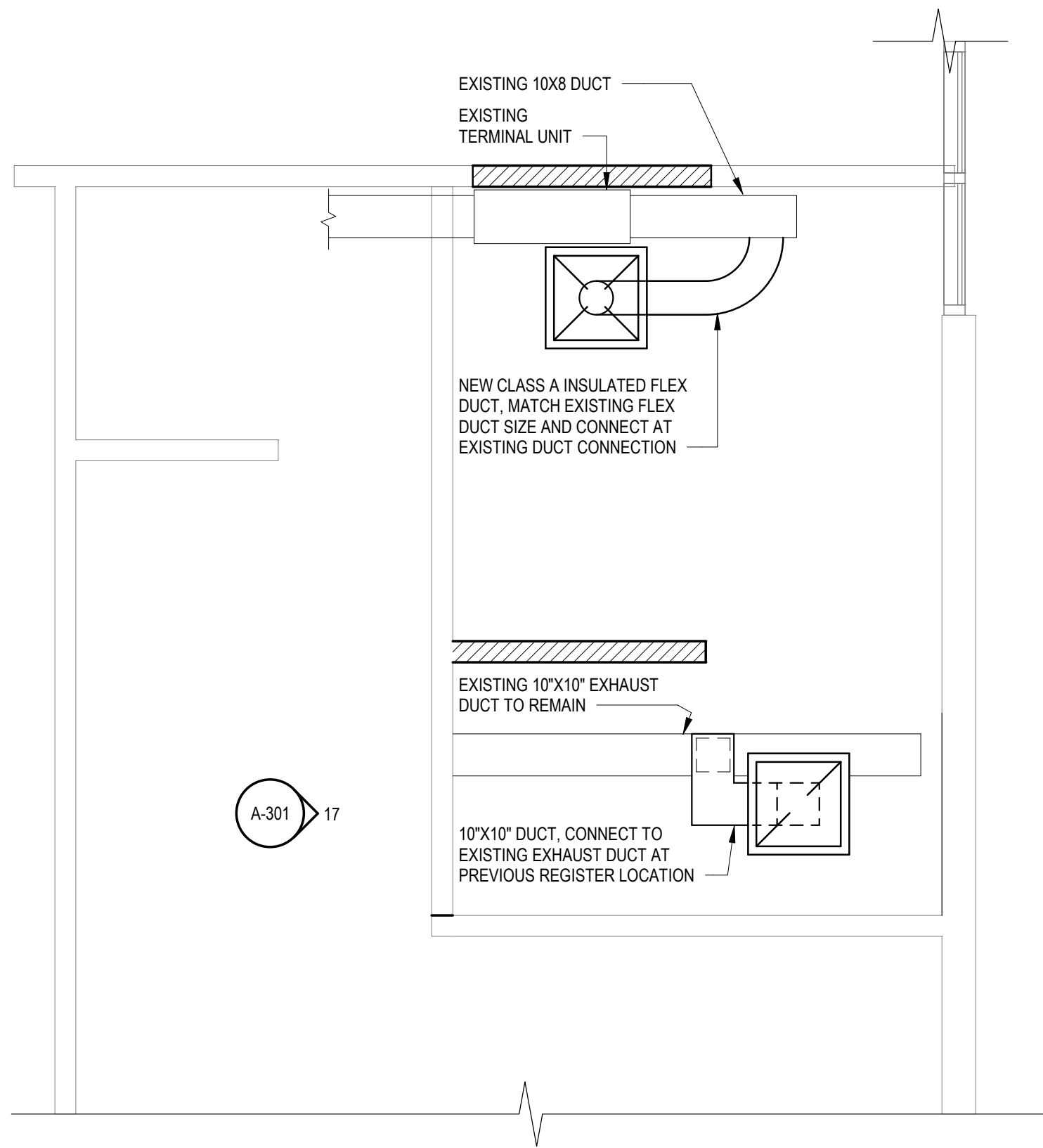
- NOTE 1: 2" VENT UP, CONNECT TO EXISTING VENT SYSTEM ABOVE CEILING.
- NOTE 2: NEW WATER CLOSET LOCATED PROXIMATE TO PREVIOUS WATER CLOSET LOCATION. PROVIDE NEW COLD WATER SUPPLY PIPING TO CONNECT TO EXISTING AS REQUIRED, AND NEW BELOW SLAB SANITARY CONNECTION CONNECTED TO EXISTING AS REQUIRED TO ACCOMMODATE NEW WATER CLOSET LOCATION.
- NOTE 3: NEW LAVATORY LOCATED PROXIMATE TO PREVIOUS LAVATORY LOCATION. PROVIDE NEW COLD WATER SUPPLY PIPING TO CONNECT TO EXISTING AS REQUIRED, AND NEW SANITARY CONNECTION CONNECTED TO EXISTING AS REQUIRED TO ACCOMMODATE NEW LAVATORY LOCATION.
- NOTE 4: PROVIDE NEW 1/2" COLD WATER PIPING, CONNECT TO ABOVE CEILING SUPPLY PIPING FOR EXISTING LAVATORY.
- NOTE 5: PROVIDE NEW 1/2" HOT WATER PIPING FROM NEW ABOVE CEILING 3/4" HOT WATER PIPING (REFER TO NOTE 6). REMOVE EXISTING WALL TILE AND SAW CUT CMU WALL IF AS REQUIRED FOR PIPE INSTALLATION. INSULATE PIPE AND PATCH/REPAIR WALL AS REQUIRED TO MATCH EXISTING.
- NOTE 6: PROVIDE NEW 3/4" HOT WATER SUPPLY PIPING ABOVE CEILING TO EXISTING HOT WATER HEATER IN BUILDING'S UTILITY ROOM (APPROXIMATELY 50 FEET FROM RESTROOMS). PROVIDE SHUT OFF VALVE FOR NEW NEW HOT WATER SUPPLY PIPING IN UTILITY ROOM.
- NOTE 7: PROVIDE NEW 4" FLOOR DRAIN IN LOCATION INDICATED. PROVIDE EXTRA DEEP TRAP AND CONNECT TO EXISTING BELOW GRADE SANITARY PIPING AT ADJACENT WATER CLOSET.

1 ANNEX FIRST FLOOR-MECHANICAL PLAN

M-101 SCALE: 3/8" = 1'-0"

2 ANNEX FIRST FLOOR PLAN - PLUMBING PLAN

M-101 SCALE: 3/8" = 1'-0"



3 Y-MAIN BLDG. FIRST FLOOR-MECHANICAL PLAN

M-101 SCALE: 3/8" = 1'-0"

4 Y-MAIN BLDG. FIRST FLOOR PLAN - PLUMBING PLAN

M-101 SCALE: 3/8" = 1'-0"



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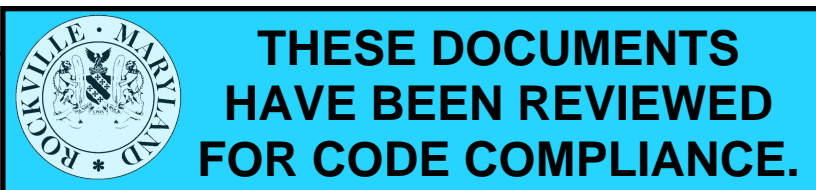
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SHEET TITLE:
MECHANICAL AND PLUMBING
PLANS

M-101



Construction/Installation subject to inspection by Fire Marshal. Schedule all fire inspections online through My Government On-line Customer Service Portal.