



CITY OF ROCKVILLE
Procurement Division
111 Maryland Avenue
Rockville, Maryland 20850-2364
Phone 240-314-8430 Fax 240-314-8439

ADDENDUM 1

DATE: March 29, 2024

REFERENCE: City of Rockville
Invitation for Bid:

IFB 13-24
Rockville Swim & Fitness Center Outdoor Recreation
Pool Renovations Project

Scheduled Submittal Deadline: **Wednesday, April 10, 2024, at 2:00 P.M. (EDT)**

Please note the following additions, clarifications, corrections deletions and/or revision have been made to the above referenced Invitation for Bid (IFB):

Addition 1: Sheet L316 Construction Details

As a deduct alternate, remove the concrete entry wall, mosaic tile, logo, and lettering shown on Sheet L316 and Sheet S-202 Detail 4 (updated as part of this addendum). Replace with 7' high perimeter fencing shown on Sheet L312A Detail 3. Pricing Page has also been revised to include a line item for this deduct alternate. **Attachment A** and **Attachment B** are provided with this updated information.

Addition 2: Long Lead Items (for information only)

See IFB document and Specification Sections 01 21 00 Project Management and Coordination and 01 32 00 Construction Progress Documentation for references to long lead items. Contractor is responsible for identifying long lead items so they are procured and delivered at appropriate times as to not delay the project's schedule. See below for a list of potential (but not limited to) long lead items. Chart is provided for information only and bidder is responsible for verifying lead times on all items.

Equipment	Timing (from time of order to site arrival, unless noted)	Notes
In-Water Play Unit	8-9 months	From PO/Signed contract to end of installation
Engineering	4-5 weeks	
Approval	2 weeks	Not by equipment manufacturer so it will impact the schedule.
Fabrication Lead Time	18-22 weeks	
Freight	3 Days	
Installation Duration	21 Consecutive Days	
Wellness Pool Small Slide	12-14 weeks	See Sheet L101 Add Alternate 2
'Aqua Climb' Zip'n:	8-10 weeks	
Lily Pads:	10-12 weeks	
Mechanical equipment: Pool Filters and VFDs	20 weeks	VFD=variable frequency drives
Mechanical equipment: equipment not listed above	8 weeks or less	
Shade structure (pavilion)	10-14 weeks	
Shade structures (fabric)	10-12 weeks	
Mosaic wall (entrance sign wall)	14-18 weeks	
Exterior Athletic Lighting	8-12 weeks	
Electric Distribution Panel(s)	40-54 weeks	See Electrical Drawings for items that are owner furnished, contractor installed equipment. The remaining electrical will be the contractor's responsibility to furnish and install.

Note: Times do not include the installation of foundations, where applicable.

Clarification 1: Sheet C-100 Existing Condition and Demolition Plans

Sheet C-100 is labeled showing the “existing water play structure and all appurtenances to be removed” and “existing shed and all appurtenances to be removed.” This includes the removal of an underground water storage tank as explained in Note 18 on Sheet C-100. “When an item is stated to be removed, it shall include removal of any and all appurtenances above or below grade associated with said item.”

Clarification 2: Pump Room Selective Demolition

There are multiple sheets referencing demolition, repairs, and proposed changes to the existing pump room including but not limited to the following reference list. Contractor is responsible for reviewing all plan and specification sections for additional details.

- C-100 Existing Conditions and Demolition Plan for overall site demolition
- L103 Enlargement Plan and L315 Construction Details for proposed garage door replacement
- Structural Set Sheets S-001 through S-202 for repairs to existing walls
- MR-1 Mechanical Room Layout and MR-1.1 Mechanical Room Plumbing Layout for proposed equipment and existing Fitness Pool equipment that will remain and needs to remain functioning and accessible to City of Rockville staff during the entire construction duration.
- E002 and E003 Demolition Site Plan for electrical demolition
- P003 Floor Plan for plumbing demolition

The general contractor shall coordinate with the pool contractor and all required trades for the removal of all existing activity pool circulation equipment including but not limited to all associated electrical, plumbing, pipe supports and controls. All existing conduit and pipe abandoned in walls shall be grouted solid. All unused or abandoned electrical conduit and boxes shall be removed. All pool mechanical equipment associated with the existing fitness pool shall remain protected in place unless otherwise noted. The pool contractor shall follow the plans and specifications for the necessary modifications to the fitness pool mechanical equipment including but not limited to electrical, plumbing, pipe hangers, etc.

Clarification 3: Sheet C-500 Utility Plan

Sheet C-500 shows the proposed relocation of the existing gas line to accommodate the proposed slide tower. This work will also require the relocation of two gas meters to outdoor locations. City of Rockville and the Architect’s team have started coordination with Washington Gas about the relocation of the gas line. The relocation work must be performed by Washington Gas’s approved third-party contractor, NPL, but the costs of the work will be apportioned between Washington Gas and the City of Rockville accordingly. The contractor is responsible for including a \$60,000 allowance in their bid for this work. The allowance is intended to cover the portion of NPL’s scope that is the City’s responsibility, as well as work not performed by Washington Gas or NPL, such as placement of the new meters, new concrete pads for the meters, and all associated piping from the meters to appliances. See [Attachment C](#) for the schematic showing the proposed locations of gas lines and meters and [Attachment D](#), which is a revised to include a line item for this allowance.

Clarification 4: Building Permit Approval

The plans have been approved by the City of Rockville’s Inspection Services Division for a Building Permit under #2024-7317-ALT. Pertinent comments are included as an appendix to this addendum. The Building Permit has been reviewed and approved but cannot be issued until a General Contractor is chosen. A set of the building permit approved drawings will be provided to the selected contractor. For technical information, please refer to the Bid Set of documents.

Clarification 5: Bike Lockers

Product details for the Bike Lockers can be found in specifications section 32 33 00 (IFB page 418 of 747).

Clarification 6: Light Pole Details

The light pole referenced on L312 is shown on page L318 Detail 1.

Clarification 7: Asphalt Quantity on C-200

Drawing C-200 notes to replace existing asphalt pavement. The asphalt to be replaced is shown in a darkened grey color and is within the project’s LOD.

Clarification 8: SP-1 Details

Drawing SP-1 notes elevations C and D. See page SP-3 for these details.

Correction 1: Sheet MR-1 Mechanical Room Layout

Plan label #25 should be shown as #24 for Swimming Pool Heater: Add Alternate. The text of this item has been corrected to reflect updated product information for the pool heater to match what is currently onsite. The updated information is: "LOCHNIVAR #CPN1262, 1,260,000 BTU INPUT, 2" GAS CONNECTION, 2-1/2" FLANGED WATER INFLUENT/EFFLUENT CONNECTIONS AND 12" INTAKE & EXHAUST WITH CATEGORY IV DOUBLE WALL VENTING WITH DRAIN TEES, ONE (1) TOTAL 954LBS." See revised MR-1 page for full details.

Revision 1:

The MFD-V information on the Coversheet (1st Page) of the IFB has been revised to read as follows:

MFD-V Outreach Program

It is the intent of the City of Rockville to increase opportunities for minority, female, disabled, or veteran (MFD-V) owned businesses to compete effectively at supplying goods, equipment, and services to the City, within the constraints of statutory purchasing requirements, departmental needs, availability, and sound economical considerations, including subcontracting or mentoring opportunities. Suggested changes and MFD-V enhancements to this solicitation's requirements for possible consideration and/or inclusion in future solicitations are strongly encouraged. Any questions regarding MFD-V outreach or questions/concerns regarding the City's bidding process should be addressed to Pat Ryan, pryan@rockvillemd.gov or 240-314-8434.

Revision 2: Bid Pricing Form

The Bid Proposal Pricing Form Sheets on pages 503 through 506 of the IFB shall be removed and replaced with those contained in **Attachment D** to this Addendum to reflect the revisions below, which will be listed in red:

- Line 31 was added to the base bid for the gas relocation allowance.
- The Unit Rate lines were renamed from lines 31-35 to U-1 through U-5.
- The Unit Rate for additional concrete has been changed from the unit of Cubic Yard to Cubic Feet
- The alternate chart was updated to include deduct alternate, D-1, which is explained in Addition 1 of this Addendum.
- The alternate chart was updated to include unit prices for add alternate work A-3a and A-3b (New Fitness Pool "White" Coat) should additional, unforeseen work for this item be required.

Revision 3: Structural Engineering Drawings

There have been updates to structural drawings S100, S101, S201 and S202 have revisions and are attached to this Addendum. The drawings log has been updated to reflect said changes. See Sheet S202 Detail 4 for a section of the entry sign wall and foundation.

Revision 4: Civil Engineering Drawings

There have been updates to the Civil Set, relative to the Public Works Permit and Sediment Control Plan. See Erosion and Sediment Control Plan page 2 of 4 and Public Works Permit pages have been revised from 1 of 1 to 1 of 2 and 2 of 2. Revised and added plan pages are attached to this addendum as an appendix.

Additionally, we have received the following questions/comments concerning this Invitation for Bid. Responses to these questions are also provided, where additions, revisions, clarifications, corrections and/or deletions found within the City's responses are incorporated into this Addendum:

1. Please confirm this project is not a wage scale project.

Response: There are no State or Federal funds associated with this work. The City of Rockville has no minimum/living wage requirements above those set by the federal government. Prior to submitting a bid, bidders should consult their accountants or bookkeepers with regard to how State of Maryland and Montgomery County, Maryland legislation related to minimum and living wages impacts their labor costs for the solicited work, as any additional costs associated with the legislation shall be the responsibility of the Contractor.

2. Please confirm there are no MFD requirements and/or forms that need to be submitted with our bid.

Response: There are No State or Federal funds associated with this work, and there are no MFD-V goals or participation requirements or forms associated with this work.

3. Please confirm only the GC and Pool subcontractor references need to be submitted with the bid and other subcontractors references would be submitted within 5 days after notice of award per section 3.2 of the IFB.

Response: Reference Section III, 3.2; Page 33 and the Sub-Contractor Reference Form in Section V; Page 516. General Contractors bidding must submit evidence and references for their firm and the swimming pool subcontractor (if the bidder is not primarily a swimming pool constructor contractor) with the bid to be considered responsive. The Sub-Contractor Reference Form must be completed and submitted with bid for any and all swimming pool subcontractor(s), where the City reserves the right to require completion and submission of the Sub-Contractor Reference Form for and or all other subcontractors after receipt of bids. Bidders are strongly encouraged to submit separate Sub-Contractor Reference Forms for all proposed subcontractors with their bids.

4. Item 35 on the Bid Form asks for additional concrete per CY. Please clarify what this is for as there are different prices for different situations. For example, is this for concrete deck repair and to include installation costs? Please provide a plan detail to follow for this. IN addition, if this is for flatwork, a unit rate of square foot may be more realistic.

Response: This is for a unit rate of concrete should additional concrete be needed as directive via an ASI or Change Order. The bid form has been updated to show square feet instead of cubic yards.

5. Add Alternate #6 – Quantity shown on drawing L101A doesn't match with the quantity referenced in specs Appendix B. Small Picnic Table shown on drawings are 18 including 2 near Existing Bathhouse. Quantity called out in specs is 12. Please review & confirm what quantities we should price the nate for?

Response: Please provide the pricing as specified on Appendix B - Site Furnishing Add / Alternate Pricing List of the IFB, pages 574 – 576 of 747.

6. Add Alternate 6 – 6E Chaise Loung Chair reference is not shown.

Response: See Appendix B - Site Furnishing Add / Alternate Pricing List of the IFB, pages 574 – 576 of 747

7. Gas piping relocation allowance was mentioned in the site visit, please advise what \$\$ amount we must carry in our bid to cover the cost.

Response: See Addendum Clarification #3 above.

8. Please advise us if there will be an additional site visit scheduled for our sub-contractors to visit the jobsite.

Response: Two additional site visits are scheduled as follows:

Wednesday, April 3, 2024, 2:00pm-3:00pm
Thursday, April 4, 2024, 9:00am-10:00am

9. Please provide sign-in sheets for all site visits.

Response: Sign in sheets for all site visits and the pre-bid meeting have been posted to the City's Procurement Collaboration Portal.

10. Please confirm all movable/not required appliances will be removed from all areas prior to contractor acquisition of the demo location & utility rooms.

Response: City staff will remove all moveable (non-mounted) appliances, tools and equipment out of the construction areas. Note that limited items will remain in place for the Fitness Pool's operation in the mechanical and chemical rooms. See Clarification 2 for more information and IFB section 1.8 for key dates.

11. Please confirm owner will mark/coordinate with GC regarding all appliances/equipment that they would like to preserve prior to begin of demo process?

Response: Confirmed.

12. Please confirm existing Bathhouse building can be used as onsite office & we don't have to setup trailers?

Response: See IFB section 3.16 (page 37-38 of 747).

13. Please confirm parking will be allowed onsite at the parking lot for construction employees?

Response: Construction employees may park in the outdoor pool's parking lot.

14. Please confirm we are not to include Davis Bacon or any other Prevailing Wages. We are just to meet MD minimum pay for the duration of construction of this project.

Response: There are no State or Federal funds associated with this work. The City of Rockville has no minimum/living wage requirements above those set by the federal government. Prior to submitting a bid, bidders should consult their accountants or bookkeepers with regard to how State of Maryland and Montgomery County, Maryland legislation related to minimum and living wages impacts their labor costs for the solicited work, as any additional costs associated with the legislation shall be the responsibility of the Contractor.

15. Please provide exact elevation & height of the segmental retaining wall "A"

Response: Retaining Wall A profile is shown on C-220 with top of wall and bottom of wall. Final design of wall is per contractor design. Please see all notes included on C-220.

16. Detail 8 on sheet 4 of 6 – Stormwater Management details refer/show the bottom of retaining wall @ Micro-bioretenion "B" Plan to be at 444. Which means total height of retaining wall to be 8'. Please confirm this is correct elevation as Detail 2/S-202 shows total height to be approximately 9'3" including footing. Please provide clarification.

Response: Elevation note of 444.00 on stormwater management details sheet 4 of 6 (IFB page of 636 of 747) is a maximum bottom elevation to prevent wall from bearing on bioretention section. Wall section and height from S-202 shall be followed.

17. Drawing C-210 refers detail of retaining wall is to be provided on C-260. This sheet is not included in the bid set. Please provide this sheet.

Response: Wall A detail is shown on C-220 and Wall B detail is shown on S-202 Detail 2 Cantilever Retaining Wall.

18. Provide bottom elevation of both retaining walls at bio-ponds.

Response: Retaining Wall A profile is shown on C-220 with corresponding top of wall and bottom of wall elevations. Final design of wall is per contractor design. Please see all notes included on C-220. Retaining wall B profile is shown on S-202 with all corresponding top of wall and bottom of wall elevations.

19. Pole Light with GFCI – Calls out to be on 1/L317 – its not relevant detail.

Response: The reference has been corrected. See updated Drawings Log for Architect Set changes.

20. Shade structure light – Calls out to be on 2/L317 – its not relevant detail.

Response: The reference has been corrected. See updated Drawings Log for Architect Set changes.

21. Entry Sign Floodlight – Calls out to be on 3/L317 – its not relevant detail.

Response: The reference has been corrected. See updated Drawings Log for Architect Set changes.

22. Detail 4/L316 – refers to CIP concrete footing & CR-6 stone information to be found on Structural details. This cannot be found. Please advise on correct information?

Response:

A: See Sheet S-202 Detail 4 (updated as part of this addendum).

23. Please confirm existing asphalt driveway near bathhouse building can be used for access to jobsite during construction?

Response: The construction entrance is located to the west of the bathhouse as shown on Sheet 2 of 4 Erosion and Sediment Control Plan (IFB page 638 of 747). Contractor is responsible for following all E&S requirements as included in the Civil Set. Light duty vehicles may use the gate to the east of the bathhouse only for deliveries, however vehicles are not permitted to enter the disturbed area via this access point.

24. Drawing AP- 2 Notes, 5. States ". COORDINATE DEPTH CHARGE AIR TUBING IN FIELD W/ MANUFACTURER." There doesn't seem to be a feature using compressed air or labeled "Depth Charge".

- 1 - Is there such a feature?
- 2 - Is an air compressor required?
- 3 - If there is a compressed air feature, what type of piping is required?

Response: Omit note #5, items are not included in the project's scope. See Appendix for revised AP-2.

25. Swimming Pool:

Drawing SP-1 states Deferred Approval on "Rayner Safety Mighty Mesh Tension Pool covers (or equal)

- 1- Can the City provide a specification for this cladding or provide a vendor that provide this product?

Response: Rayner is the manufacturer and vendor – Raynercovering.com.

26. Swimming Pool Slides:

Drawing SP-1 states slide, Aquazip, and Add Alternate water slide poles be wrapped in UV resistant protective foam and vinyl cover.

- 1 - Can the City provide a specification for this cladding or provide a vendor that provide this padding system?

Response: The City has no preferred vendor, all manufacturers shall be considered equal. The vinyl pad must be UV resistant rated for exterior use, fixed to the pole without exposed fasteners and sized appropriately to fit the pole or equipment.

27. Pool:

Specification 131106, 1.3 SUBMITTALS AND SUBSTITUTIONS, B, 5 States "Winterization Plan/Instructions and Summerization Plan/Instructions for all pools and equipment."

- 1 - Can the City please confirm that the piping design shown on the bid drawing for the swimming pools and waterslide components is designed to be winterized by closing or opening valves?
- 2 - Are additional pipes and/or valves necessary to winterize the swimming pools and waterslide components?

Response:

- 1. All pipes serving pools and aquatic features are intended to be winterized by use of valves.**
- 2. See general note #6 on Sheet MR-1. The installation of all plumbing is to meet the requirements outlined in the plans and specifications. Pipe runs and routing are schematic in nature to provide the contractor a general path and route. Exact methodology for installation to meet these requirements is means and methods and the responsibility of the pool contractor.**

28. Pool Plaster:

Specification 131105 SWIMMING POOL PLASTER, 2.4, PUMP PIT, BACKWASH PIT & SURGE CHAMBER WATERPROOFING, A, state "Xypex, Miracote Miraflex Membrane C Hycrete Waterproofing System concrete additive or approved equal. Mix and apply per manufacturer's recommendations for specific application. Color shall be Gray."

- 1 - Does this mean a two coat surface waterproofing, not an integral additive to the concrete mix?

Response: Two coat surface waterproofing.

29. Pool Finishes:

Specification 131105 SWIMMING POOL PLASTER, 2.1 CEMENT/AGGREGATE, A, calls for Luna Quartz tiny pebble finish by Wet Edge Technologies. Altima quartz finish by Wet Edge Technologies. Pebble-Fina Pool finish by Pebble Technologies or approved equal.

1- Can Diamond Brite Diamond Quartz finish be substituted for these finishes as well?

Response: Diamond Brite diamond quartz is not an acceptable substitution for all internal pool surfaces included within Specification Section 13 11 05 2.1A.

30. Pool Alternate:

Is the existing plaster Hollow, if the existing plaster is hollow, how much of the existing coat will need to be removed due to hollow areas? Would the City consider a unit price per layer to address removal of hollow plaster on a unit price basis?

Response: The City does not believe there to be significant areas of large hollow spots under the surface of the fitness however conditions underneath the surface of the fitness pool are not know without destructive testing. Yes, an additional unit price per layer to address removal of hollow plaster can be considered and the unit rate has been added to the pricing page. See response to #32 for additional details.

31. Pool Alternate:

Article 1.5 SUMMARY DESCRIPTION OF ADD/ALTERNATE ITEMS, states "Add Alternate 3 - Add new plaster "white" coat to the Fitness Pool. Coordinate the timing of work with Owners' Representative a. Note that this work is to include appropriate surface preparations, replacing the racing lane tiles and expansion joints and be completed in accordance with pertinent Division 13 specification requirements."

Can the city please clarify the following:

1 - Is the existing plaster finish to remain in place and be prepared to receive the new coat of "white" coat?

Response: The existing pool plaster is to remain in place and the contractor is to apply appropriate surface preparations so that the new plaster coat will bond to the existing. See response to #32 for additional details.

32. Article 1.5 SUMMARY DESCRIPTION OF ADD/ALTERNATE ITEMS, states Add Alternate 3 - Add new plaster "white" coat to the Fitness Pool. Coordinate the timing of work with Owners' Representative a. Note that this work is to include appropriate surface preparations, replacing the racing lane tiles and expansion joints and be completed in accordance with pertinent Division 13 specification requirements."

1 - Can the city please specify which plaster finish is to be applied to the Fitness Pool?

Response:

- Rockville Swim and Fitness Center staff will provide all labor and materials necessary to drain the Fitness Pool including the removal of all debris.
- Contractor must remove all areas of irregularities in the existing plaster to include all etched and pitted plaster. In addition, contractor is also responsible for removing and repairing all hollow spots. Hollow spot removal and repair in excess of 500 SF will be billed at a rate of \$_____ per SF (add as unit rate on pricing page).
- Pool surface must be mechanically acid etched as required per the manufacturer's installation instructions to ensure proper adhesion between the existing surface and the new whitecoat.
- Marbelite must be uniformly graded manufactured white marble sand with a maximum size particle of #8 mesh.
- Portland cement used in the resurfacing mix must conform to the physical requirements of Federal Specification SS-C-192 white cement.
- Contractor must remove and replace in kind all existing racing lane tiles and tile is to be re-grouted, white.

- Contractor must chip and cut around fittings, anchors and drains removing at least 1” of the existing plaster so new plaster can be feathered, ensuring a smooth transition between old and new. Contractor will be responsible for replacing all items damaged during this process.
- Any cracks along the floor and on the walls, are to be cut and repaired. Cracks are to be cut to a depth of no less than ½” and extended no less than 1” at both ends. Once dry, contractor must lay a bead of caulk along the length of the crack leaving no less than ¼” space for the new plaster. Cracks along pool floor and wall in excess of 400 linear feet will be billed at a rate of \$_____ per linear foot (add as unit rate to pricing page).
- Contractor must remove and replace existing expansion joint caulk and tiles. New tiles must match existing white tiles. Contractor must use an elastomeric sealant equivalent to Vulkem #45 and is to be poured at a depth of no less than ½”.
- The new whitecoat must meet all specifications in Federal Standard SS-C-192G for white cement.
- New whitecoat mixture must be applied at a thickness of no less than ½”.
- Contractor is responsible for thoroughly cleaning the job site upon completion.
- Pool must be filled immediately.

33. Article 1.6 PROJECT DURATION/COMPLETION states the NTP will be issued on Aug 19th, 2024 and be substantially complete by May 1, 2025., which is 255 days.
Paragraph two, second sentence states "All work shall be completed within 12 months (365 consecutive calendar days)."
Please clarify the project duration.

Response: NTP is planned for construction to commence on Aug 19th, 2024 and the project must be substantially complete by May 1, 2025. A limited NTP will be provided once contracts are executed and bonds received (see IFB section 1.14 for timeline and other details required for bonds and contracts) in order to facilitate ordering of long lead time items and coordination planning. Time after substantial completion is provided for tasks such as remediation of warranty items and staff training and must be scheduled and coordinated around facility operations to the satisfaction of owner.

34. Utilities:

Page 642 (Sanitary Sewage Plan and Profile). This seems to be Storm Water Piping from Bio-Retention Pond to 24” RCP. The plan and pipe schedule both refer to Sanitary Sewer Piping. Please clarify.

Response: Sanitary Sewer Plan and Profile sheet shows the plan and profile view of the sanitary sewer connection from the pump house to the existing 8” sanitary sewer. The symbol is a line with “SS”. The proposed 12” HDPE storm drain is shown for reference on this sheet.

35. Utilities:

Can an allowance be established for the Work associated with the Washington Gas On-site relocation work. C-500 is calling for the base bid to include any fees associated with the gas line relocation.

Response: See Addendum Clarification #3 above.

36. Waterproofing:

1/S-201. What is the depth of the existing footer assumed to be?

Response: Historic Drawings are located at the link below. See 1968 Outdoor Pool, Pages 67 A2-13 and 67 A2-14. Aside from information provided on the plans, additional information is not available.

<https://www.dropbox.com/scl/fo/ptfrbiszc2pxpcpoyx5ux/h?rlkey=kxqjivibwr1zpexa3v8nmt2iy&dl=0>

37. Metals:

Can the existing guardrail and handrail please be added to Drawing L103, in the lower SE corner adjacent to the Existing Tree to remain. Need to understand where the existing transitions to the new. It would also be good to show Existing Handrails/Guardrails on 2/L104.

Response: Sheets L103 & L104 has been updated with labels for the existing guardrails and handrails that are to remain.

38. Concrete:

Edge Condition Type 4 (3/L311) does not seem to align in design with the new concrete retaining wall shown on C-200 to the east of the pool deck, adjacent to the new stairs up to the building, mentioned above. Drawing L103 and section 2B/L301 seem to show this as a sloped planting area, no mention of a concrete wall.

Response: See Sheet L103 for clarification, there are callouts for Edge Condition Type 4 & 5 which are different conditions in different areas.

39. Concrete:

Drawing C-200 What is the height of the new lawn retaining wall to the east of the pool deck, adjacent to the new stairs up to the building.

Response: See Sheet C-210 Grading Plan for top and bottom of wall elevations.

40. Demolition:

Should we include an allowance for potential hazardous material abatement? We are thinking there could be some associated with the 1967 pool.

Response: See Specification 02 41 19 Selective Demolition (IFB page 187 of 747) for details.

41. Demolition:

Drawing C-100 What is the anticipated make-up of the existing 1967 pool, calling to be demolished.

Response: Historic Drawings are located at the link below. See file for 1968 Outdoor Pool. Aside from information provided on the plans, additional information is not available.

<https://www.dropbox.com/scl/fo/ptfrbiszc2pxpcpoyx5ux/h?rlkey=kxgjvibwr1zpexa3v8nmt2iy&dl=0>

42. Demolition:

Drawing C-100 Please confirm we are to remove the existing concrete wall between the Existing Water Play Structure and the lower pool deck. The notes point to the adjacent stairs and bench, but not the wall itself.

Response: See updated Sheet C-100 Existing Conditions and Demolition Plan.

43. General:

Would it be possible to extend the RFI deadline to March 29th to allow for additional time for contractor drawing review and question development.

Response: The City is not extending the deadline for questions.

44. Pool Equipment Alternate:

Swimming Pool Heater Add Alternate 24 on MR-1 provides BOD and scope of work to be performed, on L101 Alternate 6 this scope of work is called out to be Design Build by the GC, please advise which alternate scope the GC is to follow.

Response: The note on L101 has been revised to reference MR-1 for more information. The contractor is responsible for the scope listed on MR-1.

45. Pool Equipment Alternate:

During the site visit the existing exhaust duct was brought into question due to proper sizing for both heater units. Please advise if a second exhaust duct will be required or if the existing exhaust can handle both units.

Response: See plan page MR-1, Note 24. It is the intent that the existing duct serve both the current and proposed heater, with the operational plan to only run one heater at a time. Design Build to include consideration to confirm the adequacy of proposed modifications.

Please sign below to acknowledge receipt of addendum and all corresponding appendices and exhibits and return with your bid.

Sincerely,

Jonathan Pierson, CPSM, C.P.M.
Assistant Director

Company Name

Authorized Signature

Date

JWP/jwp

Discipline	Drawing No.	Drawing Title	Revision	Drawing Date	Set Name	Notes
Architect, Landscape	L001	Cover Sheet	1	3/29/2024	Addendum 1	
Civil	C-001	Civil Cover Sheet		2/23/2024	Bid Set	
Civil	C-003	Stormwater Management Cover Sheet		2/23/2024	Bid Set	
Civil	C-004	Sediment Control Cover Sheet		2/23/2024	Bid Set	
Civil	C-005	Site Plan Amendment Cover Sheet		2/23/2024	Bid Set	
Civil	C-100	Existing Condition & Demolition Plan	1	3/29/2024	Addendum 1	
Civil	C-200	Site Plan		2/23/2024	Bid Set	
Civil	C-205	Site Details		2/23/2024	Bid Set	
Civil	C-210	Grading Plan		2/23/2024	Bid Set	
Civil	C-220	Retaining Wall Plan		2/23/2024	Bid Set	
Civil	C-301	Stormwater Management Plan		2/23/2024	Bid Set	
Civil	C-302	Drainage Area Map		2/23/2024	Bid Set	
Civil	C-305	Stormwater Management Details		2/23/2024	Bid Set	
Civil	C-320	Storm Drainage Plan		2/23/2024	Bid Set	
Civil	C-400	Erosion and Sediment Control Plan	1	3/29/2024	Addendum 1	
Civil	C-405	Erosion and Sediment Control Details		2/23/2024	Bid Set	
Civil	C-410	Erosion and Sediment Control Notes		2/23/2024	Bid Set	
Civil	C-500	Utility Plan		2/23/2024	Bid Set	
Civil	C-006	PWK Cover Sheet	1	3/29/2024	Addendum 1	New sheet
Civil	C-510	Sanitary Sewer Plan and Profile	1	3/29/2024	Addendum 1	
Arborist	LJ-1	FCP Plan View		2/23/2024	Bid Set	
Arborist	LJ-2	FCP Plan Tables		2/23/2024	Bid Set	
Arborist	LJ-3	FCP Tree Table (TPAK)		2/23/2024	Bid Set	
Arborist	LJ-4	FCP Tree Table (TPAK)		2/23/2024	Bid Set	
Arborist	LJ-5	FCP Tree Table (TPAK)		2/23/2024	Bid Set	
Arborist	LJ-6	FCP FTPO Notes		2/23/2024	Bid Set	
Arborist	LJ-7	FCP Details		2/23/2024	Bid Set	
Arborist	LJ-8	FCP Details		2/23/2024	Bid Set	
Arborist	LJ-9	FCP Details Mitigation Planting		2/23/2024	Bid Set	
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Architect, Landscape	L101	Reference Plan And Add Alternates	1	3/29/2024	Addendum 1	
Architect, Landscape	L101A	Reference Plan: Add Alternate: Movable Furniture	1	3/29/2024	Addendum 1	
Architect, Landscape	L102	Enlargment Plan	1	3/29/2024	Addendum 1	
Architect, Landscape	L103	Enlargment Plan	1	3/29/2024	Addendum 1	
Architect, Landscape	L104	Layout Plan	1	3/29/2024	Addendum 1	
Architect, Landscape	L105	Site Accessibility Plan		2/23/2024	Bid Set	
Architect, Landscape	L301	Sections and Elevations	1	3/29/2024	Addendum 1	
Architect, Landscape	L302	Sections and Elevations		2/23/2024	Bid Set	
Architect, Landscape	L303	Sections and Elevations	1	3/29/2024	Addendum 1	
Architect, Landscape	L311	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L312	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L312A	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L312B	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L313	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L314	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L315	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L316	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L317	Construction Details		2/23/2024	Bid Set	
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Architect, Landscape	L319	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L320	Construction Details		2/23/2024	Bid Set	
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Architect, Landscape	L411	Planting Details		2/23/2024	Bid Set	
Architect, Landscape	L601	Lighting Plan		2/23/2024	Bid Set	
Architect, Landscape	L602	Lighting Plan		2/23/2024	Bid Set	
Architect, Landscape	L603	Canopy Lighting Plan		2/23/2024	Bid Set	
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Structural	S-002	General Notes		2/23/2024	Bid Set	
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Structural	S-101	Sunning Deck Repair Plan	1	3/29/2024	Addendum 1	

Structural	S-200	Repair Details		2/23/2024	Bid Set	
Structural	S-201	Masonry & Repair Details	1	3/29/2024	Addendum 1	
Structural	S-202	Site Wall Key Plan and Details	1	3/29/2024	Addendum 1	Sheet Name Change
Aquatic	O-1	Overall Layout Plan		2/23/2024	Bid Set	
Aquatic	DP-1	Deck Plan North		2/23/2024	Bid Set	
Aquatic	DP-2	Deck Plan South		2/23/2024	Bid Set	
Aquatic	SP-1	Swimming Pool Layout		2/23/2024	Bid Set	
Aquatic	SP-2	Swimming Pool Plumbing		2/23/2024	Bid Set	
Aquatic	SP-3	Swimming Pool Sections		2/23/2024	Bid Set	
Aquatic	SL-1	Slide Layout		2/23/2024	Bid Set	
Aquatic	SL-2	Slide Plumbing	1	3/29/2024	Addendum 1	
Aquatic	SL-3	Details		2/23/2024	Bid Set	
Aquatic	SL-4	Details		2/23/2024	Bid Set	
Aquatic	AP-1	Activity Pool Layout		2/23/2024	Bid Set	
Aquatic	AP-2	Activity Pool Plumbing	1	3/29/2024	Addendum 1	
Aquatic	AP-2.1	Overall Plumbing Plan		2/23/2024	Bid Set	
Aquatic	AP-3	Activity Pool Sections		2/23/2024	Bid Set	
Aquatic	AP-4	Activity Pool Sections		2/23/2024	Bid Set	
Aquatic	AP-5	Details		2/23/2024	Bid Set	
Aquatic	AP-6	Details		2/23/2024	Bid Set	
Aquatic	AP-7	Details		2/23/2024	Bid Set	
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Aquatic	AP-17	Details		2/23/2024	Bid Set	
Aquatic	AP-18	Details		2/23/2024	Bid Set	
Aquatic	AP-19	Details		2/23/2024	Bid Set	
Aquatic	AP-20	Details		2/23/2024	Bid Set	
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Aquatic	MR-1.1	Mechanical Room Plumbing Layout	1	3/29/2024	Addendum 1	
Aquatic	MR-2	Details		2/23/2024	Bid Set	
Aquatic	MR-3	Details		2/23/2024	Bid Set	
Aquatic	MR-4	Details		2/23/2024	Bid Set	
Aquatic	MR-5	Details		2/23/2024	Bid Set	
Aquatic	MR-6	Details		2/23/2024	Bid Set	
Aquatic	MR-7	Details		2/23/2024	Bid Set	
Aquatic	MR-8	Details		2/23/2024	Bid Set	
Aquatic	MR-9	Details		2/23/2024	Bid Set	
Aquatic	MR-10	Details		2/23/2024	Bid Set	
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Electric	E002	Demolition Site Plan		2/23/2024	Bid Set	
Electric	E003	Demolition Site Plan		2/23/2024	Bid Set	
Electric	E004	Site Plan		2/23/2024	Bid Set	
Electric	E005	Site Plan		2/23/2024	Bid Set	
Electric	E006	Pool Equipment Room Demolition, Power & Lighting Plans		2/23/2024	Bid Set	
Electric	E007	Bath House & Snack Bar Demolition and New Work Plans		2/23/2024	Bid Set	
Electric	E008	Fitness Pool Storage Room Demolition & New Work Plans		2/23/2024	Bid Set	
Electric	E009	Bath House Riser Diagrams		2/23/2024	Bid Set	
Electric	E010	Snack Bar and Pool Equipment Room Riser Diagrams		2/23/2024	Bid Set	
Electric	E011	Panel and Light Fixture Schedules		2/23/2024	Bid Set	
Electric	E012	Panel Schedules		2/23/2024	Bid Set	
Electric	E013	Panel Schedules		2/23/2024	Bid Set	
Plumbing	P001	Specifications and Symbols		2/23/2024	Bid Set	
Plumbing	P002	Site Plan		2/23/2024	Bid Set	
Plumbing	P003	Floor Plan		2/23/2024	Bid Set	
Plumbing	P004	Risers, Schedules, and Details		2/23/2024	Bid Set	
Mechanical	M-001	Specifications, Legend, Notes, Abbreviations & Schedules		2/23/2024	Bid Set	

Mechanical	M-101	Mechanical Room Demolition & New Work Plans		2/23/2024	Bid Set	
Architect, Landscape	L001	Cover Sheet	1	3/14/2024	Approved Building Permit	New Sheet, Review Comments
Civil	C-001	Civil Cover Sheet	1	3/14/2024	Approved Building Permit	New Sheet, Review Comments
Architect, Landscape	L100	Overall Site Plan & Egress Diagram	1	3/14/2024	Approved Building Permit	New Sheet, Review Comments
Architect, Landscape	L102	Enlargment Plan	1	3/14/2024	Approved Building Permit	New Sheet, Review Comments

ROCKVILLE SWIM & FITNESS CENTER OUTDOOR RECREATION POOL RENOVATIONS

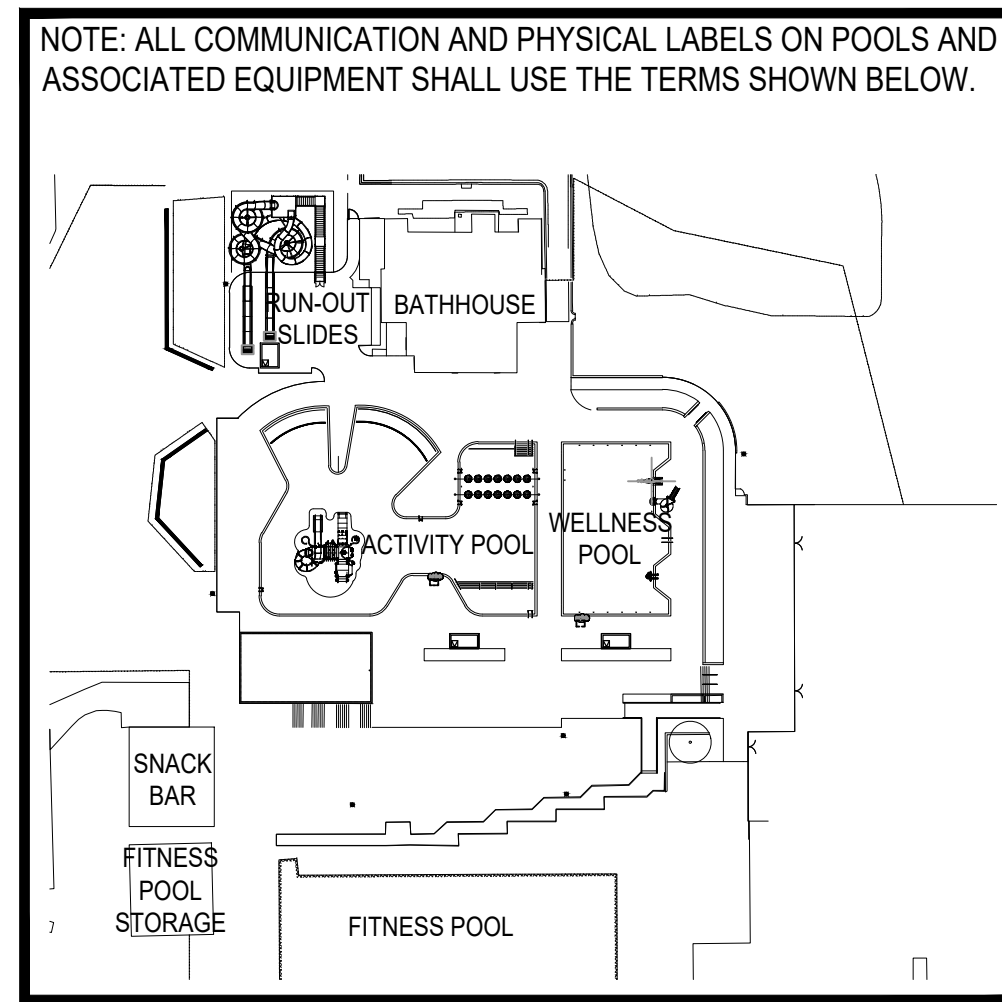
DEPARTMENT OF RECREATION AND PARKS

BID DOCUMENTS



GENERAL NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ARCHITECT OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ARCHITECT SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.
- CONTACT MISS UTILITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR BEING FAMILIAR WITH ALL PUBLIC AND PRIVATE UNDERGROUND UTILITIES, PIPES AND OTHER STRUCTURES BY CONTACTING MISS UTILITY.
- BASE INFORMATION INCLUDING, BUT NOT LIMITED TO, RIGHTS-OF-WAY, EASEMENTS, SIGHT DISTANCES, UTILITY LOCATION, TOPOGRAPHY, AND PROPOSED GRADING PROVIDED BY CLARK | AZAR & ASSOCIATES, INC., GERMANTOWN, MD.
- FIELD STAKEOUT SURVEYOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND NOTING ANY DISCREPANCIES BETWEEN SITE FIELD CONDITIONS AND STAKING PLAN PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR WORK PERFORMED PRIOR TO VERIFICATION OF STAKING PLAN. CONTRACTOR SHALL BEAR THE COSTS ASSOCIATED WITH REMEDIAL ACTION, AS DIRECTED BY ARCHITECT.
- ARCHITECT SHALL APPROVE STAKING IN FIELD OF ALL WORK PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT 72 HOURS IN ADVANCE OF STAKEOUT.
- PRIOR TO CONSTRUCTION OF WALLS, CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL FINISH GRADE ELEVATIONS IN THE FIELD AND ADJUST TOP OF WALL ELEVATIONS, AS APPROVED BY THE ARCHITECT, TO MEET THE DESIGN INTENT.
- DO NOT PROCEED WITH CONSTRUCTION WHEN OBSTRUCTIONS AND/OR GRADE CONFLICTS EXIST. IMMEDIATELY ALERT ARCHITECT OF SUCH CONDITIONS IN WRITING. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- ALL DIMENSIONS SHOWN ON L-SERIES PLANS ARE PARALLEL AND PERPENDICULAR UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO THE FACES OF WALLS AND BACKS OF CURBS, UNLESS OTHERWISE NOTED. DO NOT SCALE DIMENSIONS OFF THE DRAWINGS.
- THESE PLANS ARE REPRESENTATIVE OF DESIGN INTENT ONLY AND, AS SUCH, DENOTE VERTICAL AND HORIZONTAL RELATIONSHIPS, MATERIALS AND FINISHES. SUBMIT SHOP DRAWINGS FOR ARCHITECT'S REVIEW INDICATING ELECTRICAL AND STRUCTURAL DESIGNS APPROPRIATE TO ENSURE DESIGN INTENT IS MET.
- PROVIDE SUBMITTALS, SHOP DRAWINGS, SAMPLES, AND MOCKUPS FOR REVIEW BY THE ARCHITECT PRIOR TO ORDERING/CONSTRUCTING. CONTRACTOR SHALL BEAR RESPONSIBILITY FOR WORK UNDERTAKEN AND/OR MATERIALS ORDERED PRIOR TO OBTAINING THE ARCHITECT'S APPROVAL. CONTRACTOR SHALL BEAR THE COSTS ASSOCIATED WITH REMEDIAL ACTION, AS DIRECTED BY THE ARCHITECT.
- ALL IMPROVEMENTS SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY ARE RECOMMENDATIONS OR PREFERENCES AND SUBJECT TO FINAL APPROVAL BY THE APPROPRIATE AUTHORITY OR JURISDICTION. OBTAIN APPROVAL FROM CITY OF ROCKVILLE AND/OR MARYLAND PRIOR TO CONSTRUCTION.
- ALL EQUIPMENT SERVING THE EXISTING FITNESS POOL WILL NEED TO REMAIN OPERATIONAL IN THE MONTHS OF MARCH - OCTOBER.
- ALL WORK SHALL CONFORM TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS, AND ADOPTED STANDARDS OF CITY OF ROCKVILLE AND MARYLAND UNLESS WAIVED AND/OR MODIFIED UNDER SEPARATE APPLICATION. OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. SEE BELOW FOR A LIST OF DESIGN CODES AND STANDARDS USED FOR THIS PROJECT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING. SEE SUBCONSULTANTS DRAWING SETS FOR ADDITIONAL REQUIREMENTS FOR THE PROJECT.
 - MONTGOMERY COUNTY EXECUTIVE REGULATION: 22-12, MANUAL ON SWIMMING POOL CONSTRUCTION
 - MONTGOMERY COUNTY EXECUTIVE REGULATION: 21-12AM, MANUAL ON SWIMMING POOL OPERATION
 - CODE OF MARYLAND REGULATIONS (COMAR) 10.17.01: PUBLIC SWIMMING POOLS AND SPAS, CODE OF MARYLAND REGULATIONS (COMAR) 09.12.63: WATER SLIDES
 - AMERICANS WITH DISABILITIES ACT AS AMENDED AND 2010 ADA STANDARDS OF ACCESSIBLE DESIGN & MARYLAND ACCESSIBILITY CODE (COMAR 05.02.02)
 - BUILDING CODE - 2018 INTERNATIONAL BUILDING CODE
 - MECHANICAL - 2018 INTERNATIONAL MECHANICAL CODE
 - PLUMBING - 2018 INTERNATIONAL PLUMBING CODE
 - ELECTRICAL - 2017 NATIONAL ELECTRICAL CODE (NFPA 70)
 - GAS - 2015 INTERNATIONAL GAS CODE
 - SPRINKLER - 2016 NFPA 13 FIRE SPRINKLER CODE
 - FIRE ALARM - 2016 NFPA 72 FIRE ALARM CODE
 - AMERICAN CONCRETE INSTITUTE (ACI) STANDARDS, LATEST EDITION
 - MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (MDE) LATEST EDITION
 - ENERGY EFFICIENCY - 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 - CITY OF ROCKVILLE AMENDMENTS: [HTTPS://WWW.ROCKVILLEMD.GOV/2169/BUILDING-AND-SAFETY-CODES](https://www.rockvillemd.gov/2169/BUILDING-AND-SAFETY-CODES)
 - CITY OF ROCKVILLE FOREST AND TREE PRESERVATION ORDINANCE: [HTTPS://WWW.ROCKVILLEMD.GOV/1066/FORESTRY](https://www.rockvillemd.gov/1066/FORESTRY)
 - CITY OF ROCKVILLE STORMWATER ORDINANCE: [HTTPS://WWW.ROCKVILLEMD.GOV/2375/STORMWATER-MANAGEMENT-PERMIT](https://www.rockvillemd.gov/2375/STORMWATER-MANAGEMENT-PERMIT)
 - CITY OF ROCKVILLE, DEPARTMENT OF PUBLIC WORKS STANDARDS AND DETAILS FOR CONSTRUCTION, LATEST EDITION
 - 2021 INTERNATIONAL SWIMMING POOL AND SPA CODE
- PERMIT NUMBERS ASSOCIATED WITH PROJECT: PWK2024-00048, SCP2024-00002, SMP2024-00016
- EQUIPMENT SERVING THE EXISTING FITNESS POOL WILL NEED TO REMAIN OPERATIONAL IN THE MONTHS OF MARCH - OCTOBER.
- CONTRACTOR RESPONSIBLE FOR COORDINATING WITH WASHINGTON GAS AND NPL (THIRD PARTY CONTRACTOR) FOR FINAL DECISION ON GAS LINE RELOCATION. BASE BID TO INCLUDE ANY FEES ASSOCIATED WITH THE GAS LINE RELOCATION. NPL CONTACT INFO: KAREN MALDONADO, KMALDONADO@GONPL.COM, 571-428-3176.

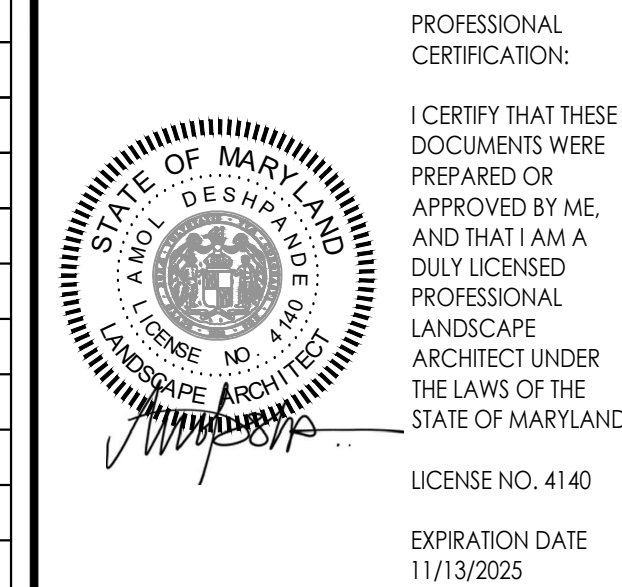


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4	C-004 SEDIMENT CONTROL COVER SHEET	77	AP-2.1 OVERALL PLUMBING PLAN
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72	SL-2 SLIDE PLUMBING		
73	SL-3 DETAILS		

LSG LANDSCAPE ARCHITECTURE

8260 GREENSBORO DRIVE
SUITE 325
TYSONS, VIRGINIA 22102
703-821-2045



ROCKVILLE SWIM & FITNESS CENTER
355 MARTINS LANE
ROCKVILLE, MD 20850



DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
CITY OF ROCKVILLE, MARYLAND

COVER SHEET

BID SET

1 ADDENDUM 1 03/29/2024

No.	Description	Date
Revisions		
Project Number:	22.00036.00	
Scale:	AS SHOWN	
Drawn By:	AD, HW, BS	
Checked By:	AD	
Date:	01/08/2024	
Sheet No.	L001	

LANDSCAPE ARCHITECT
LSG LANDSCAPE ARCHITECTURE

8260 GREENSBORO DRIVE
SUITE 325
TYSONS, VA 22102
703-821-2045

CIVIL ENGINEER
CLARK | AZAR & ASSOCIATES, INC.

20440 CENTURY BOULEVARD,
SUITE 220
GERMANTOWN, MD 20874
204-912-3499

RECREATIONAL POOL AND AQUATIC SPECIALIST
AQUATIC DESIGN GROUP, INC.

2226 FARADAY AVE.
CARLSBAD, CA 92008
800.938.0542

ADA COMPLIANCE REVIEW
UNIVERSAL DESIGNERS & CONSULTANTS INC.

6909 LAUREL AVENUE
SUITE 5749
TAKOMA PARK, MD 20913
301.442.6437

ARBORIST
WETLAND STUDIES & SOLUTIONS INC.

5300 WELLINGTON BRANCH DRIVE
SUITE 100
GAINESVILLE, VA 20155
410.672.5990

STRUCTURAL ENGINEER
GREENMAN-PEDERSEN, INC.

530 GAITHER ROAD, SUITE 100
ROCKVILLE, MD 20850
240.268.1820

ELECTRICAL ENGINEER
DIAMONDBACK ENGINEERING LLC

9501 FOXLAIR PLACE
GAITHERSBURG, MD 20882
301.717.1353

PLUMBING ENGINEER
DIAMONDBACK ENGINEERING LLC

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GAITHERSBURG, MD 20882
301.717.1353

MECHANICAL ENGINEER
GREENMAN-PEDERSEN, INC.

530 GAITHER ROAD, SUITE 100
ROCKVILLE, MD 20850
240.268.1820

NFC

LSG LANDSCAPE ARCHITECTURE

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703-821-2045



CLARK | AZAR & ASSOCIATES
20440 Century Blvd, Suite 220
Germantown, MD, 20874
(301) 528-2010
www.clarkazar.com
A Woman Owned Small Business



PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 31168
EXPIRATION DATE: 01/12/2025

ROCKVILLE SWIM & FITNESS CENTER
355 MARTINS LANE
ROCKVILLE, MD 20850



DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

CITY OF ROCKVILLE, MARYLAND EXISTING CONDITIONS & DEMOLITION PLAN

1 ADDENDUM #1 03/29/2024

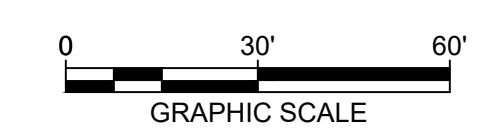
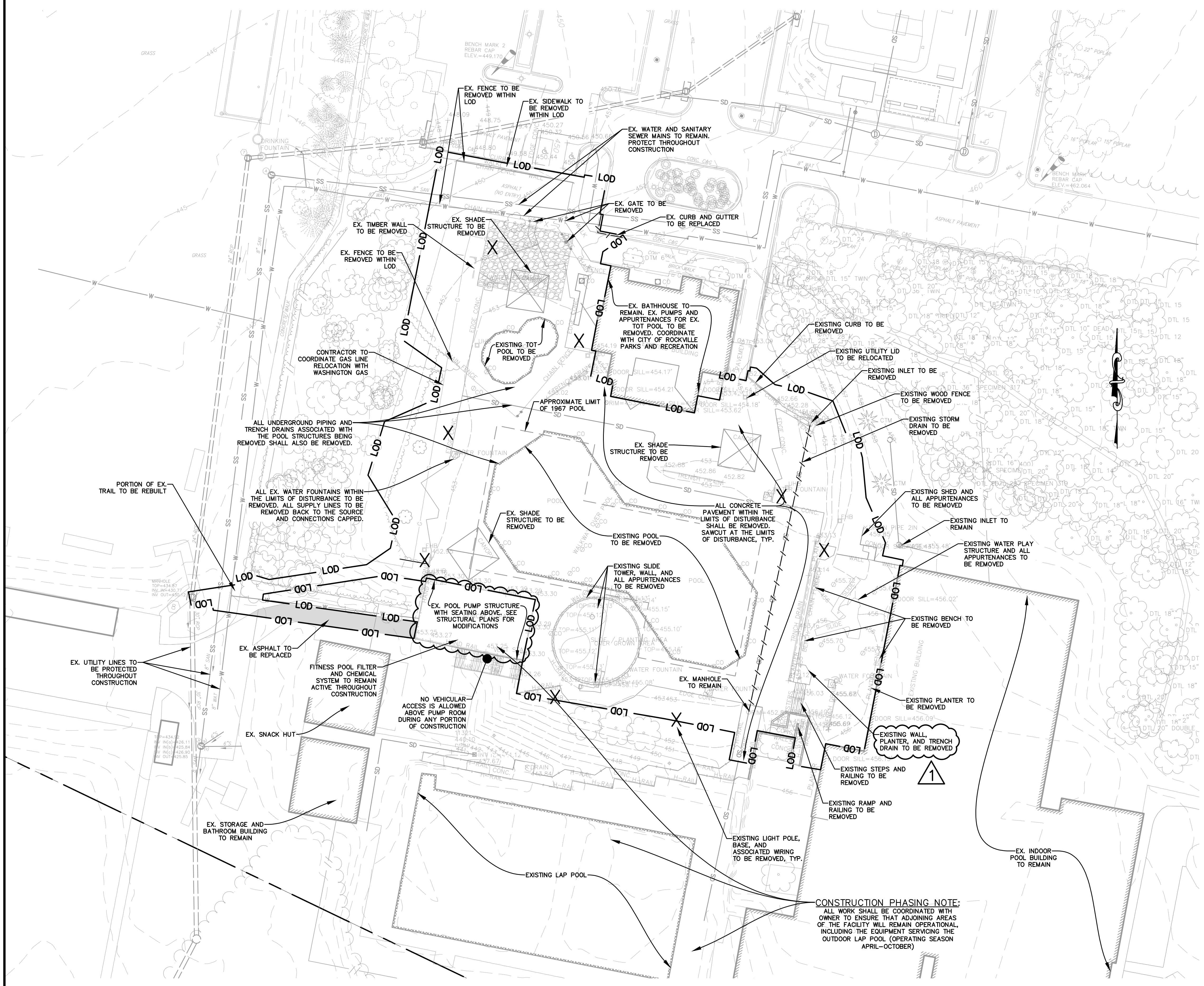
No.	Description	Date
Revisions		
Project Number:	22.00036.00	
Scale:	1" = 30'	
Drawn By:	SL	
Checked By:	JA	
Date:	03/29/2024	
Sheet No.	C-100	

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE LIMITED TO STORING MATERIALS WITHIN THE LIMITS OF DISTURBANCE FOR THIS PROJECT.
2. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH THE CITY OF ROCKVILLE DEPARTMENT OF PARKS AND RECREATION.
3. CONTRACTOR SHALL PROVIDE REQUIRED SIGNAGE AND FLAGMEN ALONG ALL PUBLIC STREETS ADJACENT TO THE SITE, TO ASSURE THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC IF REQUIRED. ALL TRAFFIC CONTROLS MUST BE IN ACCORDANCE WITH THE MOST CURRENT MUTCD AND MDMUTCD REQUIREMENTS AND WITH THE MOST CURRENT MONTGOMERY COUNTY DOT WORK ZONE TRAFFIC CONTROL STANDARDS AND DETAILS.
4. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE MOST CURRENT APPLICABLE EPA, OSHA, AND MSHA REGULATIONS AND MUST COMPLY WITH THE MOST CURRENT FEDERAL, STATE AND/OR LOCAL REGULATIONS AND CODES APPLICABLE TO SAID WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK WITH REPRESENTATIVE UTILITY COMPANIES AND IMPLEMENTING REQUIRED UTILITY-RELATED WORK ACCORDINGLY.
6. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY UPON ENCOUNTERING ANY HAZARDOUS MATERIALS. THE CONTRACTOR SHALL DOCUMENT SAID TO THE OWNER TO OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.
7. WHERE NEW WORK IS TO BE DONE, CARE SHALL BE TAKEN TO PROTECT ALL EXISTING ADJACENT SURFACES, STRUCTURES, AND AREAS FROM DAMAGE. ANY ITEM SHOWN TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
8. CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH ACCEPTABLE MATERIAL, AS SPECIFIED IN THE CONTRACT DOCUMENTS.
9. THE CONTRACTOR SHALL SHEET/SHORE AND BRACE ANY AND ALL STRUCTURES EXPOSED BY EXCAVATION/CONSTRUCTION IF REQUIRED AND SHALL CONTAIN ALL EXCAVATION WITHIN THE LIMITS OF DISTURBANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING IN ACCORDANCE WITH LOCAL, STATE, OR FEDERAL REQUIREMENTS.
10. IN THE EVENT THAT, DURING DEMOLITION OR CONSTRUCTION ACTIVITIES THE CONTRACTOR ENCOUNTERS ANY EXISTING UTILITIES/STRUCTURES NOT SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER FOR DIRECTIONS PRIOR TO PROCEEDING WITH ANY WORK.
11. ALL SAWCUTS ARE TO BE STRAIGHT AND EVEN, JAGGED EDGES WILL NOT BE ACCEPTED.
12. IT IS THE INTENT OF THE DEMOLITION PHASE TO PROVIDE A SITE CLEAR OF ALL PHYSICAL CONSTRUCTIONS THAT WILL IMPEDE NEW CONSTRUCTION. PHASE STORM DRAIN REMOVAL AND GRADING AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION.
13. THE DEMOLITION PLAN IS INTENDED TO PROVIDE AN OVERALL INTENT OF DEMOLITION THAT WILL BE PERFORMED THROUGHOUT CONSTRUCTION. SOME DEMOLITION IS PHASED AND PROGRESSES AS CONSTRUCTION CONTINUES. ALL DEMOLITION MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND THE SEQUENCE OF CONSTRUCTION.
14. PRIOR TO THE START OF CONSTRUCTION AN ON-SITE MEETING WITH THE CITY OF ROCKVILLE DEPARTMENT OF PARKS AND RECREATION, THE ROCKVILLE SWIM & FITNESS CENTER, AND THEIR GENERAL CONTRACTOR SHALL BE HELD TO DISCUSS TIMING OF OPERATIONS AND CONSTRUCTION COORDINATION.
15. BEFORE ANY EXCAVATION BELOW SUBGRADE IS ALLOWED, THE CONTRACTOR SHALL VERIFY THAT NO UTILITY PIPING IS IN THE VICINITY OF EXCAVATION.
16. THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL UNDERGROUND UTILITIES IN THE AREA OF PROPOSED WORK ARE LOCATED PRIOR TO COMMENCING CONSTRUCTION WORK. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.
17. THE CONTRACTOR IS ALSO RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (NOT LOCATED BY MISS UTILITY) WITHIN THE PROPERTY AT THEIR EXPENSE. ALL UTILITIES SHOWN ON THE PLANS ARE PROVIDED FOR INFORMATION ONLY AND SHALL BE CONSIDERED APPROXIMATE. THE CITY OF ROCKVILLE WILL NOT LOCATE ANY OF THE EXISTING UNDERGROUND UTILITIES. ANY UTILITIES OR OTHER UNDERGROUND FACILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
18. WHEN AN ITEM IS STATED TO BE REMOVED, IT SHALL INCLUDE REMOVAL OF ANY AND ALL APPURTENANCES ABOVE OR BELOW GRADE ASSOCIATED WITH SAID ITEM.
19. ALL SIDEWALKS ARE TO BE REMOVED AT THE NEAREST WHOLE PANEL.
20. ANY MANHOLE, VALVE, OR OTHER UTILITY THAT IS TO REMAIN WITHIN THE LIMITS OF DISTURBANCE SHALL HAVE THEIR LIDS MODIFIED TO MEET PROPOSED GRADE.
21. BEFORE DEMOLITION BEGINS, CONTRACTOR SHALL HOLD MEETING WITH OWNER TO DETERMINE WHICH DEMOLITION ITEMS ARE TO BE SALVAGED TO THE OWNER. ALL DEMOLITION AND SALVAGING TO BE CONDUCTED BY THE CONTRACTOR. OWNER TO SPECIFY LOCATION FOR SALVAGED ITEMS
22. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS FROM ALL DISCIPLINES TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS BEFORE COMMENCING ANY WORK

DEMOLITION LEGEND

- EXISTING STORM DRAIN TO BE REMOVED
- EXISTING LIGHT POLE, BASE, AND ASSOCIATED WIRING TO BE REMOVED
- EX. ASPHALT TO BE REMOVED



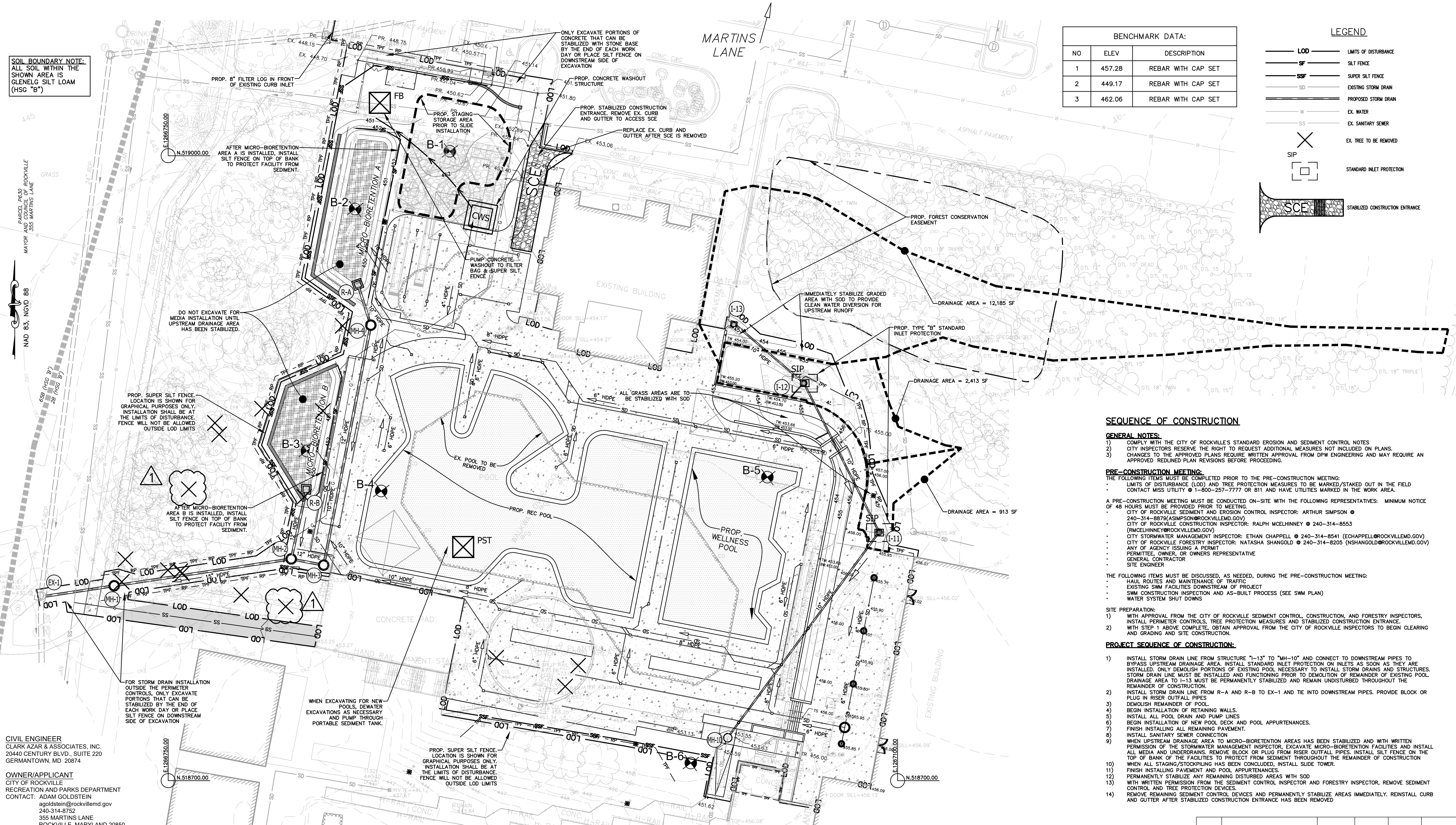
SOIL BOUNDARY NOTE:
ALL SOIL WITHIN THE
SHOWN AREA IS
GLENGLE SILT LOAM
(HSG "B")

BENCHMARK DATA:

NO	ELEV	DESCRIPTION
1	457.28	REBAR WITH CAP SET
2	449.17	REBAR WITH CAP SET
3	462.06	REBAR WITH CAP SET

LEGEND

- LOD — LIMITS OF DISTURBANCE
- SF — SILT FENCE
- SSF — SUPER SILT FENCE
- SD — EXISTING STORM DRAIN
- — PROPOSED STORM DRAIN
- W — EX. WATER
- SS — EX. SANITARY SEWER
- X — EX. TREE TO BE REMOVED
- SIP — STANDARD INLET PROTECTION
- SCE — STABILIZED CONSTRUCTION ENTRANCE



SEQUENCE OF CONSTRUCTION

- GENERAL NOTES:**
- 1) COMPLY WITH THE CITY OF ROCKVILLE'S STANDARD EROSION AND SEDIMENT CONTROL NOTES
 - 2) CITY INSPECTORS RESERVE THE RIGHT TO REQUEST ADDITIONAL MEASURES NOT INCLUDED ON PLANS.
 - 3) CHANGES TO THE APPROVED PLANS REQUIRE WRITTEN APPROVAL FROM DPW ENGINEERING AND MAY REQUIRE AN APPROVED REDLINED PLAN REVISIONS BEFORE PROCEEDING.

PRE-CONSTRUCTION MEETING:
THE FOLLOWING ITEMS MUST BE COMPLETED PRIOR TO THE PRE-CONSTRUCTION MEETING:

- LIMITS OF DISTURBANCE (LOD) AND TREE PROTECTION MEASURES TO BE MARKED/STAKED OUT IN THE FIELD
- CONTACT MISS UTILITY @ 1-800-257-7777 OR 811 AND HAVE UTILITIES MARKED IN THE WORK AREA.

A PRE-CONSTRUCTION MEETING MUST BE CONDUCTED ON-SITE WITH THE FOLLOWING REPRESENTATIVES: MINIMUM NOTICE OF 48 HOURS MUST BE PROVIDED PRIOR TO MEETING.

- CITY OF ROCKVILLE SEDIMENT AND EROSION CONTROL INSPECTOR: ARTHUR SIMPSON @ 240-314-8879 (ASIMPSON@ROCKVILLEMD.GOV)
- CITY OF ROCKVILLE CONSTRUCTION INSPECTOR: RALPH MCELHINNEY @ 240-314-8553 (RMCELHINNEY@ROCKVILLEMD.GOV)
- CITY STORMWATER MANAGEMENT INSPECTOR: ETHAN CHAPPELL @ 240-314-8541 (ECHAPPELL@ROCKVILLEMD.GOV)
- CITY OF ROCKVILLE FORESTRY INSPECTOR: NATASHA SHANGOLD @ 240-314-8205 (NSHANGOLD@ROCKVILLEMD.GOV)
- PERMITTEE, OWNER, OR OWNERS REPRESENTATIVE
- GENERAL CONTRACTOR
- SITE ENGINEER

THE FOLLOWING ITEMS MUST BE DISCUSSED, AS NEEDED, DURING THE PRE-CONSTRUCTION MEETING:

- HAUL ROUTES AND MAINTENANCE OF TRAFFIC
- EXISTING SWM FACILITIES DOWNSTREAM OF PROJECT
- SWM CONSTRUCTION INSPECTION AND AS-BUILT PROCESS (SEE SWM PLAN)
- WATER SYSTEM SHUT DOWNS

- SITE PREPARATION:**
- 1) WITH APPROVAL FROM THE CITY OF ROCKVILLE SEDIMENT CONTROL, CONSTRUCTION, AND FORESTRY INSPECTORS, INSTALL PERIMETER CONTROLS, TREE PROTECTION MEASURES AND STABILIZED CONSTRUCTION ENTRANCE.
 - 2) WITH STEP 1 ABOVE COMPLETE, OBTAIN APPROVAL FROM THE CITY OF ROCKVILLE INSPECTORS TO BEGIN CLEARING AND GRADING AND SITE CONSTRUCTION.

- PROJECT SEQUENCE OF CONSTRUCTION:**
- 1) INSTALL STORM DRAIN LINE FROM STRUCTURE "I-13" TO "MH-10" AND CONNECT TO DOWNSTREAM PIPES TO BYPASS UPSTREAM DRAINAGE AREA. INSTALL STANDARD INLET PROTECTION ON INLETS AS SOON AS THEY ARE INSTALLED. ONLY EXCAVATE PORTIONS OF EXISTING POOL NECESSARY TO INSTALL STORM DRAINS AND STRUCTURES. STORM DRAIN LINE MUST BE INSTALLED AND FUNCTIONING PRIOR TO DEMOLITION OF REMAINDER OF EXISTING POOL. DRAINAGE AREA TO I-13 MUST BE PERMANENTLY STABILIZED AND REMAIN UNDISTURBED THROUGHOUT THE REMAINDER OF CONSTRUCTION.
 - 2) INSTALL STORM DRAIN LINE FROM R-A AND R-B TO EX-1 AND TIE INTO DOWNSTREAM PIPES. PROVIDE BLOCK OR PLUG IN RISER OUTFALL PIPES
 - 3) DEMOLISH REMAINDER OF POOL
 - 4) BEGIN INSTALLATION OF RETAINING WALLS.
 - 5) INSTALL ALL POOL DRAIN AND PUMP LINES
 - 6) BEGIN INSTALLATION OF NEW POOL DECK AND POOL APPURTENANCES.
 - 7) FINISH INSTALLING ALL REMAINING PAVEMENT.
 - 8) INSTALL SANITARY SEWER CONNECTION
 - 9) WHEN UPSTREAM DRAINAGE AREA TO MICRO-BIORETENTION AREAS HAS BEEN STABILIZED AND WITH WRITTEN PERMISSION OF THE STORMWATER MANAGEMENT INSPECTOR, EXCAVATE MICRO-BIORETENTION FACILITIES AND INSTALL ALL MEDIA AND UNDERDRAINS. REMOVE BLOCK OR PLUG FROM RISER OUTFALL PIPES. INSTALL SILT FENCE ON THE TOP OF BANK OF THE FACILITIES TO PROTECT FROM SEDIMENT THROUGHOUT THE REMAINDER OF CONSTRUCTION WHEN ALL STAGING/STOCKPIILING HAS BEEN CONCLUDED. INSTALL SLIDE TOWER.
 - 10) FINISH INSTALLING PAVEMENT AND POOL APPURTENANCES.
 - 11) PERMANENTLY STABILIZE ANY REMAINING DISTURBED AREAS WITH SOD
 - 12) WITH WRITTEN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR AND FORESTRY INSPECTOR, REMOVE SEDIMENT CONTROL AND TREE PROTECTION DEVICES
 - 13) REMOVE REMAINING SEDIMENT CONTROL DEVICES AND PERMANENTLY STABILIZE AREAS IMMEDIATELY. REINSTALL CURB AND GUTTER AFTER STABILIZED CONSTRUCTION ENTRANCE HAS BEEN REMOVED

CIVIL ENGINEER
CLARK AZAR & ASSOCIATES, INC.
20440 CENTURY BLVD., SUITE 220
GERMANTOWN, MD 20874

OWNER/APPLICANT
CITY OF ROCKVILLE
RECREATION AND PARKS DEPARTMENT
CONTACT: ADAM GOLDSTEIN
agoldstein@rockvillemd.gov
240-314-8752
355 MARTINS LANE
ROCKVILLE, MARYLAND 20850

BEFORE BEGINNING CONSTRUCTION
CONTACT
"MISS UTILITY"
WWW.MISSUTILITY.NET
OR
1-800-257-7777
OR 811
AT LEAST 48 HOURS
PRIOR TO EXCAVATION

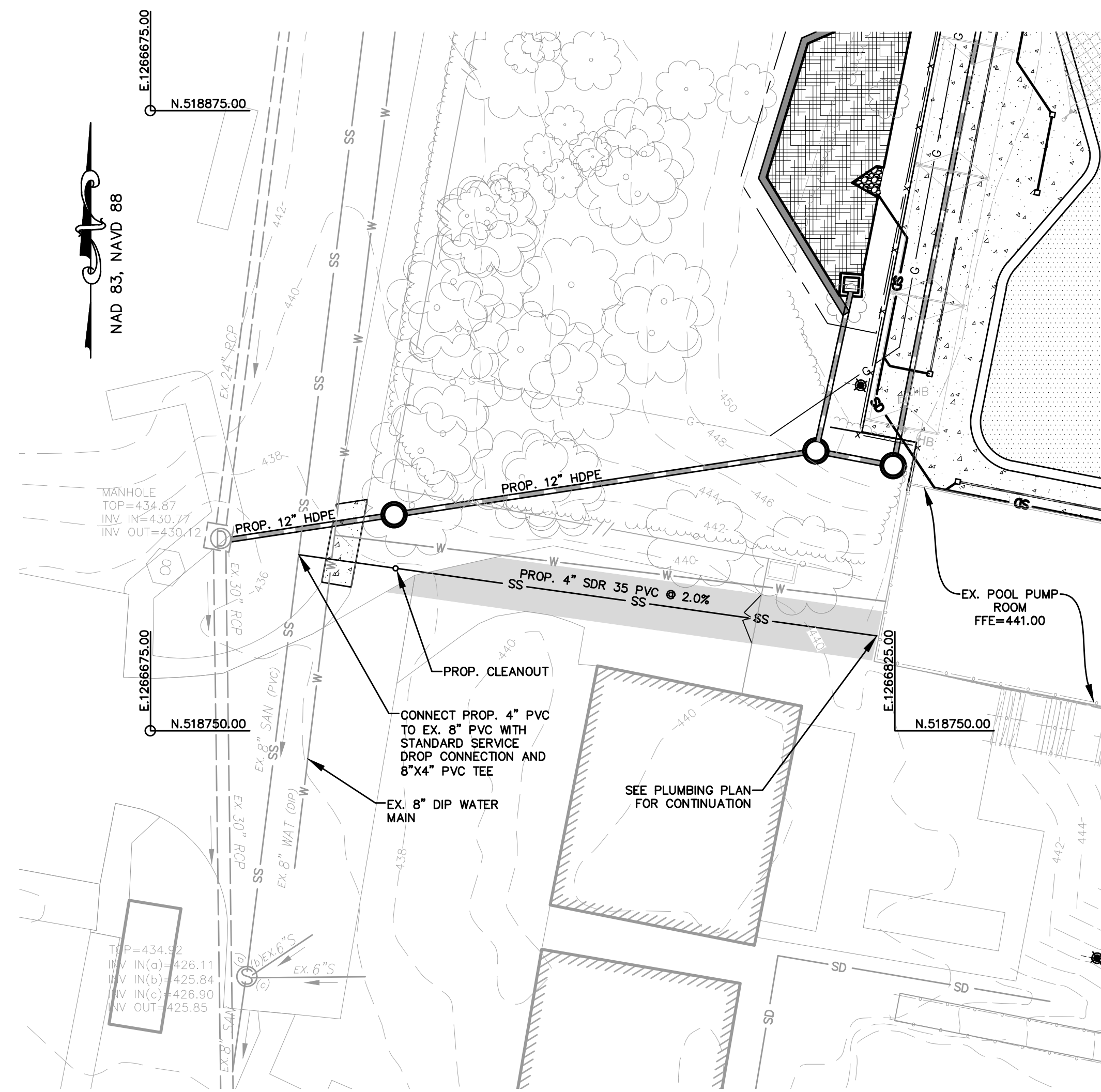
PROFESSIONAL CERTIFICATION:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 31168, Expiration Date: 1/12/2025

JASON AZAR
NAME

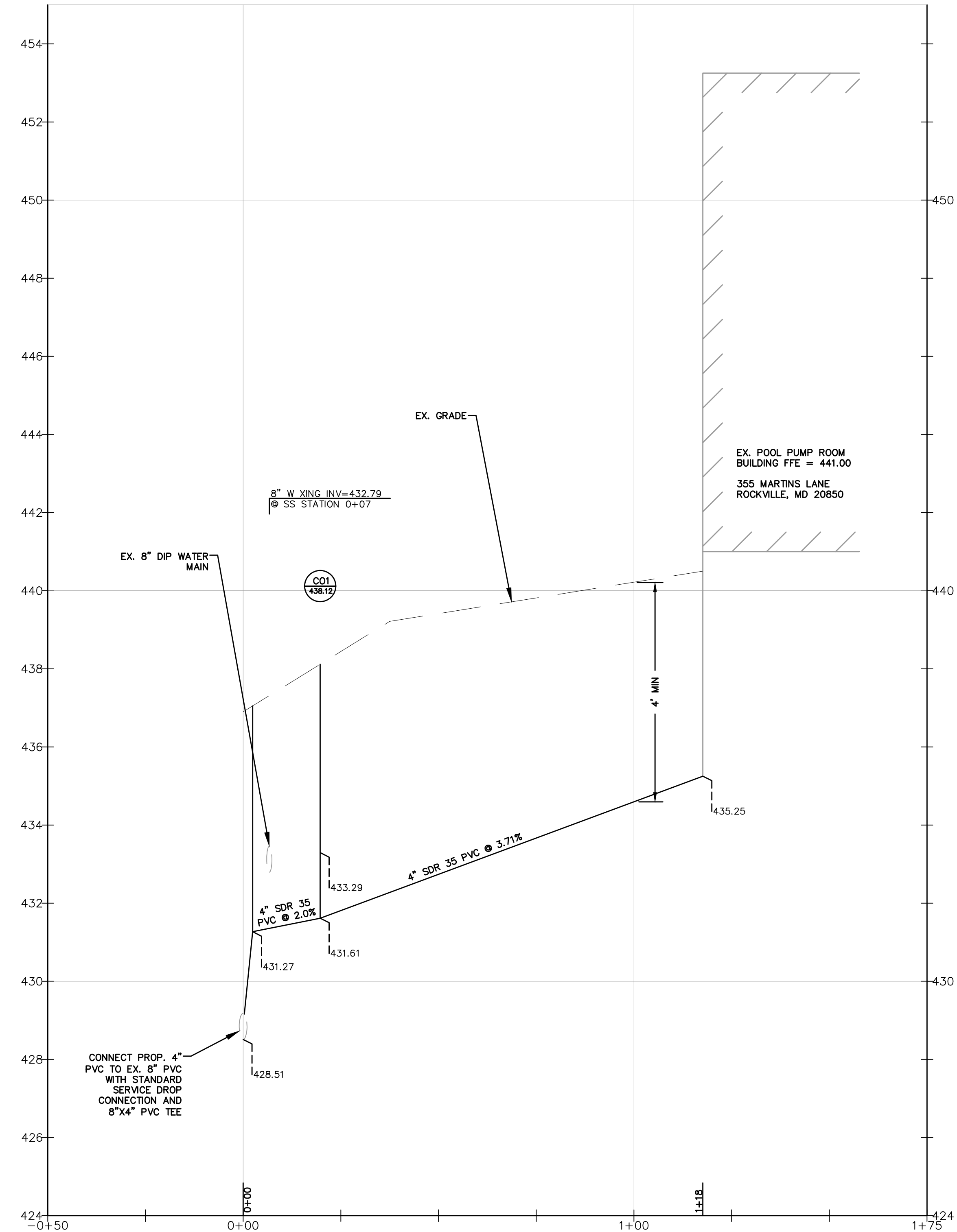


THIS PLAN IS FOR EROSION AND SEDIMENT CONTROL ONLY

<p>DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 MARYLAND AVE. ROCKVILLE, MARYLAND</p>	<p>DESIGNED SL DRAFTED MS CHECKED JA</p>	<p>DESIGN PLAN APPROVAL</p> <p>PWK# _____ SCP# 2024-00002 SMP# _____ REVIEWED BY _____</p> <p>DIRECTOR OF PUBLIC WORKS APPROVAL DATE _____</p>	<p>AS BUILT PLAN APPROVAL</p> <p>CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE _____</p>	<p>SCP2024-00002 EROSION AND SEDIMENT CONTROL PLAN</p>	<p>ROCKVILLE SWIM & FITNESS CENTER OUTDOOR RECREATION POOL RENOVATIONS 355 MARTINS LANE PARCEL 630 Election District No. 4 City of Rockville, Maryland</p>	<p>DATE SUBMITTED: 3/25/2024</p>	<p>SCALE 1"=20'</p>	<p>SHEET NO. 2 OF 4</p>	<p>FILE #</p>									
						<p>APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>ADDENDUM #1</th> <th>JA</th> <th>03/29/2024</th> <th>DATE</th> <th>DPW</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>NO.</td> <td>DESCRIPTION OF REVISION</td> <td>P.E. INITIAL</td> <td>DATE</td> <td>DPW</td> <td>DATE</td> <td></td> </tr> </tbody> </table>					NO.	ADDENDUM #1	JA	03/29/2024	DATE	DPW	DATE	NO.
NO.	ADDENDUM #1	JA	03/29/2024	DATE	DPW	DATE												
NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE													



2 SANITARY SEWER PLAN
SCALE: 1" = 20'



3 SANITARY SEWER PROFILE
SCALE: 1" = 20' (HOR) 1" = 2' (VER)

- EXISTING CURB
- EXISTING PROPERTY LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING BUILDING
- LIMITS OF DISTURBANCE
- EXISTING TREE LINE
- EXISTING GRADE ELEVATION
- EXISTING CURB INLET
- EXISTING GRATE INLET
- EXISTING MANHOLE
- EXISTING TREE
- EXISTING LIGHT POLE
- PROPOSED CURB & GUTTER
- SOIL BORING
- PROPOSED DRAINAGE AREA
- PROPOSED STORM DRAIN
- PROPOSED MICRO-BIORETENTION AREA
- PROPOSED CONCRETE SIDEWALK

SANITARY SEWER PIPE SCHEDULE		
SIZE	TYPE	LENGTH (FT)
4"	SDR 35 PVC	118

CIVIL ENGINEER
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20440 CENTURY BLVD., SUITE 220
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PROFESSIONAL CERTIFICATION:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 31168, Expiration Date: 1/12/2025.

JASON AZAR
NAME

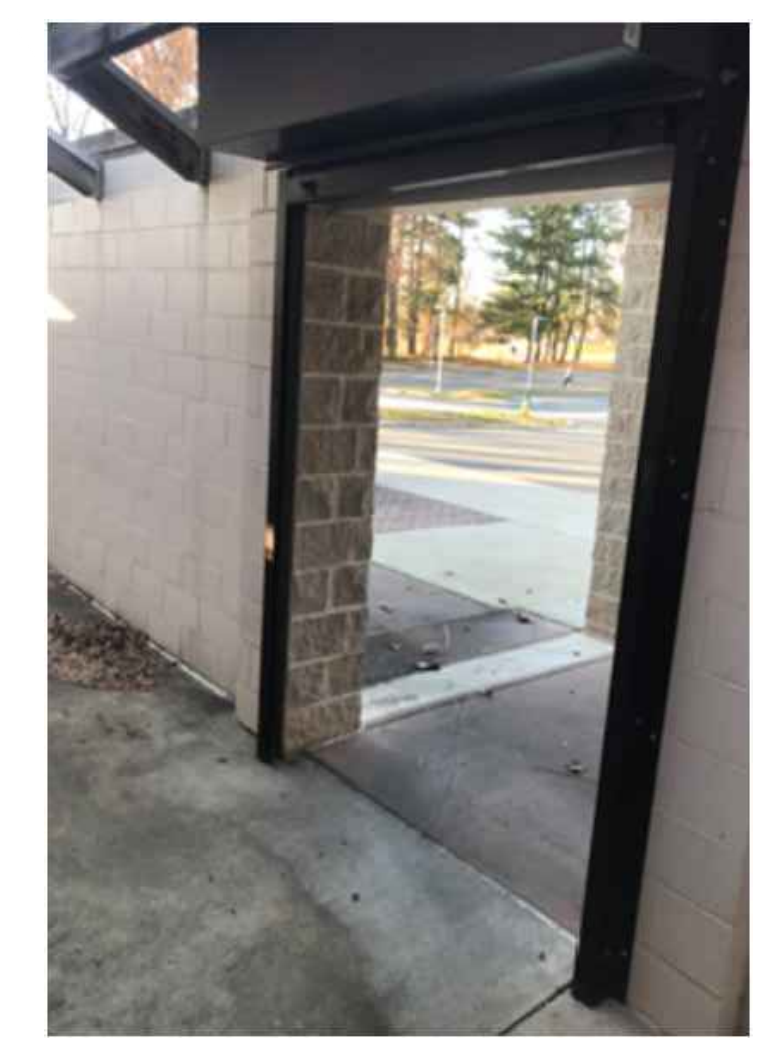
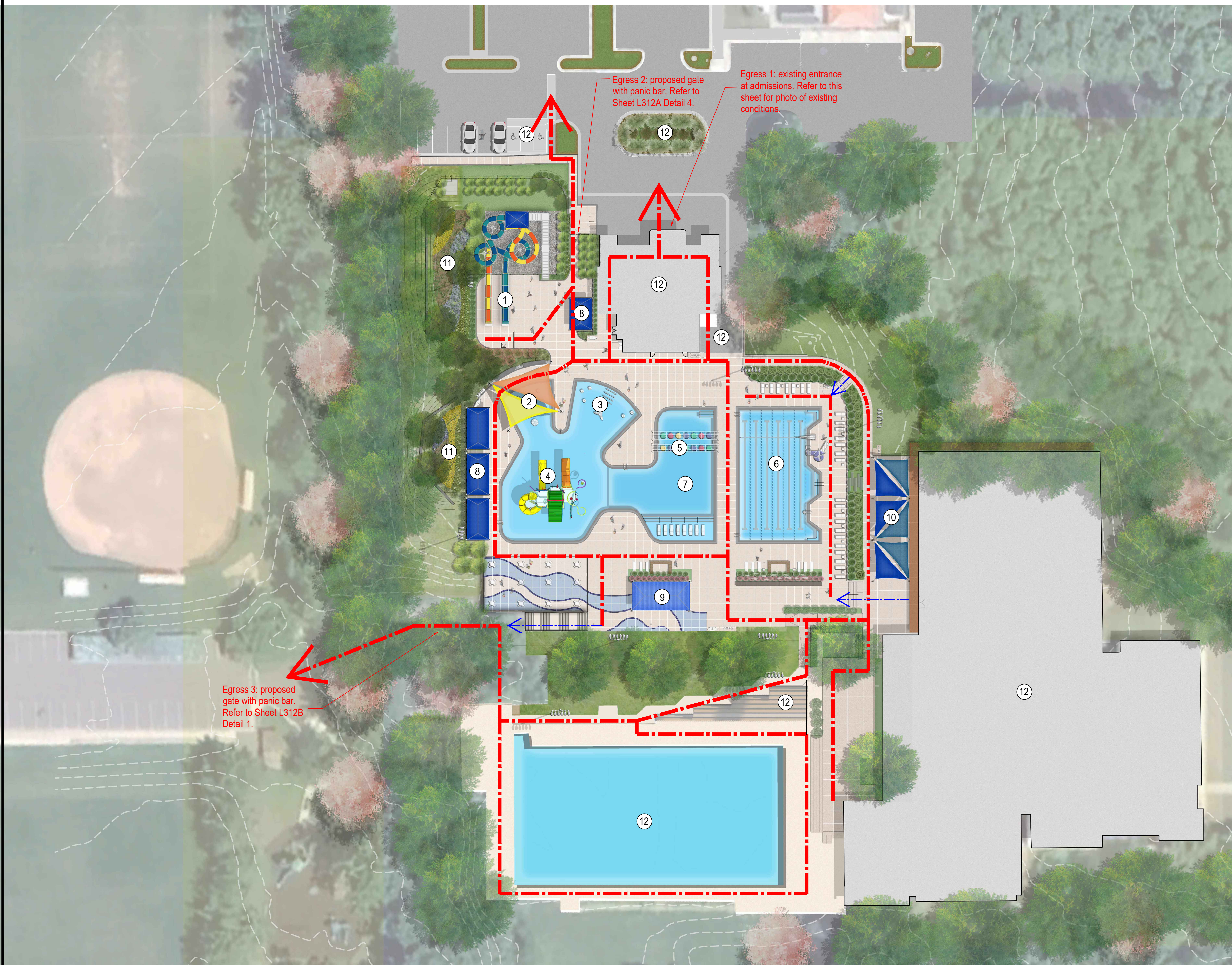


THIS PLAN IS FOR PUBLIC IMPROVEMENTS ONLY

NO.	DESCRIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE
	ADDENDUM #1	JA	03/29/2024		

APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL

<p>DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 MARYLAND AVE. ROCKVILLE, MARYLAND</p>	DESIGNED SL DRAFTED MS CHECKED JA	DESIGN PLAN APPROVAL PWK# 2024-00048 SCP# SMP# REVIEWED BY APPROVAL DATE	AS BUILT PLAN APPROVAL APPROVAL DATE	PWK2024-00048 SANITARY SEWER PLAN AND PROFILE	ROCKVILLE SWIM & FITNESS CENTER OUTDOOR RECREATION POOL RENOVATIONS 355 MARTINS LANE PARCEL 630 Election District No. 4 City of Rockville, Maryland	DATE SUBMITTED: 3/25/2024 SCALE 1"=20' SHEET NO. 2 OF 2 FILE #
	BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION		PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 31168, Expiration Date: 1/12/2025. JASON AZAR NAME		APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL	



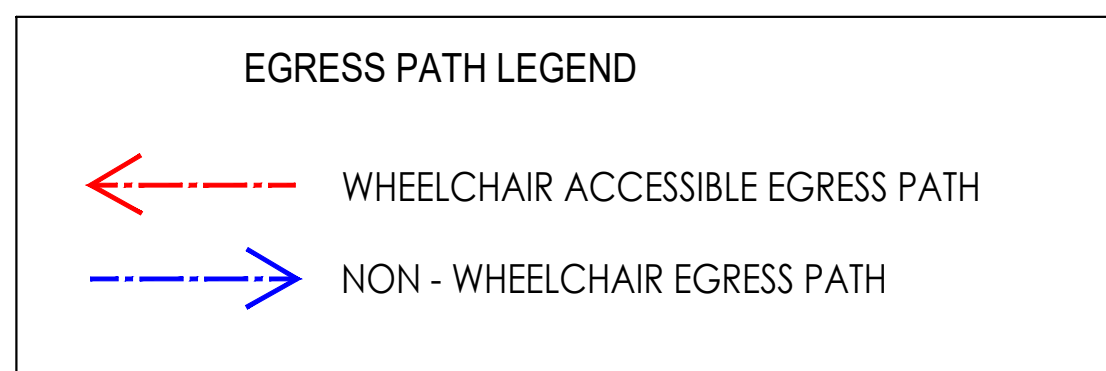
① EGRESS 1

Egress 3: proposed gate with panic bar. Refer to Sheet L312B Detail 1.

Egress 2: proposed gate with panic bar. Refer to Sheet L312A Detail 4.

Egress 1: existing entrance at admissions. Refer to this sheet for photo of existing conditions.

- LEGEND**
- ① RUN-OUT SLIDES
 - ② TOT AREA WITH SHADE
 - ③ BEACH ENTRY WITH BUBBLERS
 - ④ IN-WATER PLAYGROUND
 - ⑤ LILLY PAD CROSSING
 - ⑥ WELLNESS POOL
 - ⑦ ACTIVITY POOL
 - ⑧ SHADE STRUCTURES/PICNIC PAVILIONS
 - ⑨ PICNIC PAVILION
 - ⑩ SHADE SAILS
 - ⑪ BIORETENTION
 - ⑫ EXISTING FACILITIES OUTSIDE LOD



NOTE: FOR EGRESS PLAN DIAGRAM PURPOSE ONLY



LSG LANDSCAPE ARCHITECTURE
 8260 GREENSBORO DRIVE
 SUITE 325
 TYSONS, VIRGINIA 22102
 703-821-2045

PROFESSIONAL CERTIFICATION:
 I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 4140
 EXPIRATION DATE 11/13/2025

ROCKVILLE SWIM & FITNESS CENTER
 355 MARTINS LANE
 ROCKVILLE, MD 20850



DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

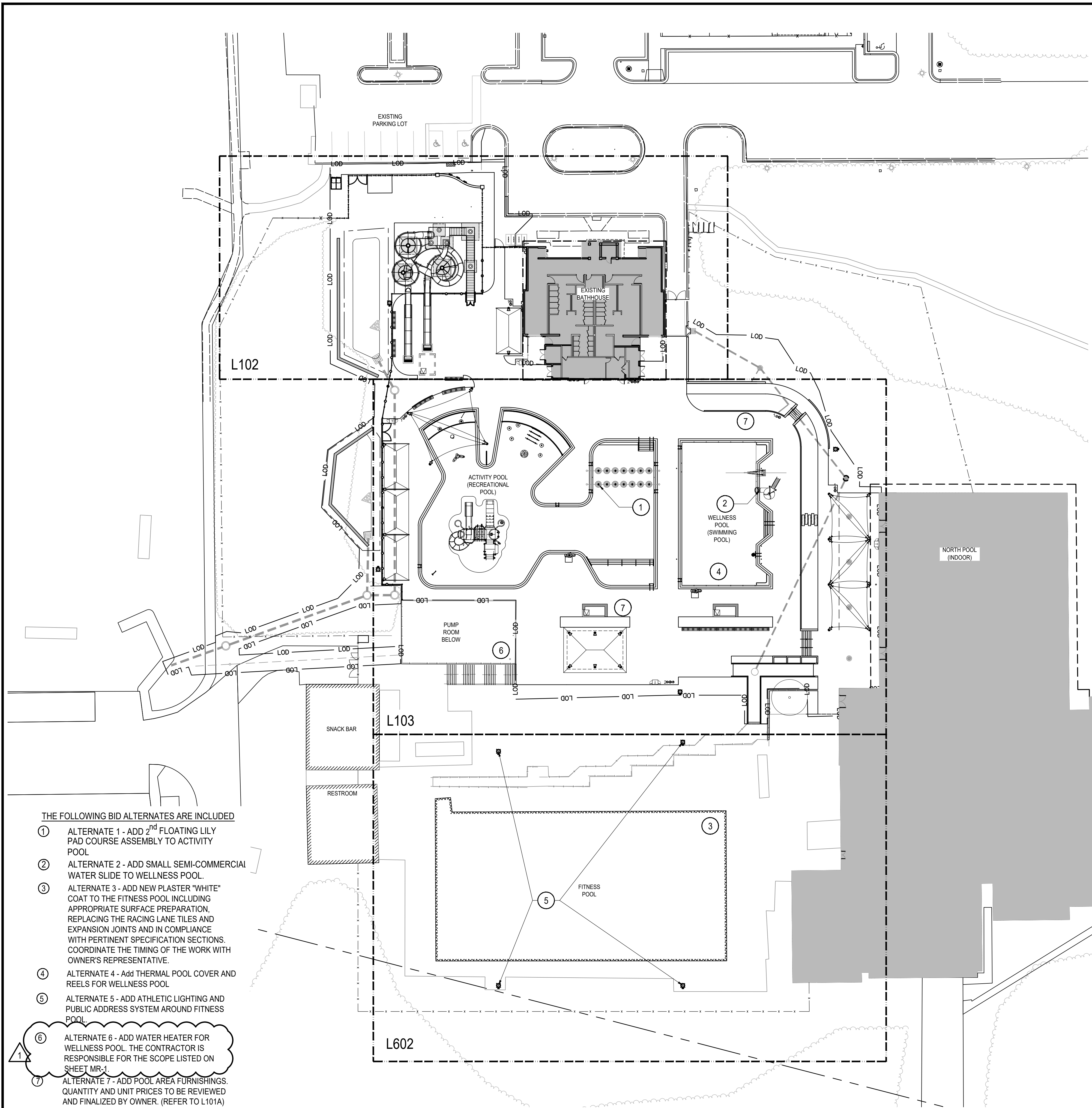
355 MARTINS LANE
 CITY OF ROCKVILLE, MARYLAND

OVERALL SITE PLAN AND EGRESS PATH DIAGRAM

BID SET

1 ADDENDUM 1 03/29/2024

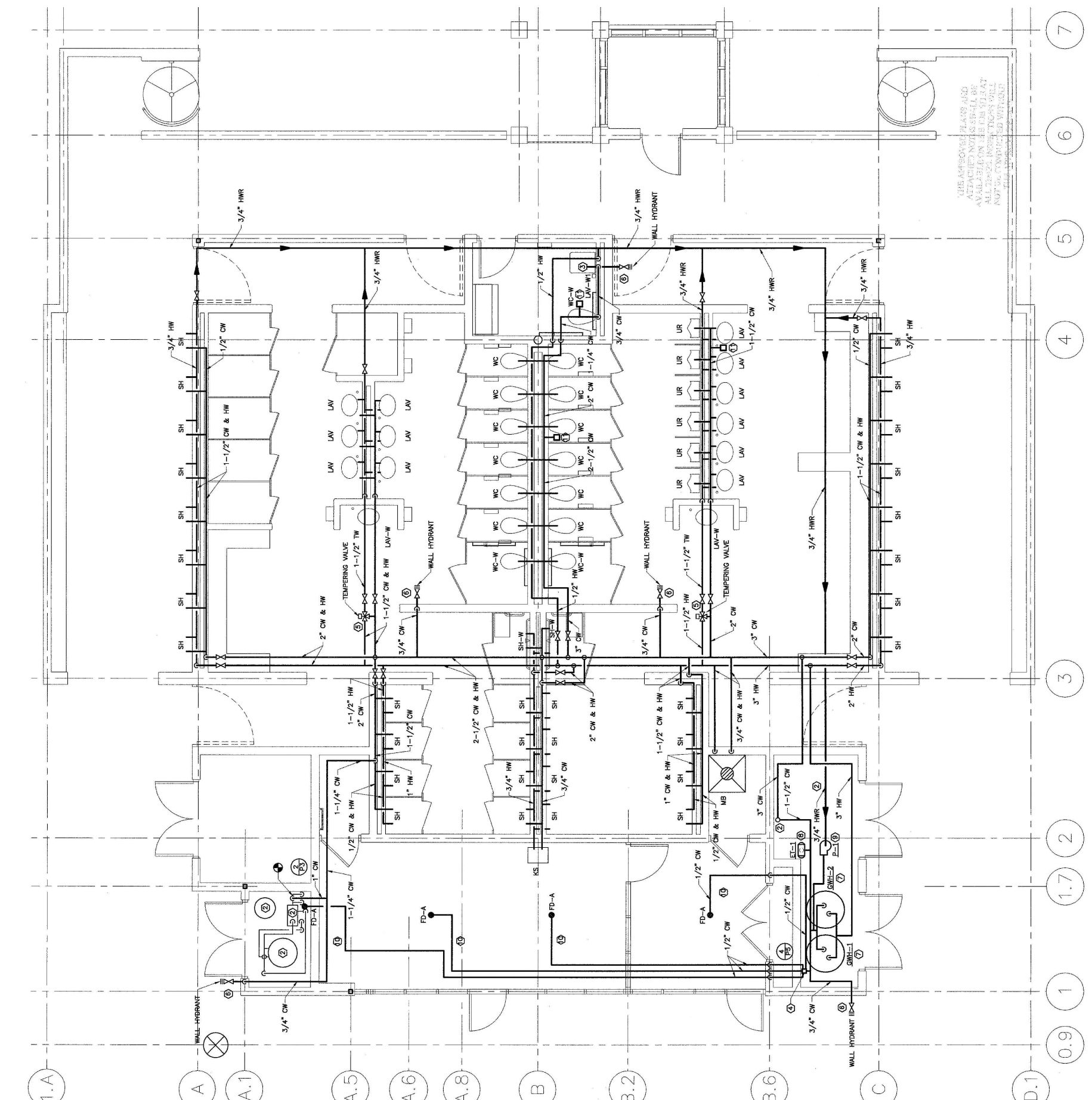
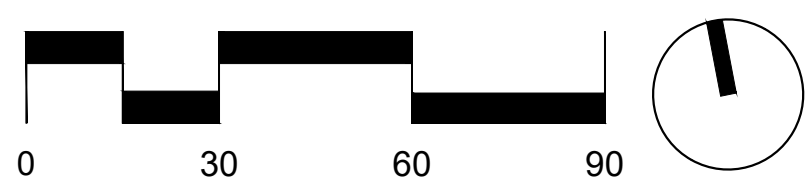
No.	Description	Date
Revisions		
Project Number:	22.00036.00	
Scale:	AS SHOWN	
Drawn By:	AD, HW, BS	
Checked By:	AD	
Date:	01/08/2024	
Sheet No.	L100	



THE FOLLOWING BID ALTERNATES ARE INCLUDED

- ① ALTERNATE 1 - ADD 2nd FLOATING LILY PAD COURSE ASSEMBLY TO ACTIVITY POOL
- ② ALTERNATE 2 - ADD SMALL SEMI-COMMERCIAL WATER SLIDE TO WELLNESS POOL.
- ③ ALTERNATE 3 - ADD NEW PLASTER "WHITE" COAT TO THE FITNESS POOL INCLUDING APPROPRIATE SURFACE PREPARATION, REPLACING THE RACING LANE TILES AND EXPANSION JOINTS AND IN COMPLIANCE WITH PERTINENT SPECIFICATION SECTIONS. COORDINATE THE TIMING OF THE WORK WITH OWNER'S REPRESENTATIVE.
- ④ ALTERNATE 4 - Add THERMAL POOL COVER AND REELS FOR WELLNESS POOL
- ⑤ ALTERNATE 5 - ADD ATHLETIC LIGHTING AND PUBLIC ADDRESS SYSTEM AROUND FITNESS POOL
- ⑥ ALTERNATE 6 - ADD WATER HEATER FOR WELLNESS POOL. THE CONTRACTOR IS RESPONSIBLE FOR THE SCOPE LISTED ON SHEET MR-1
- ⑦ ALTERNATE 7 - ADD POOL AREA FURNISHINGS. QUANTITY AND UNIT PRICES TO BE REVIEWED AND FINALIZED BY OWNER. (REFER TO L101A)

1 REFERENCE PLAN
1" = 30'-0"



2 ENLARGEMENT PLAN: FOR REFERENCE ONLY.
NTS

LEGEND

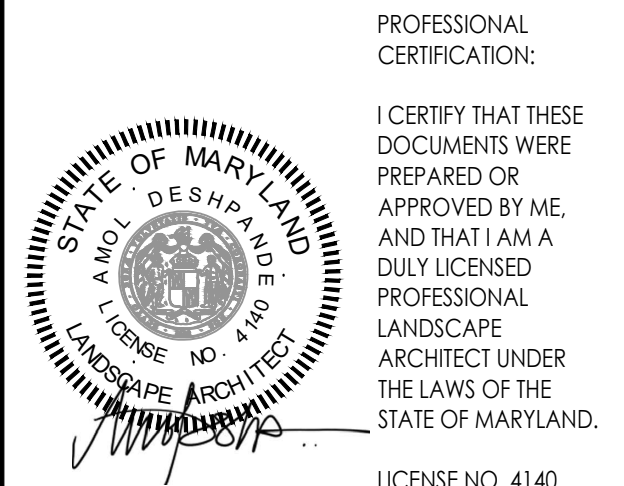
- LOD LIMITS OF DISTURBANCE - TRANSITION TO EXISTING CONDITIONS
- EXISTING CHAIN LINK FENCE
- EXISTING GUARD RAIL
- ③ 7' HIGH L312A PERIMETER FENCE
- ⑤ 4' HIGH L312A POOL FENCE
- ⑥ DRINKING WATER L313 FOUNTAIN TYPE 1
- ⑦ DRINKING WATER L313 FOUNTAIN TYPE 2
- ① BIKE L313 RACK
- ⑤ TRASH & RECYCLING L313 RECEPTACLE
- ① POLE LIGHT WITH GFCI L318 OUTLET
- ② SHADE STRUCTURE L319 LIGHT
- ③ ENTRY SIGN L319 FLOODLIGHT
- SS EXISTING SANITARY SEWER
- W EXISTING WATER
- G EXISTING GAS
- G PROPOSED GAS

NOTES

1. DRINKING WATER FOUNTAIN - PER MONTGOMERY COUNTY REGULATION NO. 22-12 COMCOR SECTION V.I.E. THERE IS A REQUIREMENT FOR 1 DRINKING FOUNTAIN PER 2,500 SF OF WATER SURFACE. THE WATER SURFACE IS 13,514 SF SO THE REQUIRED 6 DRINKING FOUNTAINS HAVE BEEN PROVIDED.
2. FOOT SPRAY - PER MONTGOMERY COUNTY REGULATION NO. 22-12 COMCOR SECTION V.I.E. FOOT SPRAYS HAVE BEEN PROVIDED BETWEEN LAWN AND HARDSCAPE TRANSITIONS.

LSG LANDSCAPE ARCHITECTURE

8260 GREENSBORO DRIVE
SUITE 325
TYSONS, VIRGINIA 22102
703-821-2045



PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 4140
EXPIRATION DATE 11/13/2025

ROCKVILLE SWIM & FITNESS CENTER
355 MARTINS LANE
ROCKVILLE, MD 20850



DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
CITY OF ROCKVILLE, MARYLAND

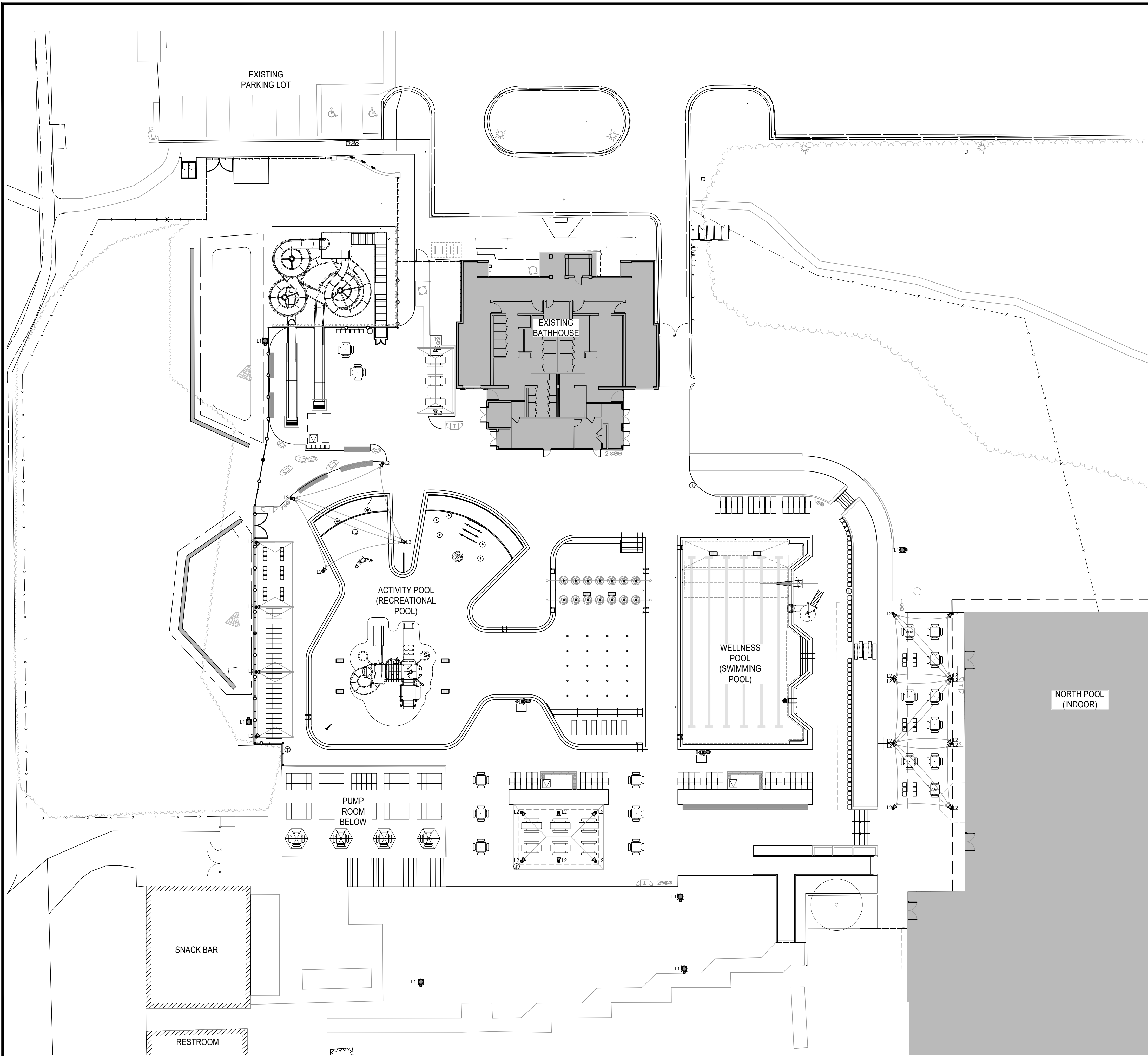
REFERENCE PLAN AND ADD ALTERNATES

BID SET

1 ADDENDUM 1 03/29/2024

No.	Description	Date
Revisions		
Project Number:	22.00036.00	
Scale:	AS SHOWN	
Drawn By:	AD, HW, BS	
Checked By:	AD	
Date:	01/08/2024	
Sheet No.	L101	

NFC



LEGEND

- L312 — LIMITS OF DISTURBANCE - TRANSITION TO EXISTING CONDITIONS
- x - x - EXISTING CHAIN LINK FENCE
- - - - EXISTING GUARD RAIL
- ~~~~~ 4" DIAMETER SCHEDULE 40 IRRIGATION SLEEVE FOR FUTURE USE
- ③ L312A 7' HIGH PERIMETER FENCE
- ⑤ L312A 4' HIGH POOL FENCE
- ⑥ L313 DRINKING WATER FOUNTAIN TYPE 1
- ⑦ L313 DRINKING WATER FOUNTAIN TYPE 2
- ① L313 BIKE RACK
- ⑤ L313 TRASH & RECYCLING RECEPTACLE

ADD ALTERNATE 6

- ⑥A & ⑥B: PICNIC TABLE SHOWN FOR REFERENCE ONLY
- ⑥C: PICNIC TABLE WITH UMBRELLA SHOWN FOR REFERENCE ONLY
- ⑥D: PICNIC TABLE SHOWN FOR REFERENCE ONLY
- ⑥E: CHAISE LOUNGE SHOWN FOR REFERENCE ONLY
- ⑥F: SAND CHAIR SHOWN FOR REFERENCE ONLY
- ⑥G: DINING CHAIR SHOWN FOR REFERENCE ONLY
- ⑥H: IN-WATER CHAISE LOUNGE SHOWN FOR REFERENCE ONLY
- ⑥I: MOVABLE TRASH RECEPTACLE SHOWN FOR REFERENCE ONLY

① L318 POLE LIGHT WITH GFCI OUTLET

② L319 SHADE STRUCTURE LIGHT

③ L319 ENTRY SIGN FLOODLIGHT

- NOTES**
- DRINKING WATER FOUNTAIN - PER MONTGOMERY COUNTY REGULATION NO. 22-12 COMCOR SECTION V.I.E. THERE IS A REQUIREMENT FOR 1 DRINKING FOUNTAIN PER 2,500 ST OF WATER SURFACE. THE WATER SURFACE IS 13,514 SF SO THE REQUIRED 6 DRINKING FOUNTAINS HAVE BEEN PROVIDED.
 - FOOT SPRAY - PER MONTGOMERY COUNTY REGULATION NO. 22-12 COMCOR SECTION V.I.E. FOOT SPRAYS HAVE BEEN PROVIDED BETWEEN LAWN AND HARDSCAPE TRANSITIONS.
 - THE LOCATIONS AND QUANTITIES SHOWN ARE APPROXIMATE. REFER TO SEPARATE DOCUMENT FOR THE ADD ALTERNATIVE MOVABLE FURNITURE QUANTITIES.

LSG LANDSCAPE ARCHITECTURE
 8260 GREENSBORO DRIVE
 SUITE 325
 TYSONS, VIRGINIA 22102
 703-821-2045

PROFESSIONAL CERTIFICATION:

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 4140
 EXPIRATION DATE 11/13/2025

ROCKVILLE SWIM & FITNESS CENTER
 355 MARTINS LANE
 ROCKVILLE, MD 20850



DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
 CITY OF ROCKVILLE, MARYLAND

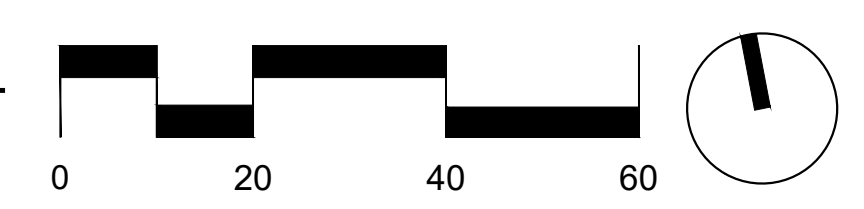
**REFERENCE PLAN:
 ADD ALTERNATE:
 MOVABLE FURNITURE**

BID SET

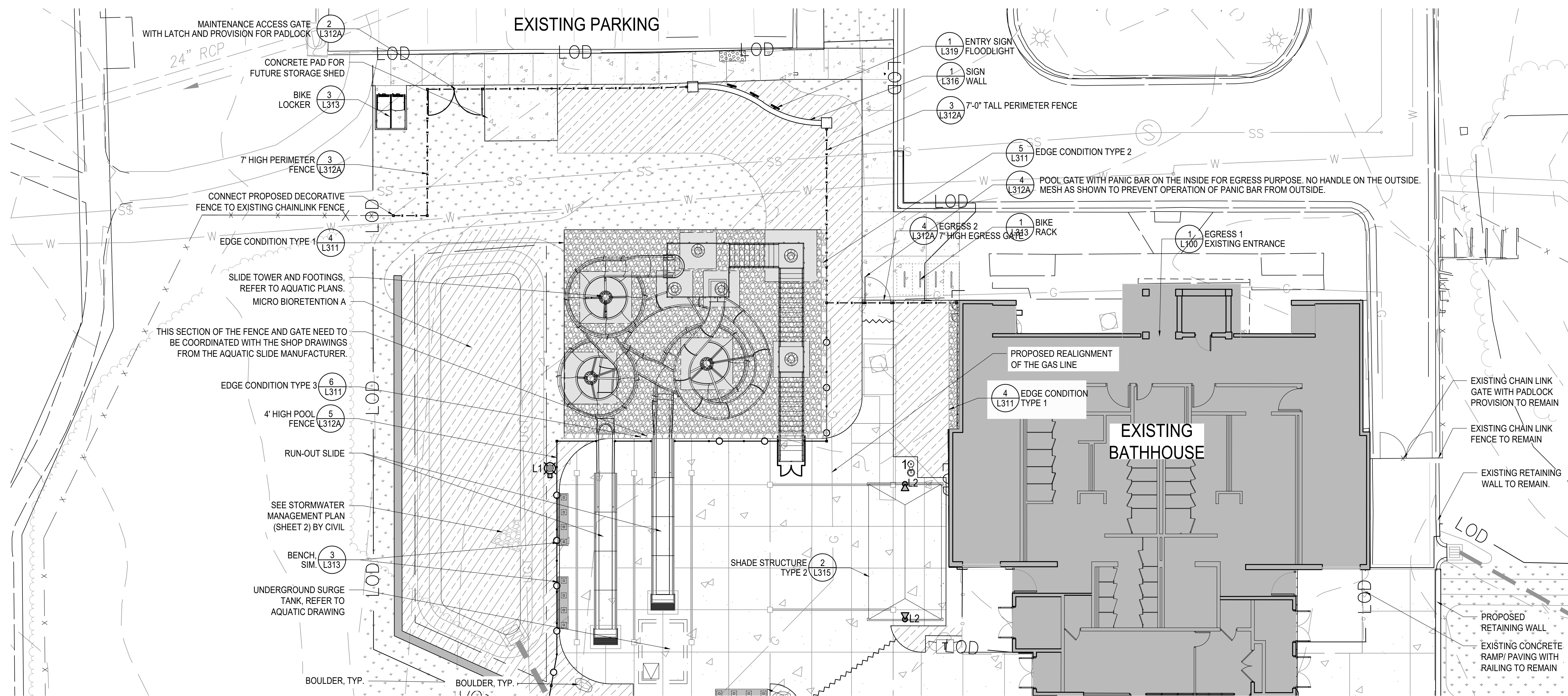
1 ADDENDUM 1 03/29/2024

No.	Description	Date
Revisions		
Project Number:	22.00036.00	
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Checked By:	AD	
Date:	01/08/2024	
Sheet No.	L101A	

1 REFERENCE PLAN
 1" = 20'-0"



NFC

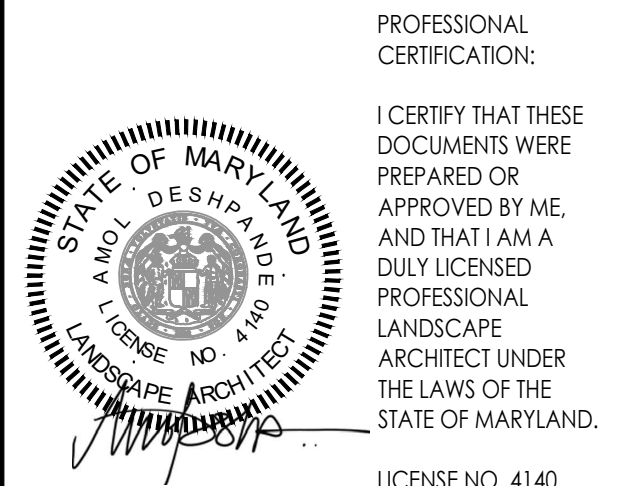


1 ENLARGEMENT PLAN
1" = 10'-0"
0 10 20 30

- LEGEND**
- 1 CONCRETE PAVING (L311)
 - CONCRETE DECKING, REFER TO ADG DRAWINGS
 - CONCRETE PAVING WITH TRAFFIC COATING: COLOR A
 - CONCRETE PAVING WITH TRAFFIC COATING: COLOR B
 - LAWN AREA
 - PLANTING AREA
 - RIVER ROCK 2" TO 3" STONES
 - #57 Stone symbol"/> #57 STONE
 - LIMITS OF DISTURBANCE - TRANSITION TO EXISTING CONDITIONS
 - EXISTING CHAIN LINK FENCE
 - EXISTING GUARD RAIL
 - 7' HIGH PERIMETER FENCE (L312A)
 - 4' HIGH POOL FENCE (L312A)
 - 6 DRINKING WATER FOUNTAIN TYPE 1 (L313)
 - 7 DRINKING WATER FOUNTAIN TYPE 2 (L313)
 - 1 BIKE RACK (L313)
 - 5 TRASH & RECYCLING RECEPTACLE (L313)
 - 1 POLE LIGHT WITH GFCI OUTLET (L318)
 - 2 SHADE STRUCTURE LIGHT (L319)
 - 3 ENTRY SIGN FLOODLIGHT (L319)
 - SS EXISTING SANITARY SEWER
 - W EXISTING WATER
 - G EXISTING GAS
 - G PROPOSED GAS

LSG LANDSCAPE ARCHITECTURE

8260 GREENSBORO DRIVE
SUITE 325
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OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
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ENLARGEMENT PLAN

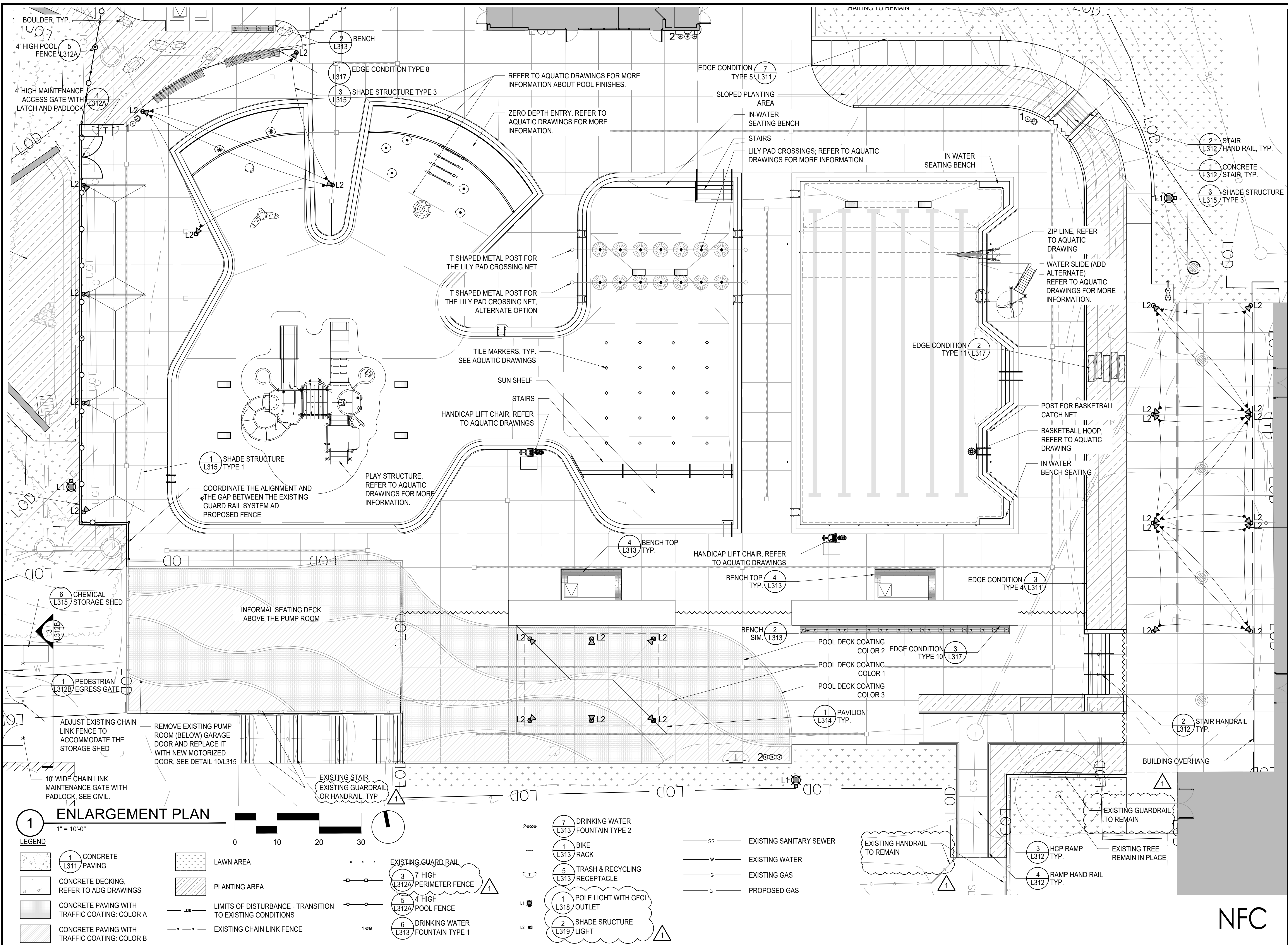
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1 ADDENDUM 1 03/29/2024

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Revisions		
Project Number:	22.00036.00	
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Sheet No. **L102**



LSG LANDSCAPE ARCHITECTURE

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OUTDOOR RECREATION POOL RENOVATIONS

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CITY OF ROCKVILLE, MARYLAND

ENLARGEMENT PLAN

BID SET

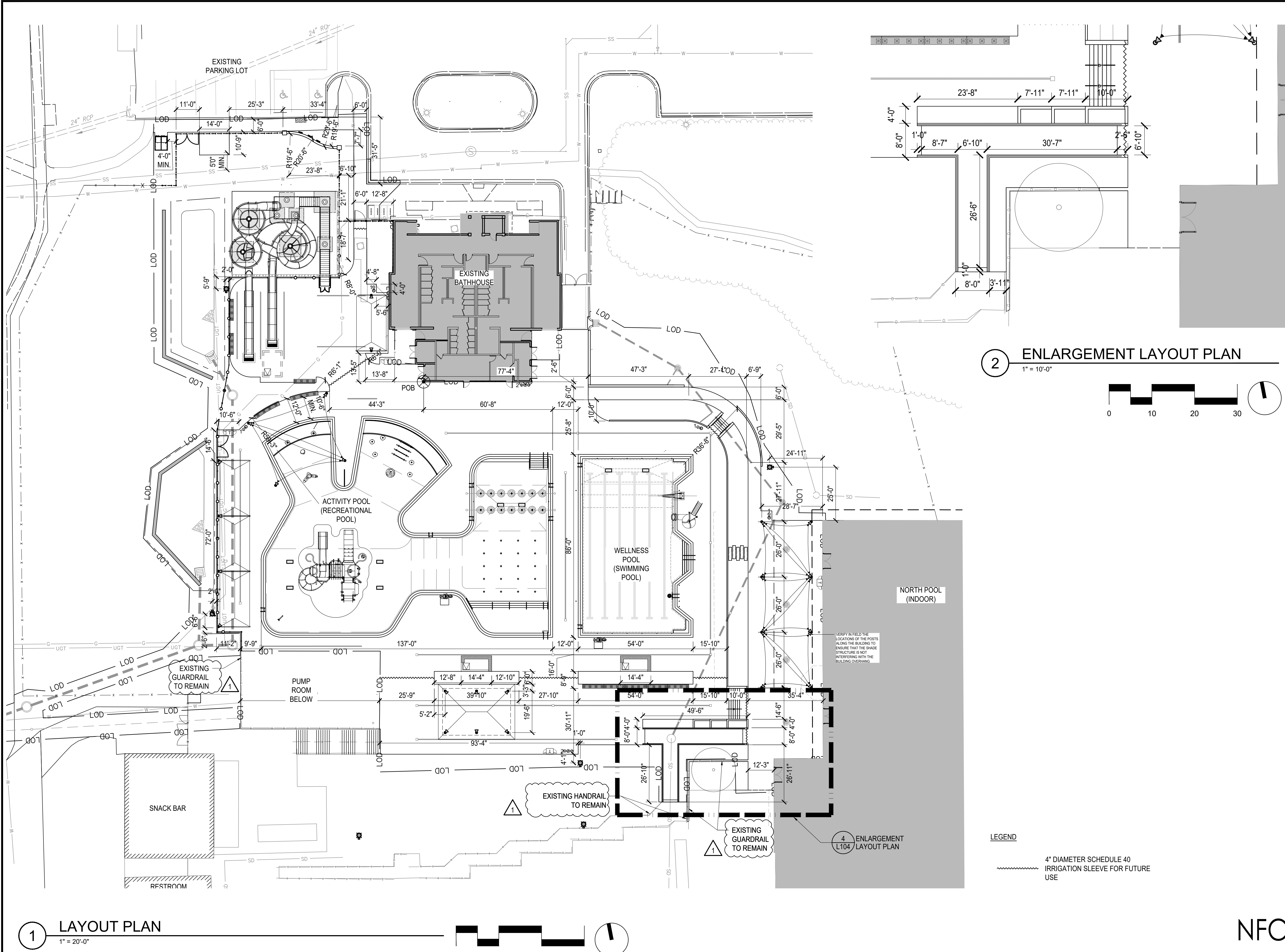
1 ADDENDUM 1 03/29/2024

No.	Description	Date

Project Number: 22.00036.00
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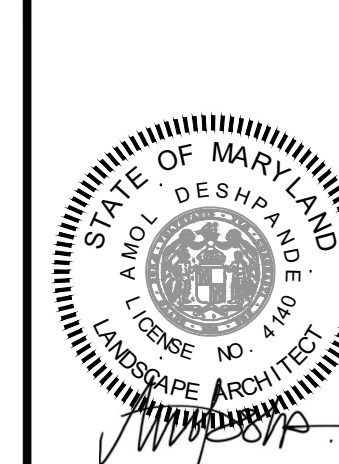
Sheet No. **L103**

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**LSG LANDSCAPE
ARCHITECTURE**

8260 GREENSBORO DRIVE
SUITE 325
TYSONS, VIRGINIA 22102
703-821-2045



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DEPARTMENT OF
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**OUTDOOR
RECREATION POOL
RENOVATIONS**

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**LAYOUT
PLAN**

BID SET

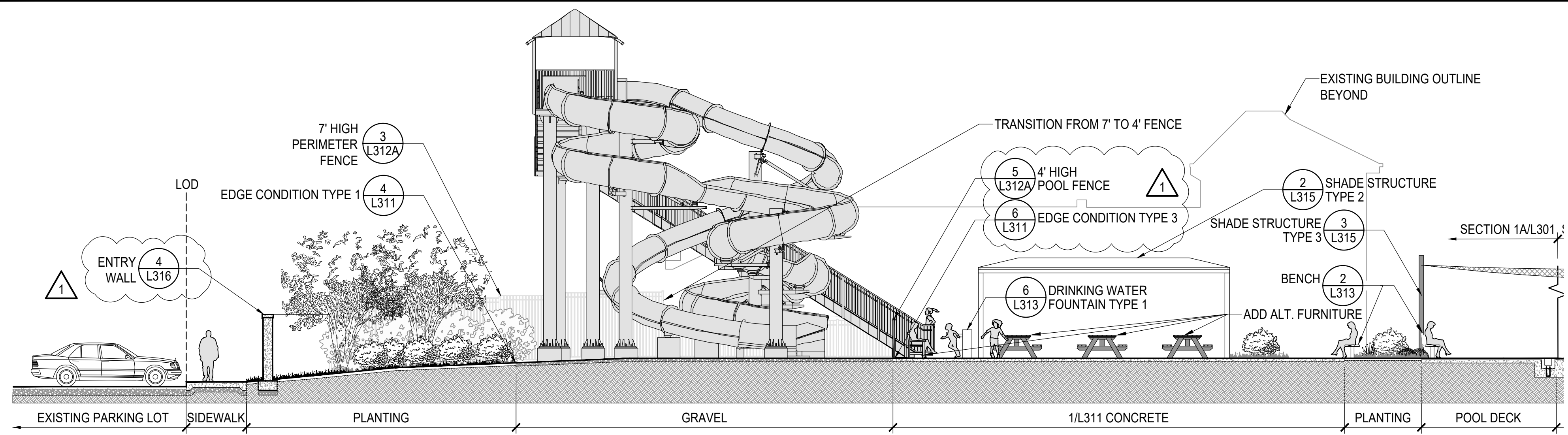
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No.	Description	Date
Revisions		

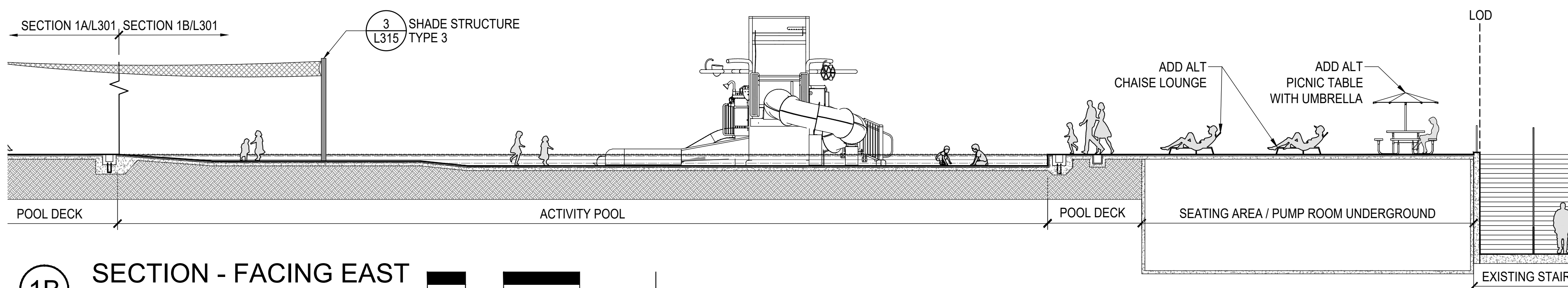
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Scale:	AS SHOWN
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Date:	01/08/2024

Sheet No. **L104**

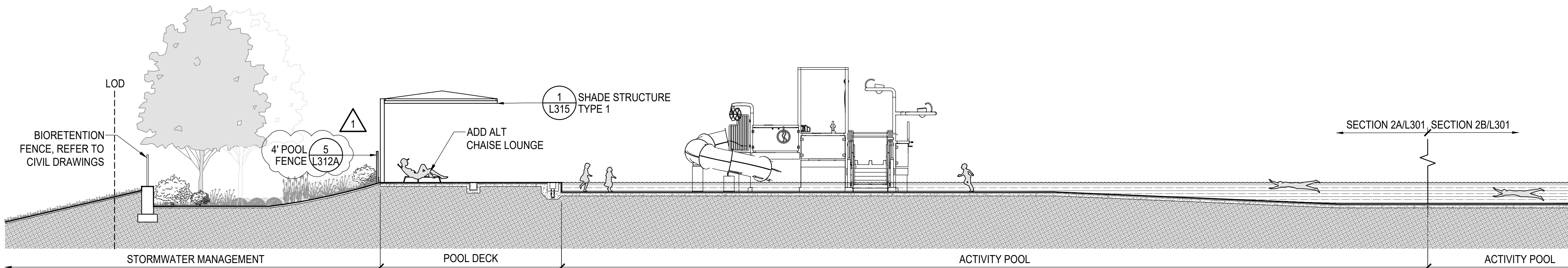
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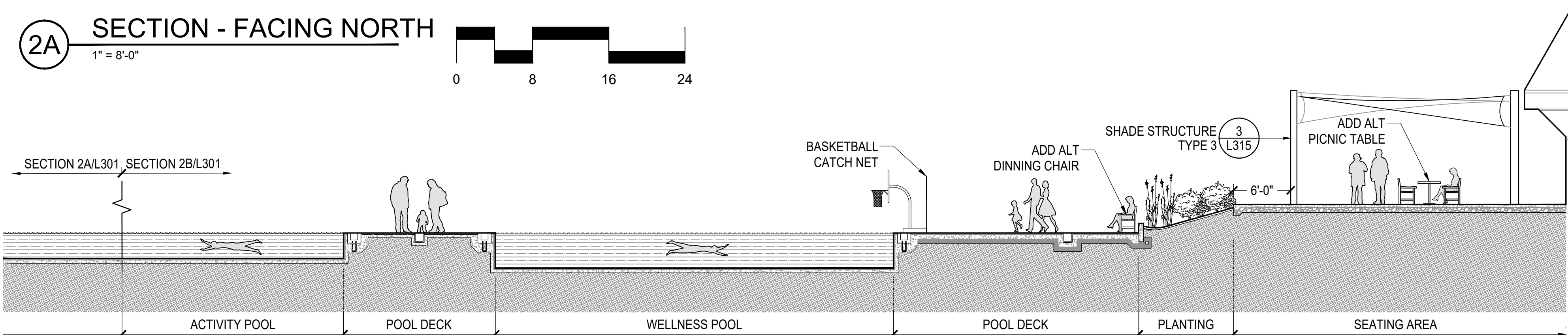
1A SECTION - FACING EAST
1" = 8'-0"
0 8 16 24



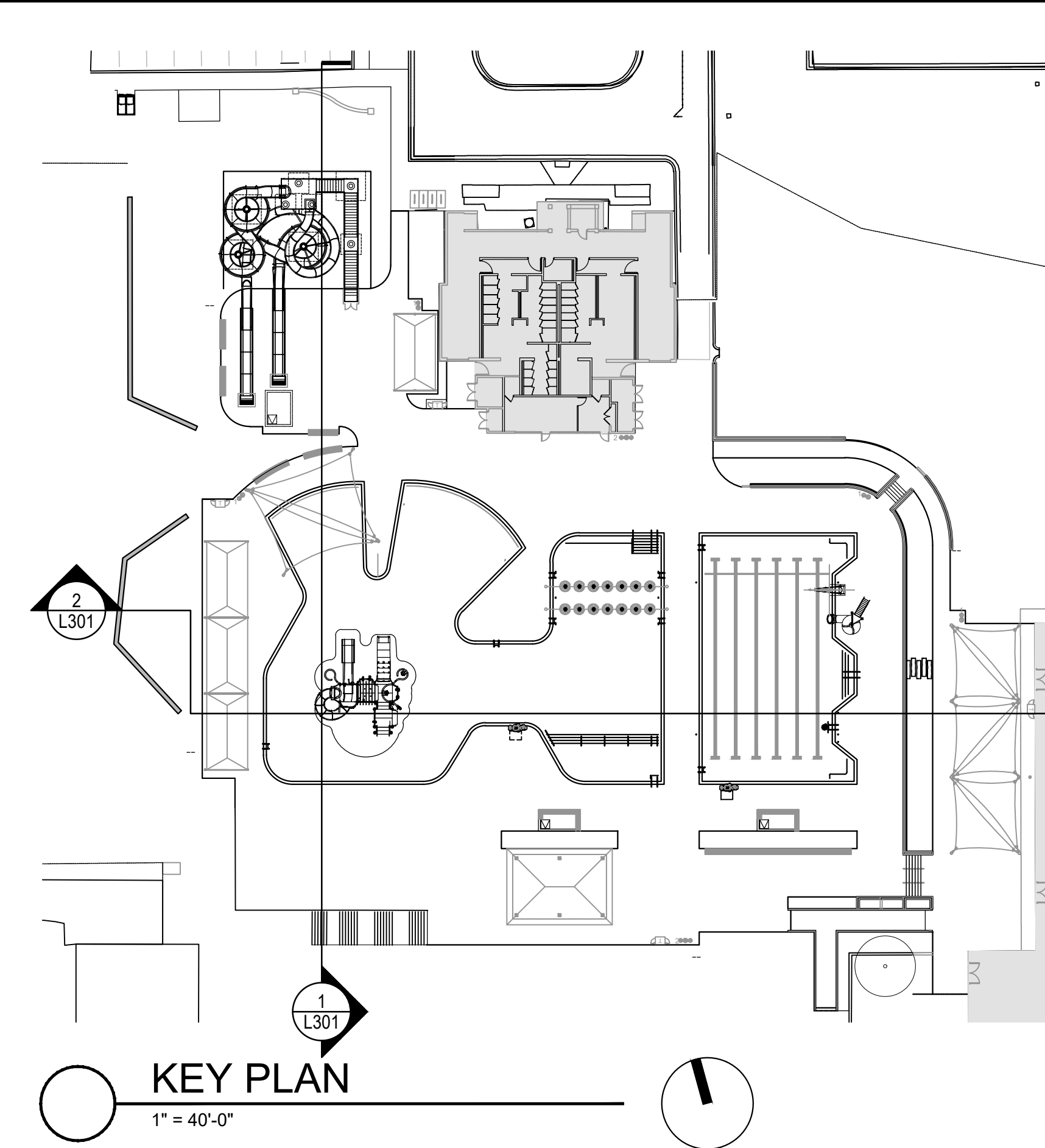
1B SECTION - FACING EAST
1" = 8'-0"
0 8 16 24



2A SECTION - FACING NORTH
1" = 8'-0"
0 8 16 24



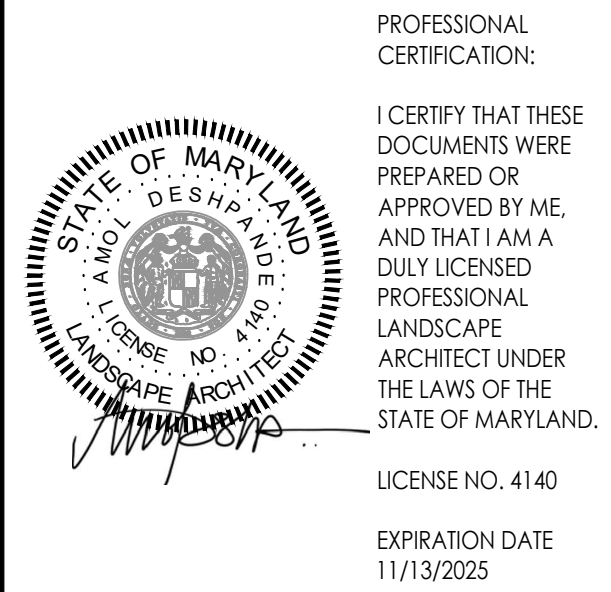
2B SECTION - FACING NORTH
1" = 8'-0"
0 8 16 24



KEY PLAN
1" = 40'-0"

LSG LANDSCAPE ARCHITECTURE

8260 GREENSBORO DRIVE
SUITE 325
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DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
CITY OF ROCKVILLE, MARYLAND

SECTIONS AND ELEVATIONS

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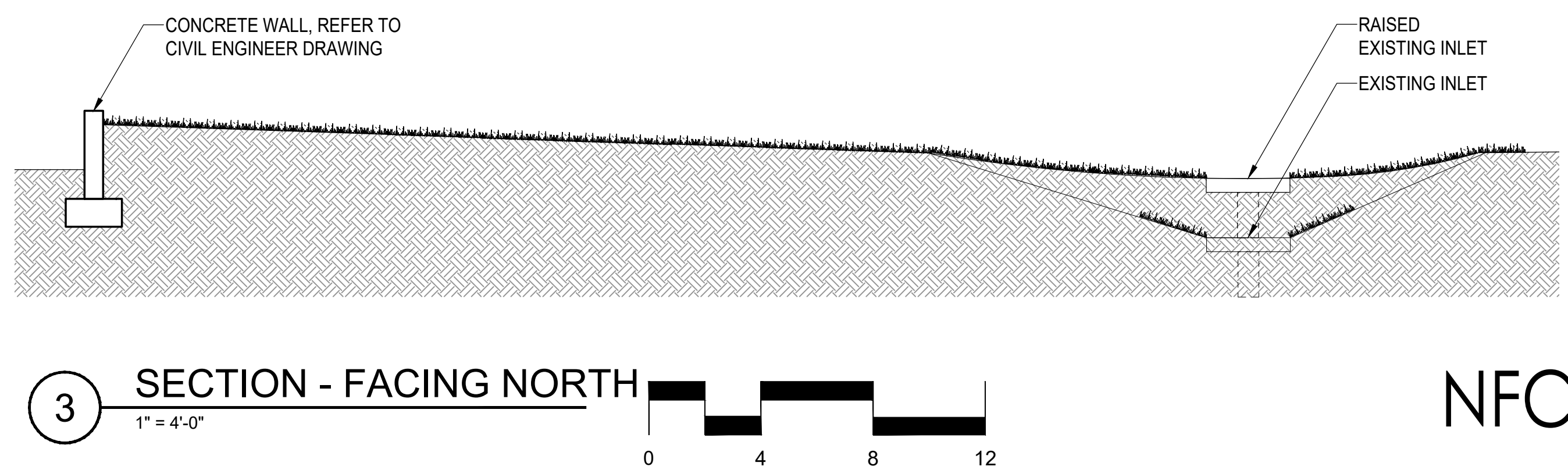
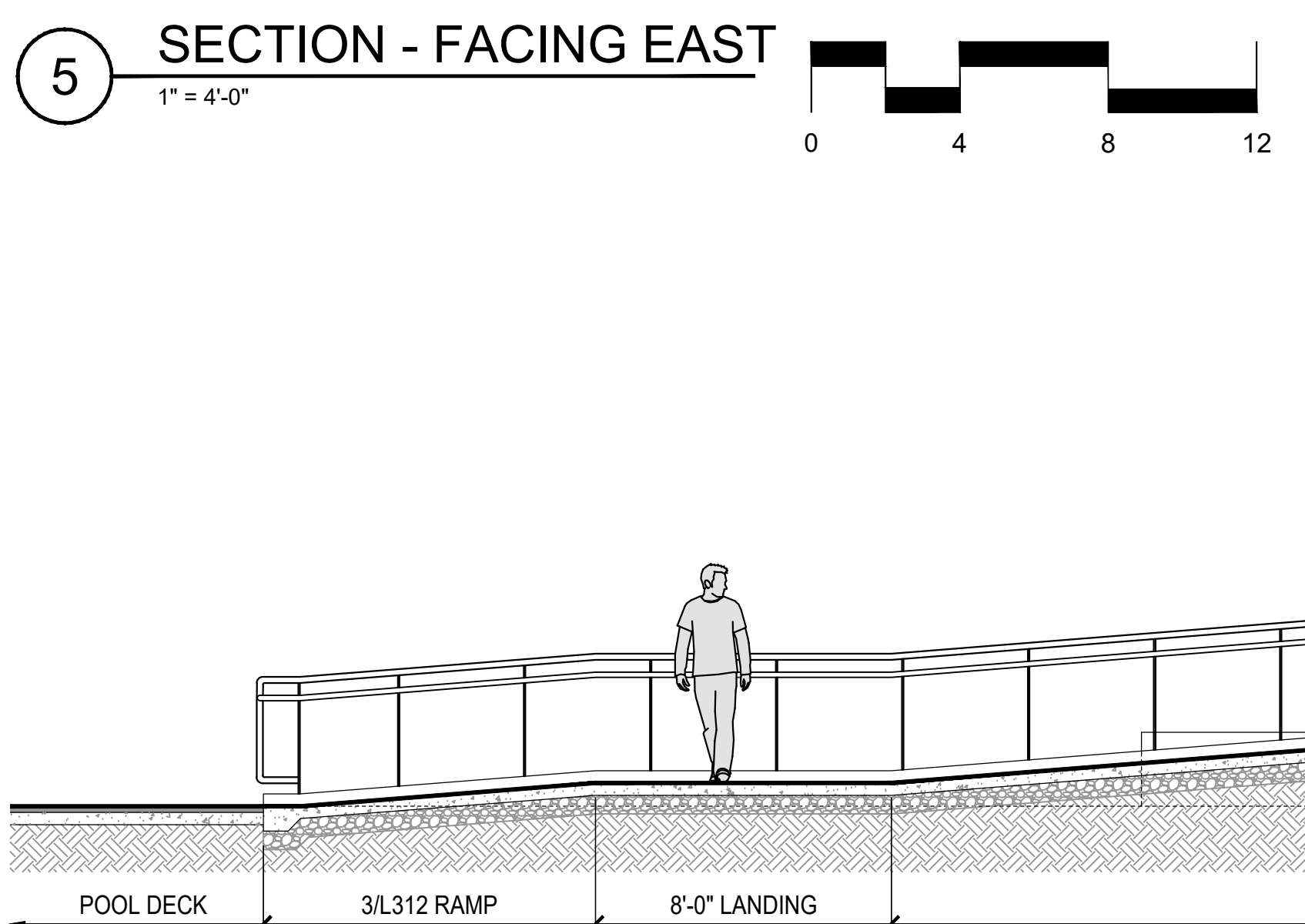
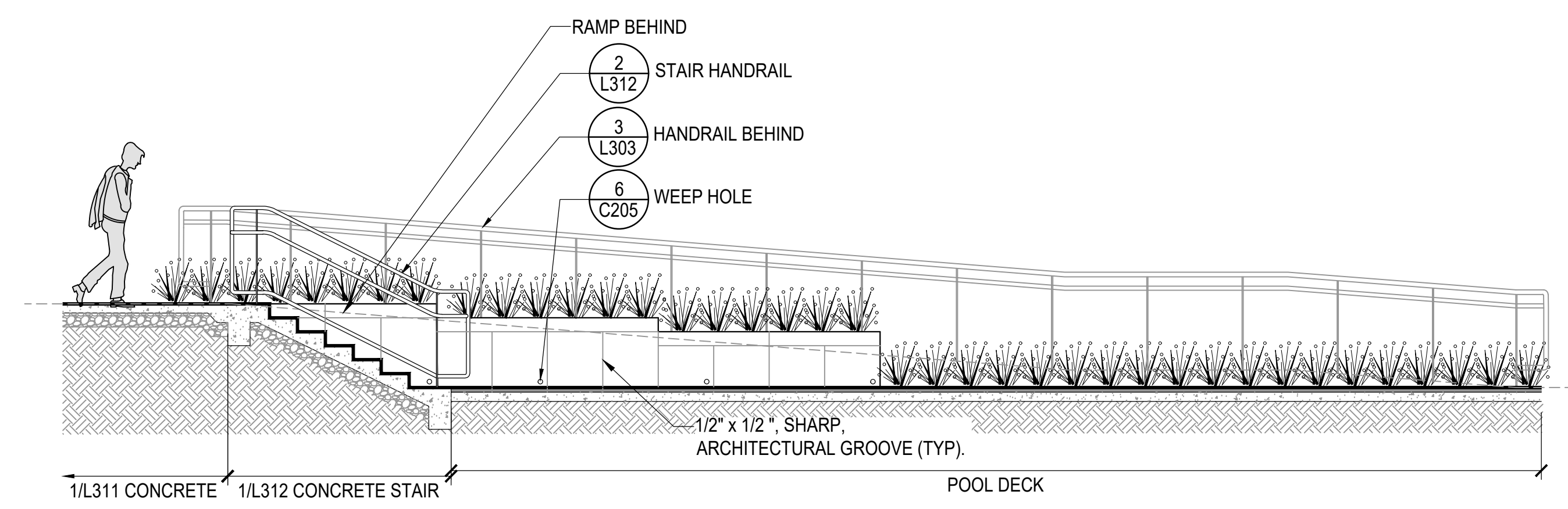
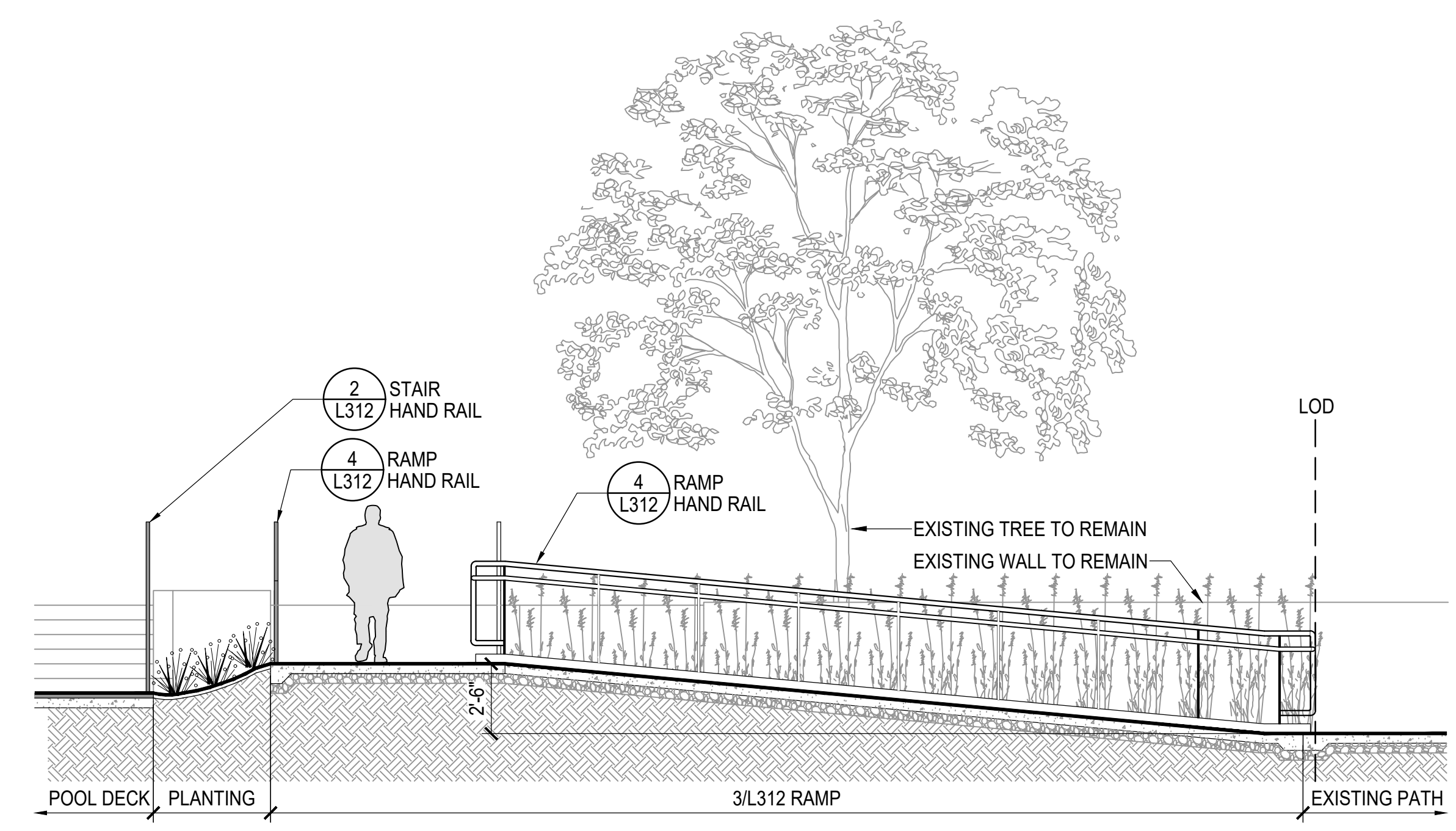
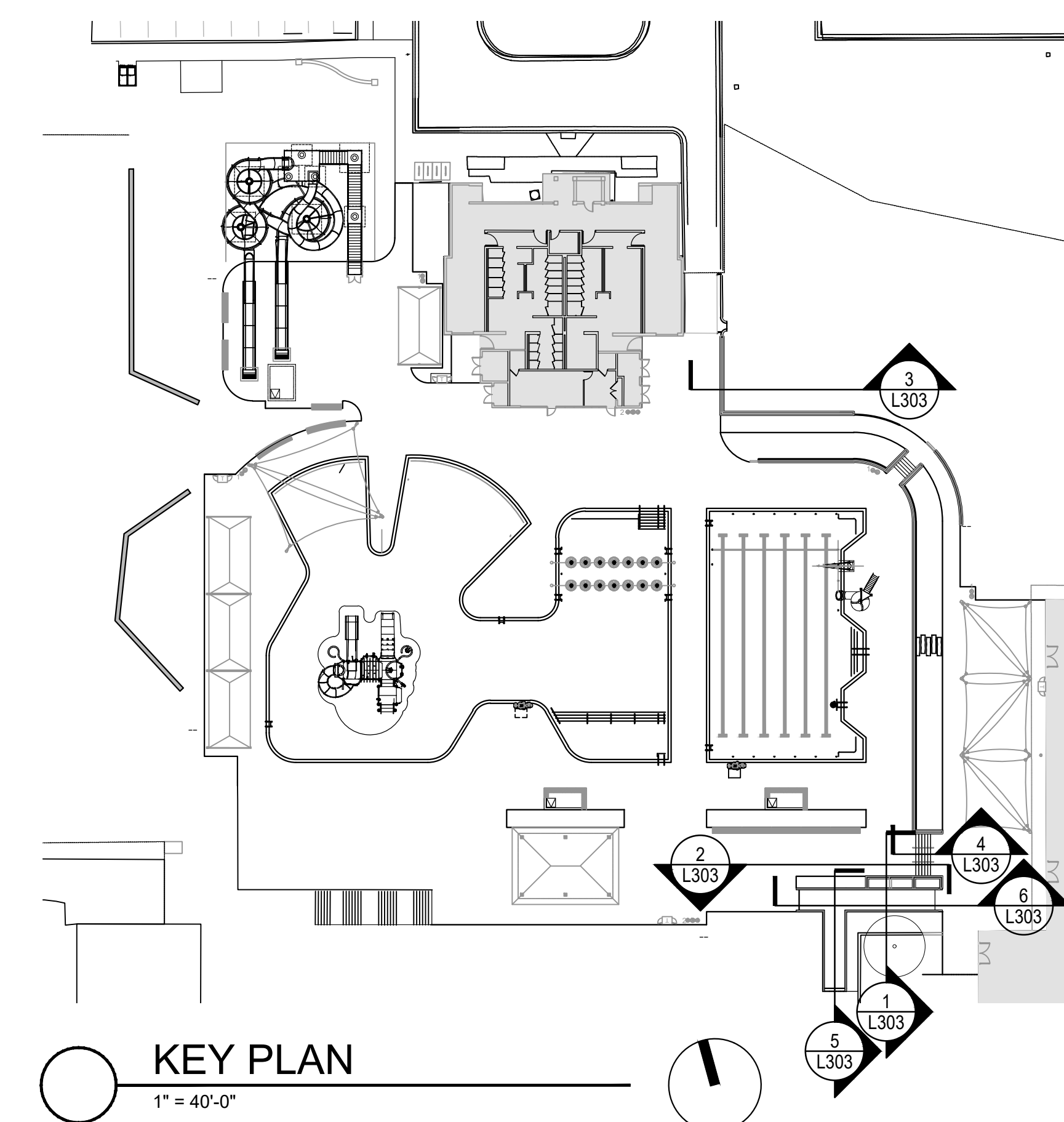
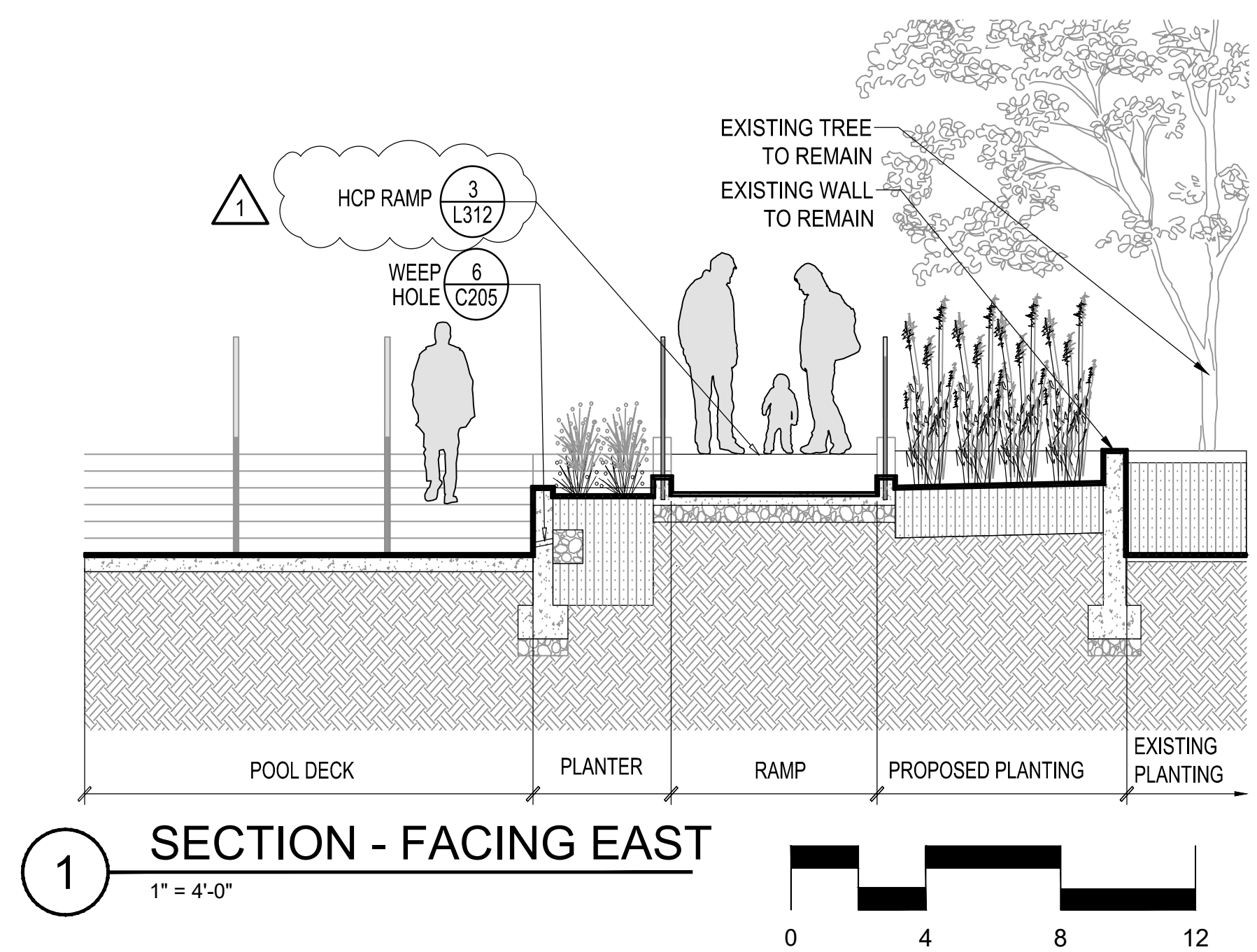
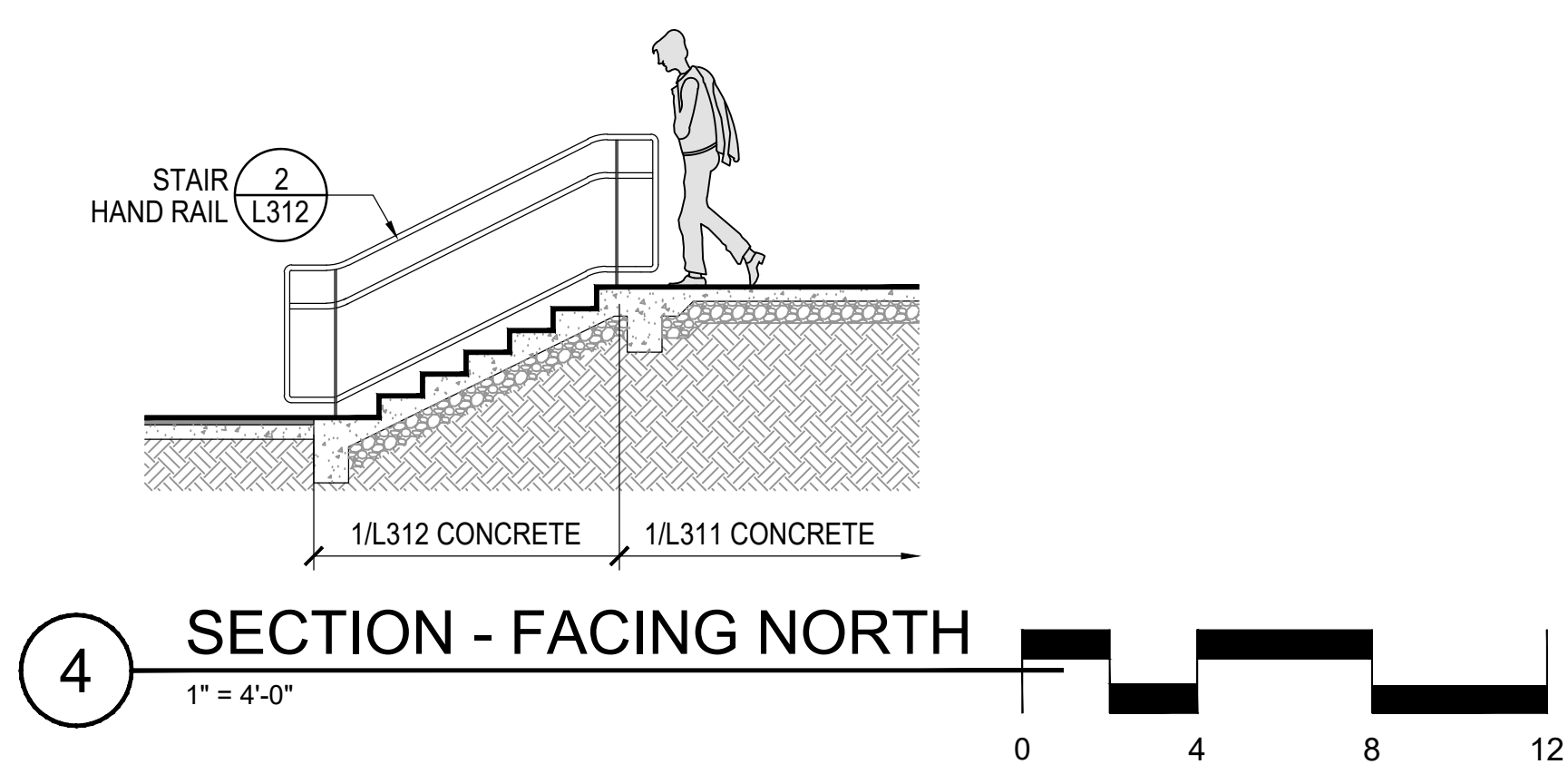
1 ADDENDUM 1 03/29/2024

No.	Description	Date
Revisions		

Project Number: 22.00036.00
Scale: AS SHOWN
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LSG LANDSCAPE ARCHITECTURE
8260 GREENSBORO DRIVE
SUITE 325
TYSONS, VIRGINIA 22102
703-821-2045

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LICENSE NO. 4140
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City of Rockville
Get into it

DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
CITY OF ROCKVILLE, MARYLAND

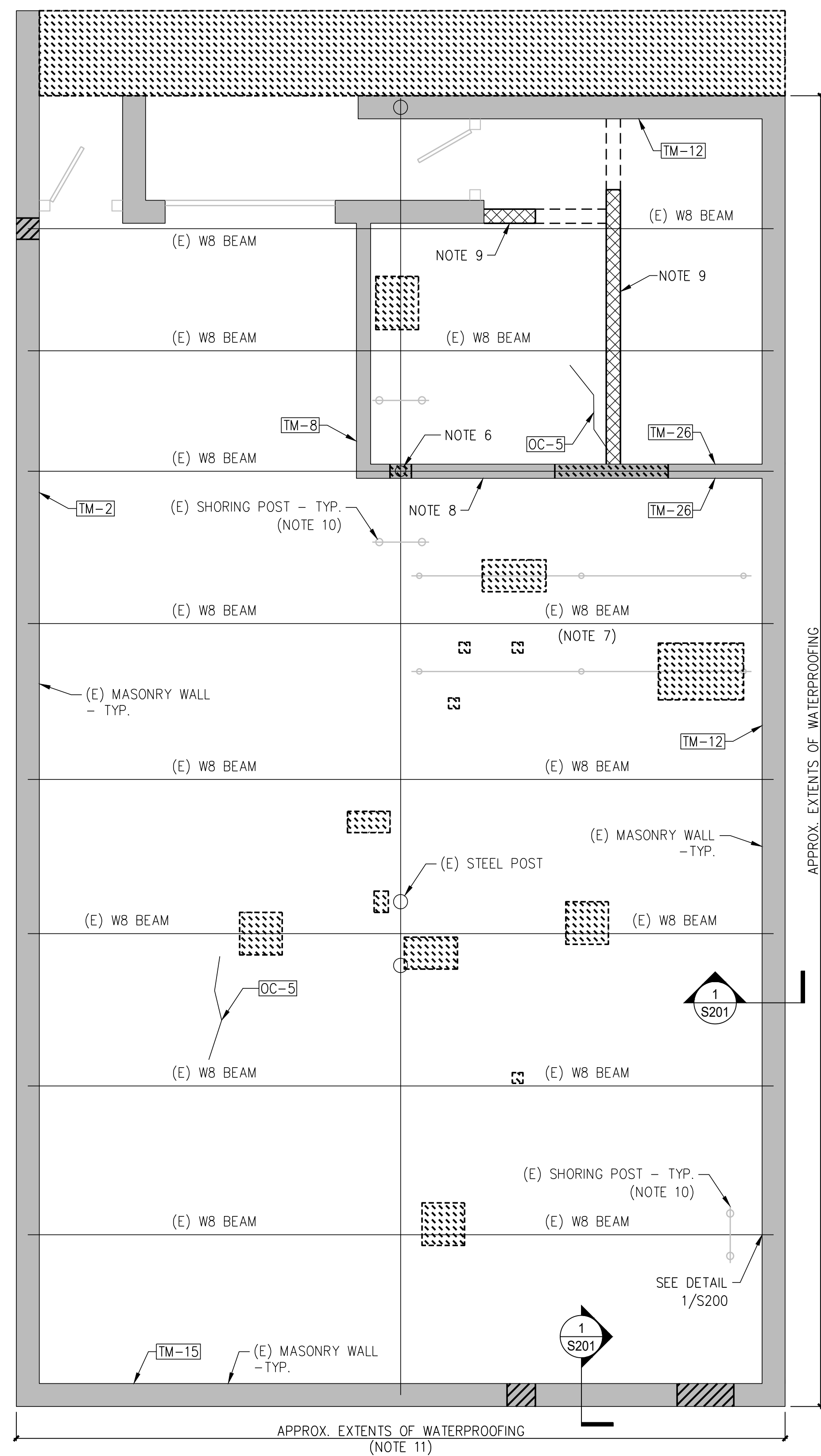
SECTIONS AND ELEVATIONS

BID SET

1 ADDENDUM 1 03/29/2024

No.	Description	Date
Revisions		
Project Number:	22.00036.00	
Scale:	AS SHOWN	
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Date:	01/08/2024	
Sheet No.	L303	

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1 PUMP ROOM SOFFIT REPAIR PLAN

N.T.S.



PLAN NOTES

- 1) U.N.O. THIS LEVEL'S EXISTING STRUCTURE CONSISTS OF ONE-WAY CONCRETE SLAB SUPPORTED BY STEEL BEAMS AND LOAD BEARING MASONRY WALLS - VERIFY IN FIELD.
- 2) REBUILD OR REPOINT ALL DAMAGED CMU OR BRICK MASONRY PER 3/S-201.
- 3) CLEAN AND REMOVE ALL RUST FROM ALL CORRODED MISCELLANEOUS METALS USING WIRE BRUSHING OR ABRASIVE BLASTING. THEN REPAINT WITH GALVANIZING PAINT TO MATCH EXISTING.
- 4) CLEAN AND REMOVE ALL RUST FROM ALL CONDUIT AND DRAIN PIPES (NOT SHOWN FOR CLARITY) ON ALL LEVELS USING WIRE BRUSHING OR ABRASIVE BLASTING. THEN REPAINT WITH GALVANIZING PAINT TO MATCH EXISTING.
- 5) CLEAN AND REMOVE RUST FROM ALL STRUCTURAL STEEL. NOTIFY GPI IF EXCESSIVE SECTION LOSS ENCOUNTERED ON ANY MEMBER. REPAINT WITH GALVANIZING PAINT TO MATCH EXISTING.
- 6) REMOVE AND REPLACE EXISTING STEEL COLUMN WITHIN CMU WALL WITH NEW COLUMN AND BASE PLATE TO MATCH EXISTING. CONTRACTOR IS RESPONSIBLE FOR TEMPORARILY SHORING AND PRELOADING COLUMN - SEE GENERAL NOTES. BUILD BACK CMU WALL TO MATCH EXISTING.
- 7) CLEAN, PRIME, AND PAINT EXISTING W8 MEMBER. NOTIFY GPI IF EXCESSIVE SECTION LOSS ENCOUNTERED ON MEMBER.
- 8) TRUNCATE TOP OF EXISTING INTERIOR CMU WALL TO PROVIDE ISOLATION FROM EXISTING W8 BEAM ABOVE. SEE 4/S201 FOR BRACING TO EXISTING BEAM.
- 9) NEW NON-LOAD BEARING CMU WALL. SEE 5/S-201 FOR TOP OF WALL BRACING.
- 10) REMOVE TEMPORARY SHORING AFTER COMPLETING ALL STEEL REPAIRS.
- 11) IMPROPERLY WATERPROOFED EXISTING MASONRY WALL. EXCAVATE TO FOOTING AND INSTALL WATERPROOFING ON EXTERIOR OF WALL PER 1/S201.
- 12) PAINT ALL EXISTING AND NEW CMU WALLS WITH WHITE, LOW VOC, ACRYLIC PAINT.

2 DRAWING SYMBOL KEY

DENOTES APPROXIMATE AREA* OF CONCRETE SLAB SOFFIT SPALL/DELAMINATION. COMPLETE REPAIRS AS FOLLOWS: **
 ABANDONED BOLT REPAIRS PER 9/S-200
 PARTIAL DEPTH SLAB REPAIRS PER 5/S-200
 FULL DEPTH REPAIRS PER 6/S-200 **

DENOTES APPROXIMATE AREA* OF CMU WALL SPALL/DELAMINATION. COMPLETE REPAIRS AS FOLLOWS: **
 REBUILD CMU WALL ** PER 3/S-201

INDICATES REPAIRS AS FOLLOWS:

SYMBOL X	SYMBOL Y	REPAIR DETAIL
OC:	ROUT/SEAL OPEN CRACKS **	LENGTH OF DAMAGE (ft)* 8/S-200
TM:	REPOINT CMU WALL JOINT **	LENGTH OF DAMAGE (ft)* 3/S-201

* APPROXIMATE EXTENT OF DAMAGE DETECTED - CONTRACTOR IS RESPONSIBLE FOR DETERMINING ACTUAL EXTENT AND LOCATIONS OF REPAIR AREAS IN ACCORDANCE WITH THE SPECIFICATIONS. AREAS SHOWN ARE ONLY FOR REFERENCE AND TO ILLUSTRATE TYPES OF REPAIRS REQUIRED. DEPTH OF REPAIRS SHALL BE ASSUMED TO BE A NOMINAL 3" UNLESS NOTED OTHERWISE. WALL, COLUMN AND PIPE DAMAGE OCCURS BETWEEN PLAN LEVEL AND LEVEL ABOVE UNLESS NOTED.

** REPAIRS MUST MATCH COLOR AND APPEARANCE OF EXISTING CONCRETE/CMU IF THEY OCCUR ON EXTERIOR SURFACES OF BUILDING.

LSG LANDSCAPE ARCHITECTURE

8240 GREENSBORO DRIVE
SUITE 325
TYSONS, VIRGINIA 22102
703-821-2045



Greenman-Pedersen, Inc.

Engineering and Construction Services
3423 Olney Laytonville Road, Suite 6, Olney, MD 20832
301.570.1460 www.gpi.net
Project # 2200393.00
PM: TSS M: RMD E: N/A P: N/A S: TF

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ROCKVILLE, MD 20850



DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
CITY OF ROCKVILLE, MARYLAND

PUMP ROOM REPAIR PLAN

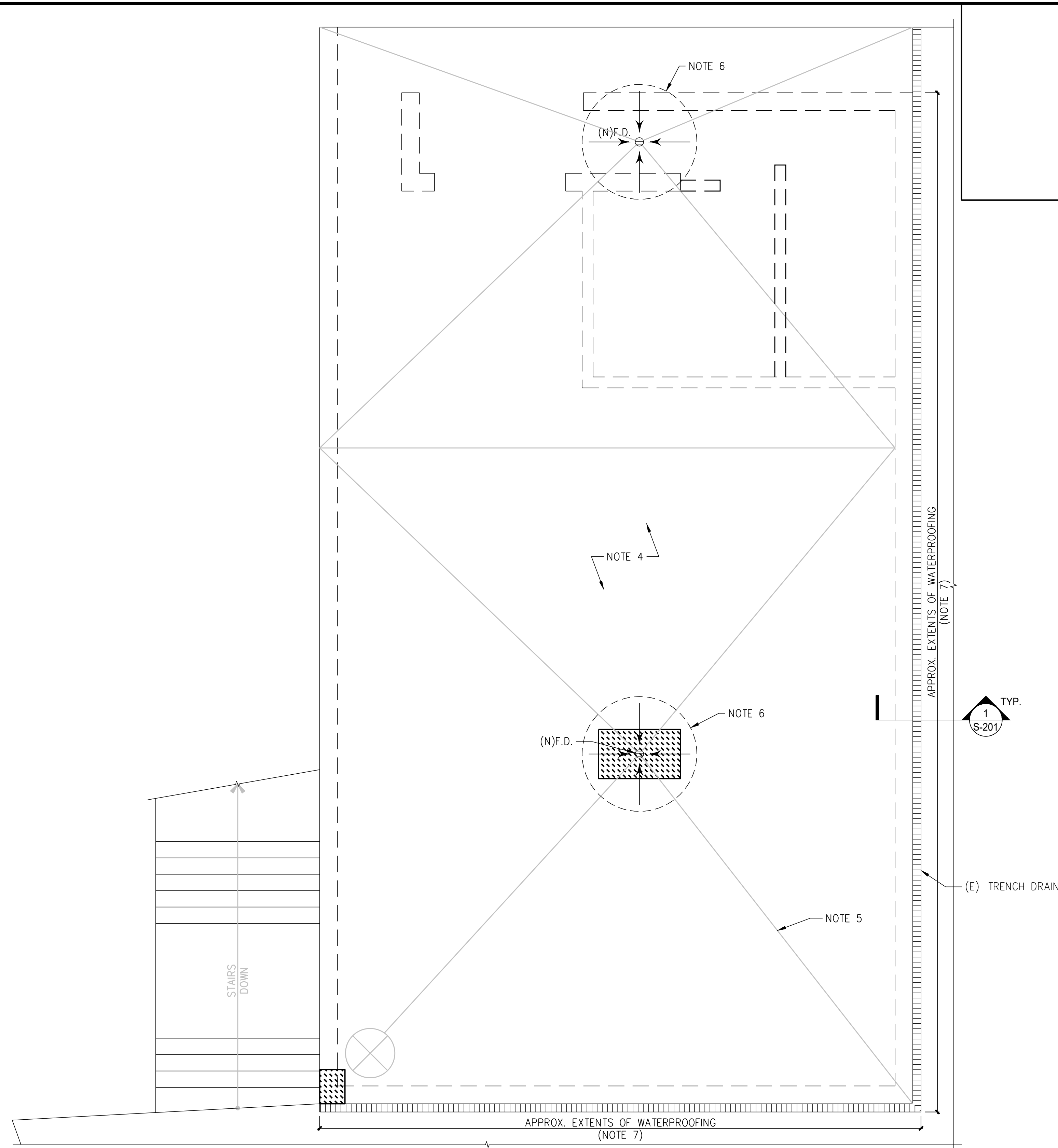
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Project Number: 22.00036.00
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Date: 10/26/2023

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Sheet No. S-100



1 SUNNING DECK REPAIR PLAN
N.T.S.

PLAN NOTES

- 1) U.N.O. THIS LEVEL'S EXISTING STRUCTURE CONSISTS OF ONE-WAY CONCRETE SLAB SUPPORTED BY STEEL BEAMS - VERIFY IN FIELD.
- 2) REBUILD OR REPOINT ALL DAMAGED CMU OR BRICK MASONRY PER MASONRY RESTORATION PER 3/S-201.
- 3) CLEAN AND REMOVE ALL RUST FROM ALL CORRODED MISCELLANEOUS METALS USING WIRE BRUSHING OR ABRASIVE BLASTING. THEN REPAINT WITH GALVANIZING PAINT TO MATCH EXISTING.
- 4) EXISTING CONCRETE SLAB. REPLACE EXISTING COATING MEMBRANE WITH NEW POOL DECK MEMBRANE AFTER COMPLETION OF CONCRETE REPAIRS. SEE LANDSCAPE DRAWINGS FOR COATING MEMBRANE INFORMATION.
- 5) EXISTING SLOPES--TO--DRAIN. CONTRACTOR TO VERIFY SLOPES PROPERLY CONVEY WATER TO DRAINS.
- 6) APPROXIMATE EXTENTS OF SUMP AREA PER DETAIL 2/S201.
- 11) IMPROPERLY WATERPROOFED EXISTING MASONRY WALL. EXCAVATE TO FOOTING AND INSTALL WATERPROOFING ON EXTERIOR OF WALL PER 1/S201.

2 DRAWING SYMBOL KEY

DENOTES APPROXIMATE AREA* OF CONCRETE SLAB, CURB, OR TOPPING SURFACE SPALL/DELAMINATION. COMPLETE REPAIRS AS FOLLOWS: **
 PARTIAL DEPTH SLAB REPAIRS PER 4/S-200
 FULL DEPTH REPAIRS PER 6/S-200
 CURB REPAIRS PER 3/S-200

(N)F.D. DENOTES APPROXIMATE LOCATION* OF EXISTING FLOOR DRAINS TO BE REPLACED PER 2/S201 - CLEAN AND UNCLOG ALL EXISTING PIPING AND TRENCH DRAINS

* APPROXIMATE EXTENT OF DAMAGE DETECTED - CONTRACTOR IS RESPONSIBLE FOR DETERMINING ACTUAL EXTENT AND LOCATIONS OF REPAIR AREAS IN ACCORDANCE WITH THE SPECIFICATIONS. AREAS SHOWN ARE ONLY FOR REFERENCE AND TO ILLUSTRATE TYPES OF REPAIRS REQUIRED. DEPTH OF REPAIRS SHALL BE ASSUMED TO BE A NOMINAL 3" UNLESS NOTED OTHERWISE. WALL, COLUMN AND PIPE DAMAGE OCCURS BETWEEN PLAN LEVEL AND LEVEL ABOVE UNLESS NOTED.

** REPAIRS MUST MATCH COLOR AND APPEARANCE OF EXISTING CONCRETE IF THEY OCCUR ON EXTERIOR SURFACES OF GARAGE.

LSG LANDSCAPE ARCHITECTURE

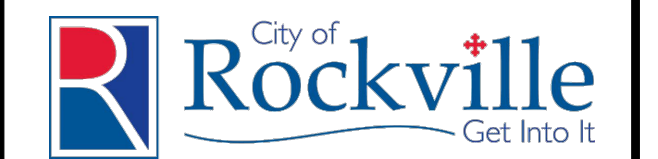
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DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

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SUNNING DECK REPAIR PLAN

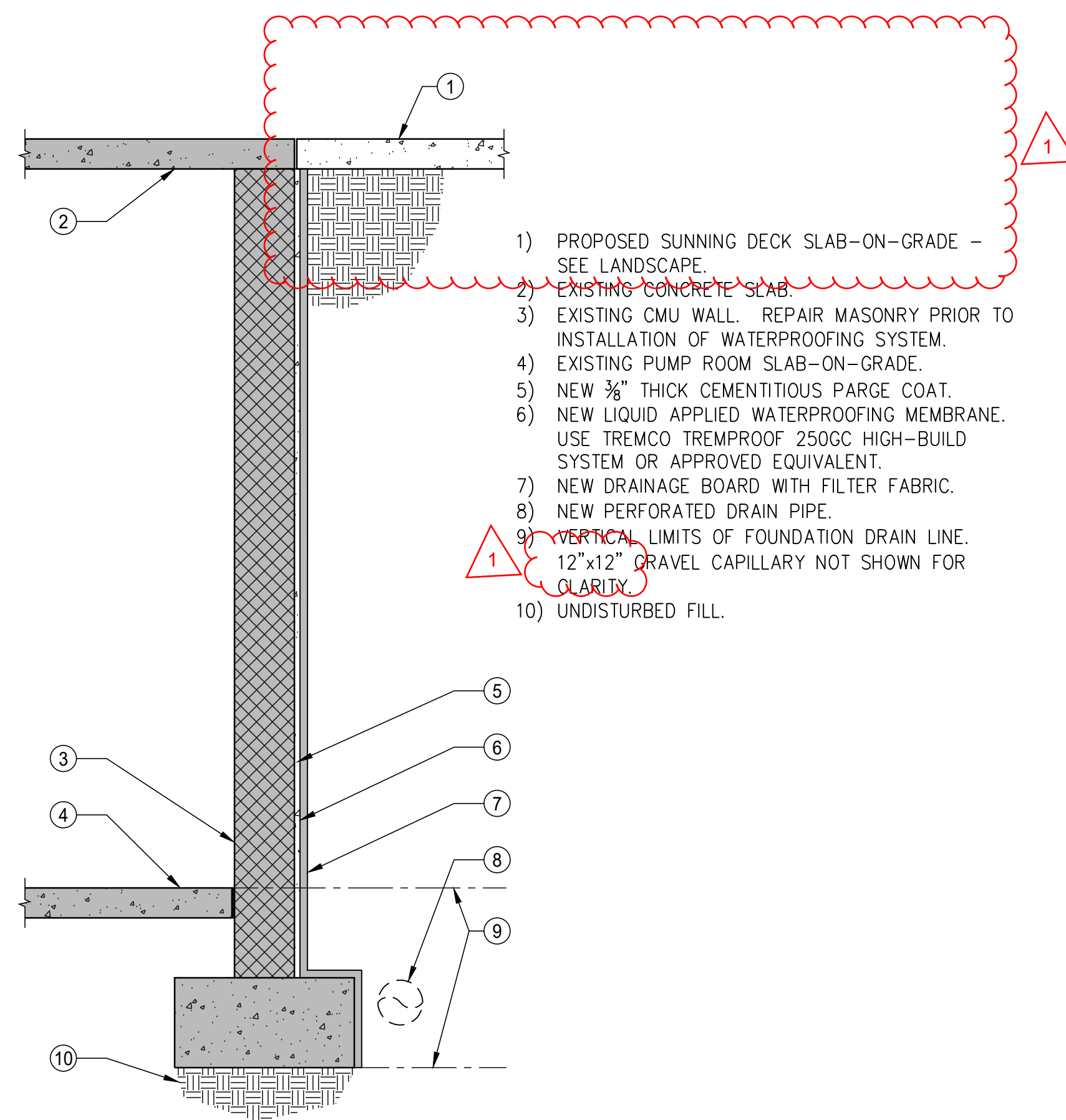
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Revisions		

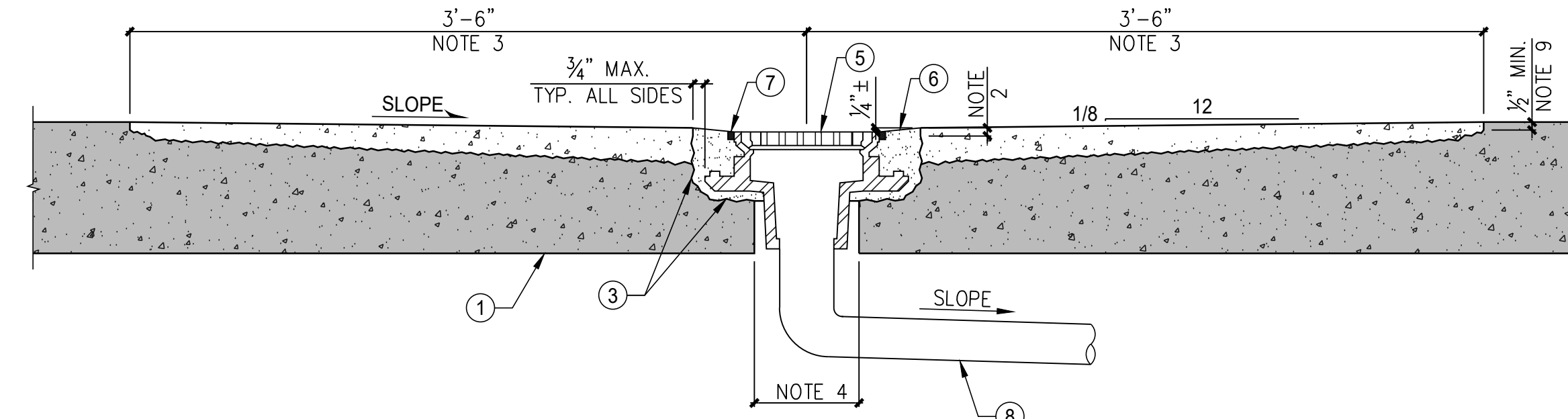
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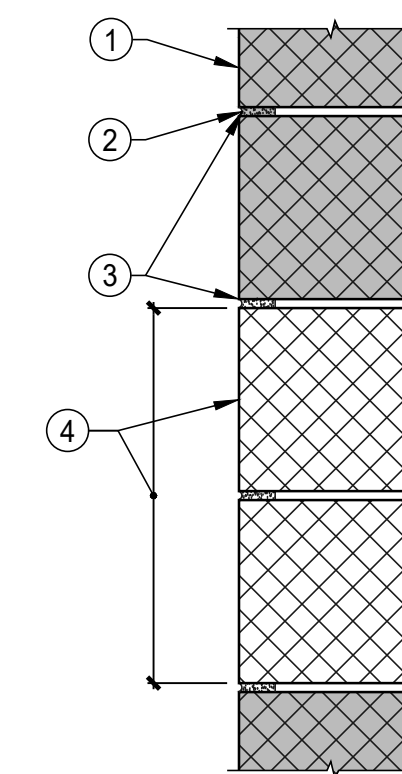
Sheet No. S-101



- 1) PROPOSED SUNNING DECK SLAB-ON-GRADE - SEE LANDSCAPE.
- 2) EXISTING CONCRETE SLAB.
- 3) EXISTING CMU WALL. REPAIR MASONRY PRIOR TO INSTALLATION OF WATERPROOFING SYSTEM.
- 4) EXISTING PUMP ROOM SLAB-ON-GRADE.
- 5) NEW 3/8" THICK CEMENTITIOUS PARGE COAT.
- 6) NEW LIQUID APPLIED WATERPROOFING MEMBRANE. USE TREMCO TREMPROOF 250GC HIGH-BUILD SYSTEM OR APPROVED EQUIVALENT.
- 7) NEW DRAINAGE BOARD WITH FILTER FABRIC.
- 8) NEW PERFORATED DRAIN PIPE.
- 9) VERTICAL LIMITS OF FOUNDATION DRAIN LINE. 12"x12" GRAVEL CAPILLARY NOT SHOWN FOR CLARITY.
- 10) UNDISTURBED FILL.



- 1) EXISTING CONCRETE SLAB. GPR MINIMUM 2 FT RADIUS AROUND ANTICIPATED NEW DRAIN LOCATION PRIOR TO CHIPPING TO AVOID DAMAGING REINFORCING STEEL.
- 2) COREDRILL, OR SAWCUT, PERIMETER OF RECESS TO RECEIVE DRAIN TO 1/2" DEPTH.
- 3) CHIP OUT CONCRETE TO RECEIVE DRAIN BODY AND SUMP SURROUNDING AREA. DO NOT CUT EXISTING REINFORCING STEEL.
- 4) CORE DRILL BOTTOM OF RECESS USING MINIMUM SIZE CORE TO RECEIVE DRAIN HUB. SEAL AROUND HUB PRIOR TO FILLING RECESS WITH CONCRETE.
- 5) JOSAM 31104 (OR EQUAL) DRAIN.
- 6) SET DRAIN IN PLACE SLIGHTLY LOWER THAN SLAB SURFACE AND FILL RECESS WITH CONCRETE. SLOPE TOP OF CONCRETE DOWN TO DRAIN.
- 7) TOOL RECESS AROUND DRAIN AND FILL WITH SEALANT.
- 8) INSTALL PIPING TO CONNECT DRAIN TO EXISTING DRAINING PIPING SYSTEM OR DAYLIGHT TO NEAREST ACCEPTABLE LOCATION AS DETERMINED BY THE ENGINEER.
- 9) SAW CUT PERIMETER OF SUMP 1/2" MIN. - TYP.

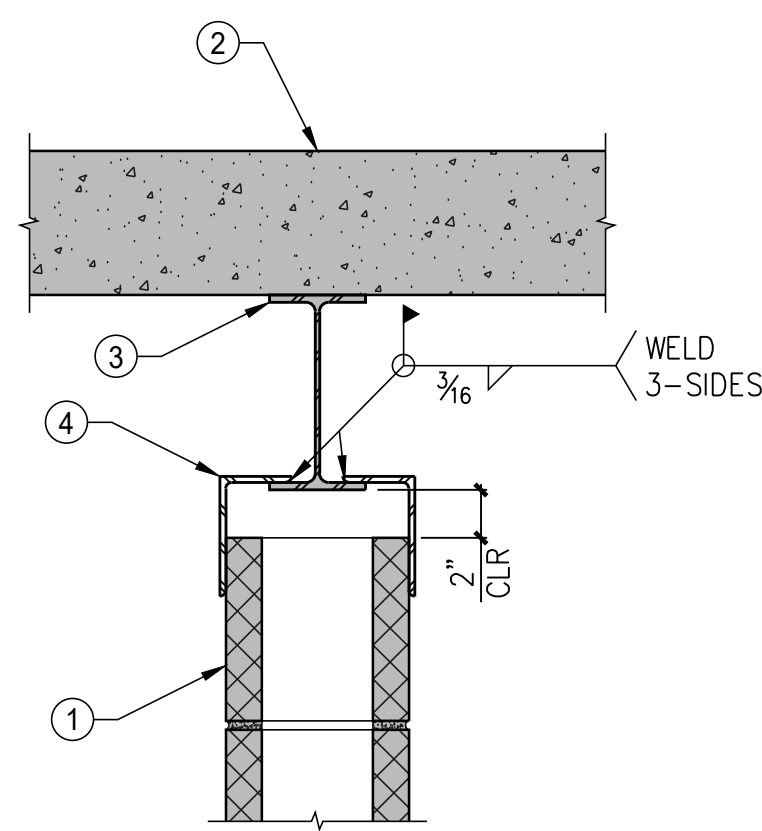


- 1) EXISTING CMU - TYPICAL.
- 2) EXISTING MORTAR JOINTS.
- 3) RAKE OUT AND REPOINT CRACKED, ERODED OR SOFT MORTAR.
- 4) RESET LOOSE CMU, OR CUT OUT AND REPLACE DAMAGED OR BUCKLED CMU WITH NEW MORTAR ALL AROUND.

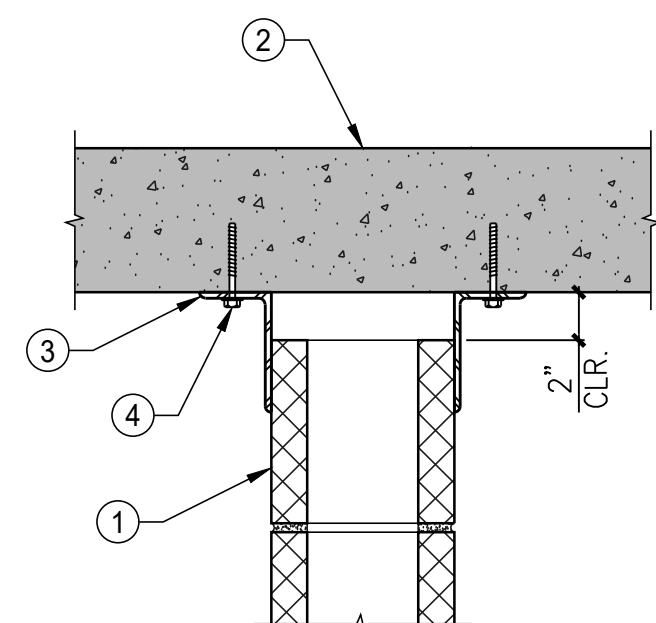
1) EXISTING CMU WALL WATERPROOFING 1/2" = 1'-0"

2) ADDED FLOOR DRAIN AT EXISTING SLAB N.T.S.

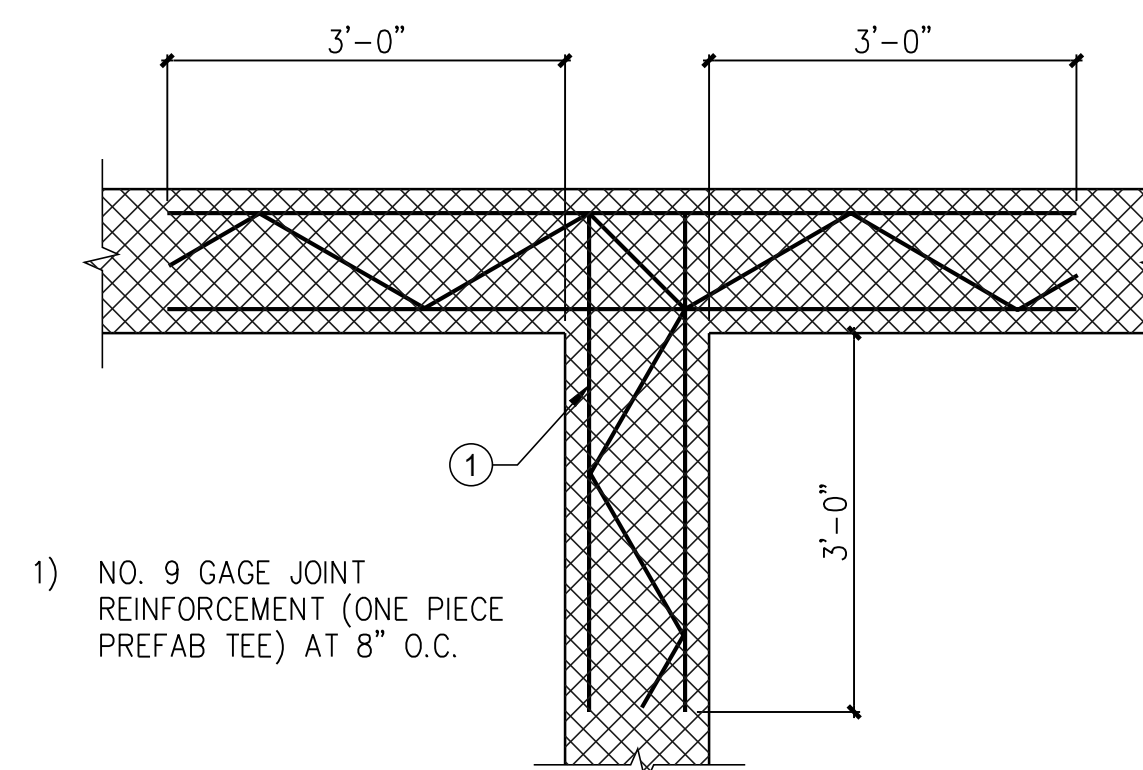
3) CMU MASONRY WALL REPAIR DETAIL N.T.S.



- 1) EXISTING NON-LOAD BEARING MASONRY WALL.
- 2) EXISTING CONCRETE SLAB.
- 3) EXISTING W8 BEAM.
- 4) L5x3x1/4"x0'-6" (LLV) EACH SIDE OF WALL STAGGERED AT 4'-0" O.C.



- 1) NON-LOAD BEARING 8" MASONRY WALL.
- 2) EXISTING CONCRETE SLAB.
- 3) L5x3x1/4"x0'-6" (LLV) EACH SIDE OF WALL AT 4'-0" O.C.
- 4) 1/2" HILTI KWIK HUS-EZ ANCHORS (2 PER ANGLE). PRIOR TO DRILLING GPR EXISTING CONCRETE SLAB TO LOCATE AND AVOID EXISTING REINFORCING.



- 1) NO. 9 GAGE JOINT REINFORCEMENT (ONE PIECE PREFAB TEE) AT 8" O.C.

4) EXISTING NON-LOAD BEARING WALL BRACING DETAIL 1 1/2" = 1'-0"

5) PROPOSED NON-LOAD BEARING WALL BRACING DETAIL 1 1/2" = 1'-0"

6) CORNER REINFORCING DETAIL N.T.S.

LSG LANDSCAPE ARCHITECTURE

8260 GREENSBORO DRIVE
SUITE 325
TYSONS, VIRGINIA 22102
703-821-2045

GPI

Greenman-Pedersen, Inc.

Engineering and Construction Services
3423 Olney Laytonville Road, Suite 6, Olney, MD 20832
301.570.1460
www.gpi.net.com
Project # 2200393.00
P.M. TSS M.RMD E.N/A P.N/A S.TF

ROCKVILLE SWIM & FITNESS CENTER
355 MARTINS LANE
ROCKVILLE, MD 20850



DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
CITY OF ROCKVILLE, MARYLAND

REPAIR & MASONRY DETAILS

1 ADDENDUM 1 3/29/2024

No.	Description	Date
Revisions		

Project Number:	22.00036.00
Scale:	AS NOTED
Drawn By:	TF
Checked By:	TSS
Date:	10/26/2023

Sheet No. S-201

NFC

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DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

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SITE WALL KEY PLAN & DETAILS

1 ADDENDUM 1 3/29/2024

No.	Description	Date
Revisions		

Project Number: 22.00036.00
Scale: AS NOTED

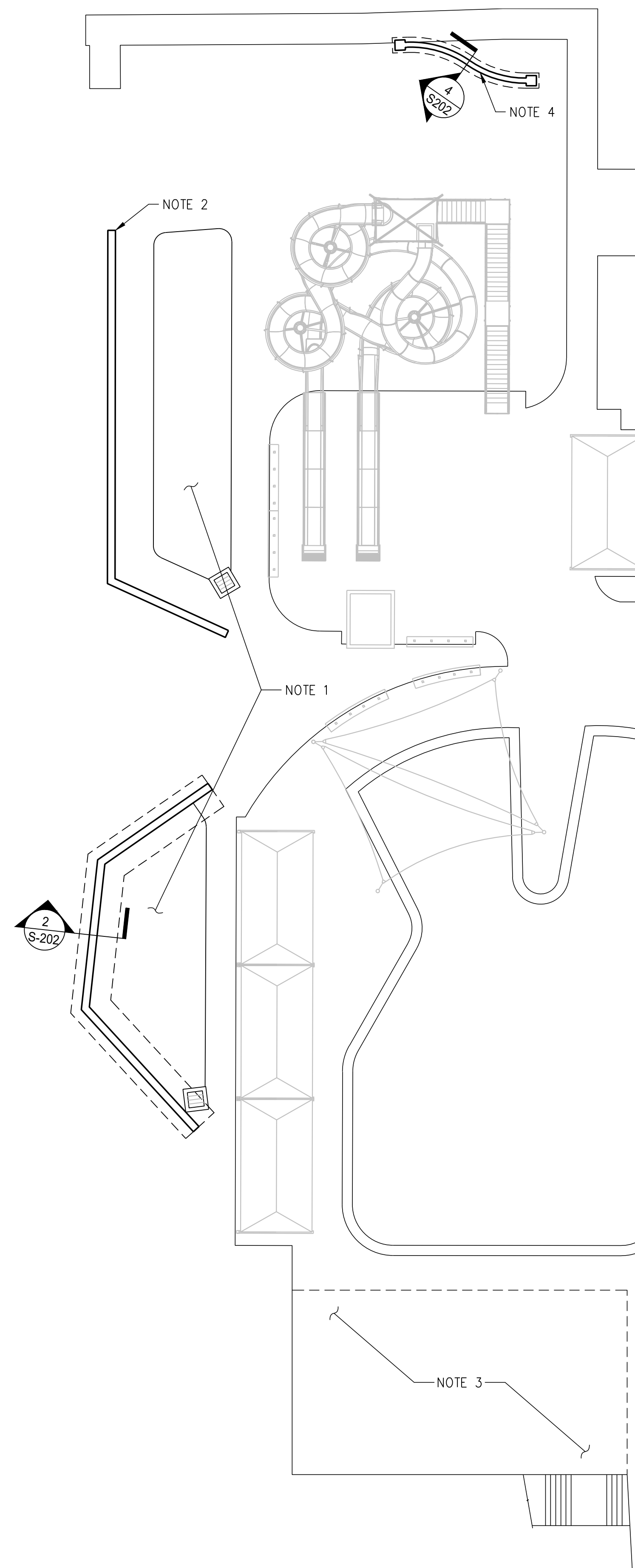
Drawn By: TF

Checked By: TSS

Date: 10/26/2023

Sheet No. S-202

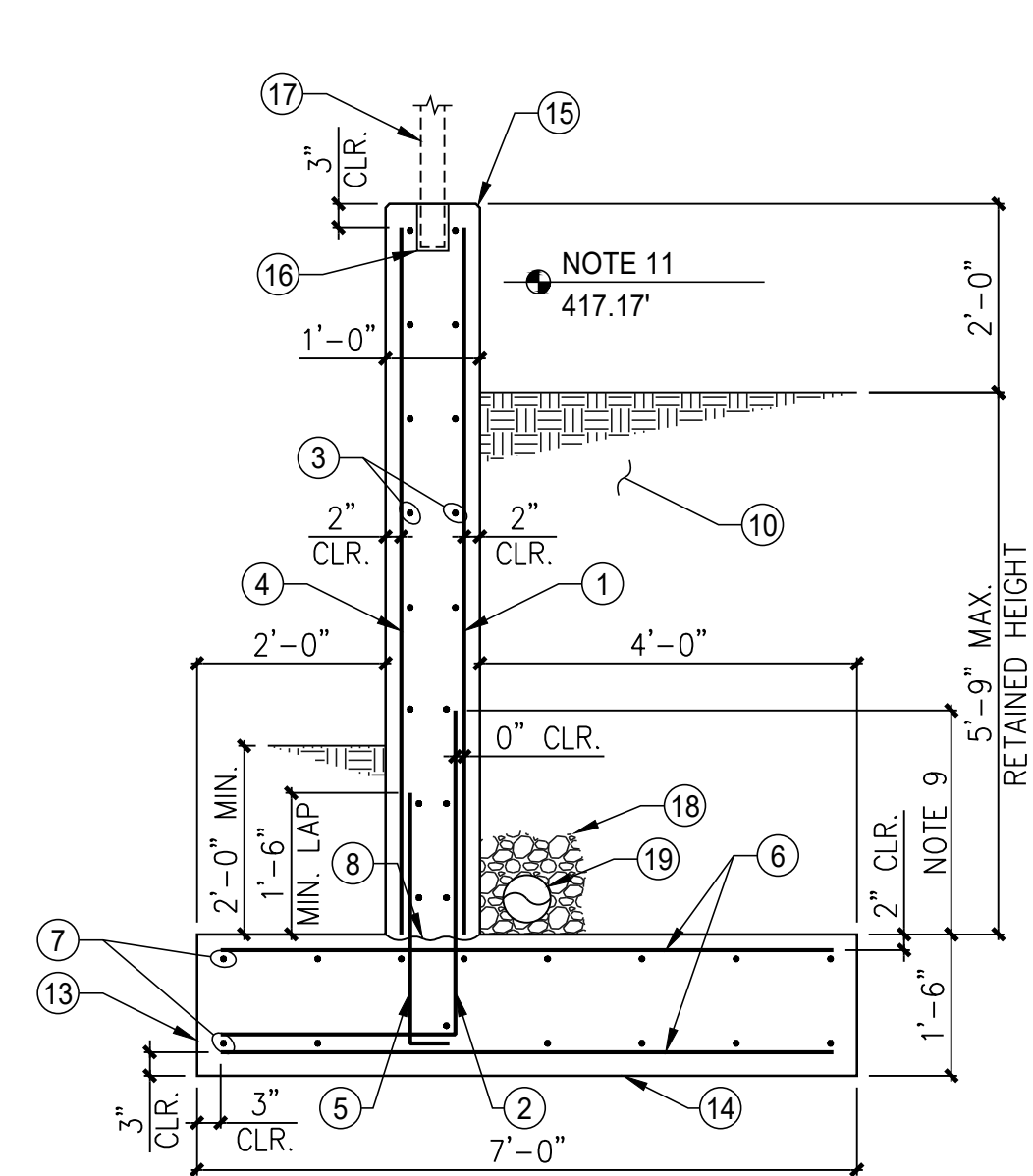
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1 SITE RETAINING WALL KEY PLAN
1/16" = 1'-0"

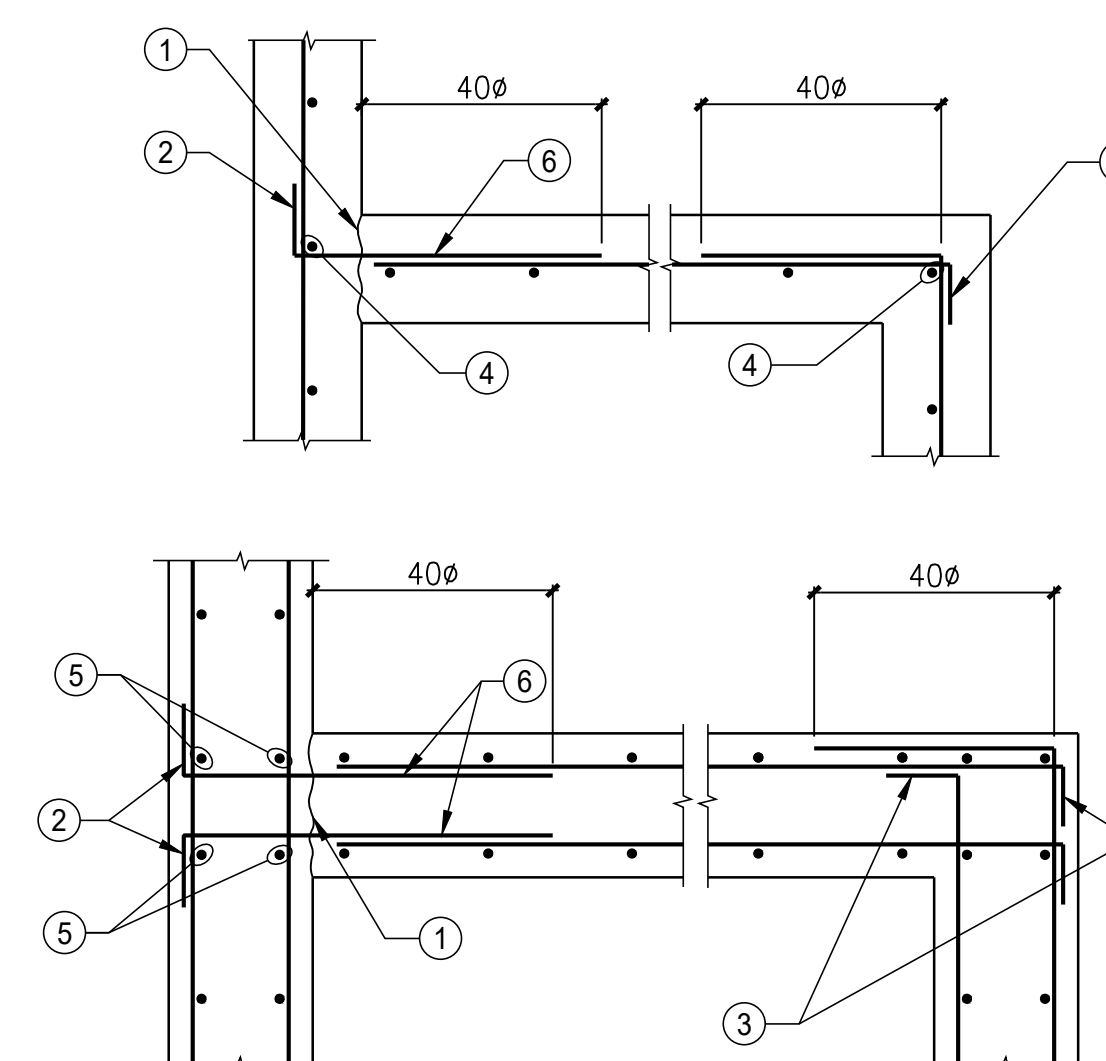
PLAN NOTES

- 1) NEW BIO-RETENTION AREA - SEE CIVIL.
- 2) NEW SEGMENTAL BLOCK RETAINING AREA DESIGNED BY OTHERS - SEE CIVIL.
- 3) EXISTING SUNNING DECK WITH PUMP ROOM BELOW.
- 4) NEW FREE-STANDING SIGN - SEE LANDSCAPE.



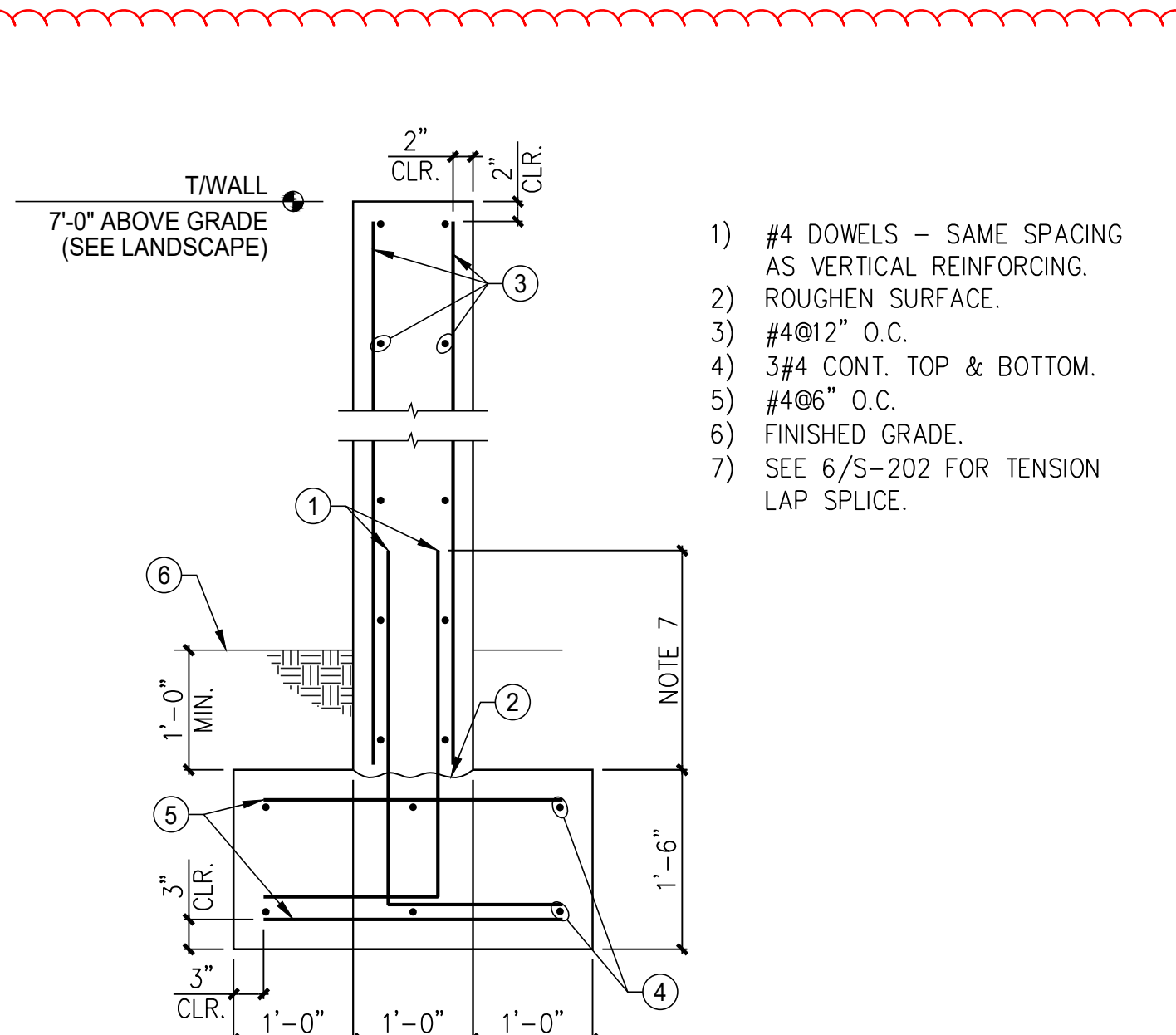
2 CANTILEVER RETAINING WALL
1/2" = 1'-0"

- 1) #6@12" O.C.
- 2) #6 BAR DOWELS. (DOWELS MAY BE EXTENDED FULL HEIGHT OMITTING SEPARATE #6 WALL BARS).
- 3) #4@18" O.C.
- 4) #4@18" O.C.
- 5) #4@18" DOWELS.
- 6) #6@12" O.C.
- 7) #5@12" O.C.
- 8) ROUGHEN SURFACE AT COLD JOINT.
- 9) FOR TENSION LAP SPLICE SEE 6/S-202.
- 10) BIO-RETENTION AREA MATERIAL - SEE CIVIL.
- 11) MAX. WATER ELEVATION - SEE CIVIL.
- 12) NOT USED.
- 13) PLACE FOOTING AGAINST UNDISTURBED SOIL.
- 14) VERIFY SUBGRADE BY GEOTECH. ENGINEER.
- 15) CHAMFER CORNERS - TYPICAL.
- 16) PREFORMED OR CORE DRILLED FENCE POST HOLE AT CONTRACTORS OPTION. EMBED FENCE POST 6" MINIMUM, PACK TIGHT WITH NON-SHRINK GROUT AND PROVIDE SEALANT AROUND POST AT TOP OF PAD.
- 17) FENCE POST - SEE CIVIL.
- 18) 1'-0"x1'-0" CONT. GRAVEL POCKET IN FILTER FABRIC.
- 19) 6"Ø PERFORATED DRAINAGE PIPE - SEE CIVIL.



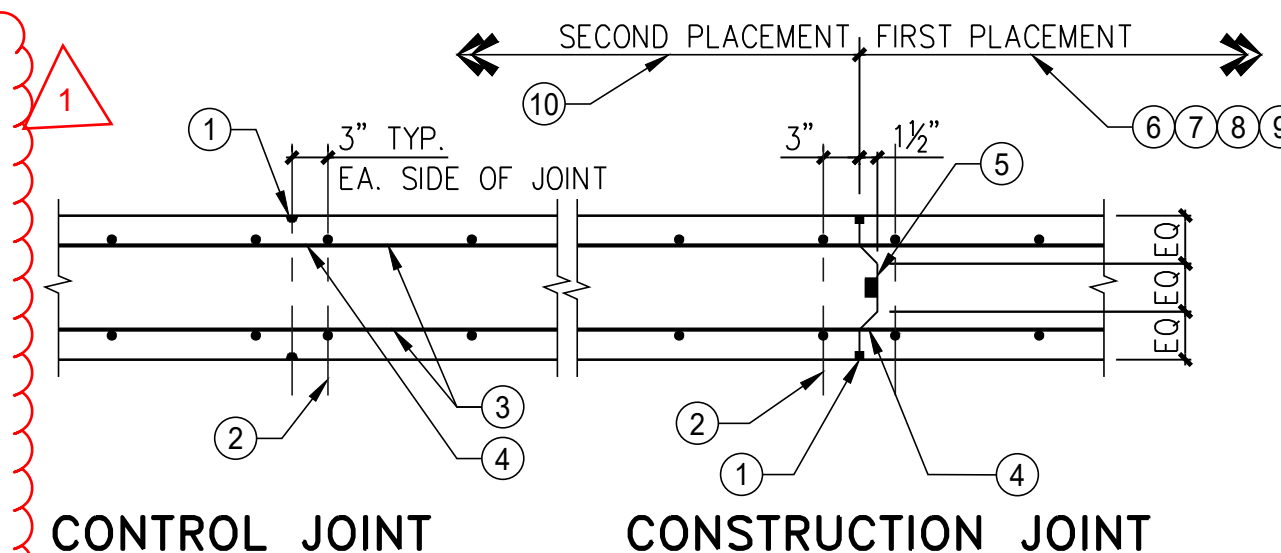
3 REINFORCING AT WALL CORNERS
3/4" = 1'-0"

- 1) CLEAN AND ROUGHEN SURFACE TYPICAL.
- 2) STANDARD 90° HOOK.
- 3) STANDARD 90° HOOK. (CORNER BARS MAY BE SUBSTITUTED FOR 90° HOOKS FOR EACH LAYER OF REINFORCING. LENGTH OF EACH LEG TO BE 40 x BAR DIAM. MIN.)
- 4) 1 VERTICAL BAR - TYPICAL.
- 5) 2 VERTICAL BARS - TYPICAL.
- 6) DOWEL BARS SAME SIZE AND SPACING AS HORIZONTAL REINFORCING.



4 FREE-STANDING SIGN SECTION
3/4" = 1'-0"

- 1) #4 DOWELS - SAME SPACING AS VERTICAL REINFORCING.
- 2) ROUGHEN SURFACE.
- 3) #4@12" O.C.
- 4) #4 CONT. TOP & BOTTOM.
- 5) #4@6" O.C.
- 6) FINISHED GRADE.
- 7) SEE 6/S-202 FOR TENSION LAP SPLICE.



5 VERTICAL JOINTS CONCRETE WALL
3/4" = 1'-0"

- 1) 3/4" x 3/4" JOINT W/ SEALANT (EACH FACE).
- 2) ADDITIONAL VERTICAL REINFORCING.
- 3) TYPICAL HORIZ. REINFORCEMENT.
- 4) CUT ALTERNATING HORIZ. BARS BOTH FACES AT JOINTS.
- 5) CONT. KEY W/ BENTONITE WATERSTOP.
- 6) PROVIDE CONSTRUCTION JOINT OR CONTROL JOINT AT 25'-0" MAX. SPACING.
- 7) LOCATE FIRST JOINT NO FURTHER THAN 10'-0" FROM CORNER.
- 8) JOINT LOCATIONS AND DETAILS TO BE APPROVED BY ARCHITECT AND STRUCTURAL ENGINEER.
- 9) DO NOT USE THIS DETAIL FOR SHEARWALLS OR WALLS DESIGNED TO SPAN HORIZONTALLY.
- 10) PRIOR TO SECOND PLACEMENT OF WALL AT CONSTRUCTION JOINTS, ABRASIVE BLAST OR CHIP FIRST PLACEMENT FACE OF JOINT TO REMOVE LAITANCE, HONEY COMBING, ETC. CLEAN WITH WATER AND STIFF BRUSH AND MAKE SECOND PLACEMENT WHEN CONCRETE IS DAMP.

		TENSION LAP SPLICE			
		28 DAY CONCRETE DESIGN STRENGTH (PSI)			
		3000		5000	
REINFORCING BAR SIZE		CASE I	CASE II	CASE I	CASE II
#4	TOP BARS	3'-1"	4'-8"	2'-5"	3'-7"
	OTHER BARS	2'-5"	3'-7"	1'-10"	2'-9"
#5	TOP BARS	3'-11"	5'-10"	3'-0"	4'-6"
	OTHER BARS	3'-0"	4'-6"	2'-4"	3'-6"
#6	TOP BARS	4'-8"	7'-0"	3'-7"	5'-5"
	OTHER BARS	3'-7"	5'-4"	2'-9"	4'-2"

- 1) THIS DETAIL DOES NOT APPLY TO COLUMN VERTICAL BARS.
- 2) TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12 INCHES OF CONCRETE CAST BELOW THE BARS.
- 3) CASE 1:
a. BEAMS - CONCRETE COVER ≥ d_b, CENTER-TO-CENTER BAR SPACING ≥ 2 d_b AND WITH STIRRUPS THROUGHOUT l_d NOT LESS THAN THE CODE MINIMUM.
b. OTHER ELEMENTS - CONCRETE COVER ≥ d_b AND CENTER-TO-CENTER BAR SPACING ≥ 3 d_b.
CASE II: ALL OTHER CASES.
- 4) FOR LIGHTWEIGHT AGGREGATE, MULTIPLY ABOVE VALUES BY 1.3.

6 TENSION LAP SPLICE LENGTH
N.T.S.

7 CONCRETE RETAINING WALL NOTES
N.T.S.

SLIDE DATA / CLASS D-3

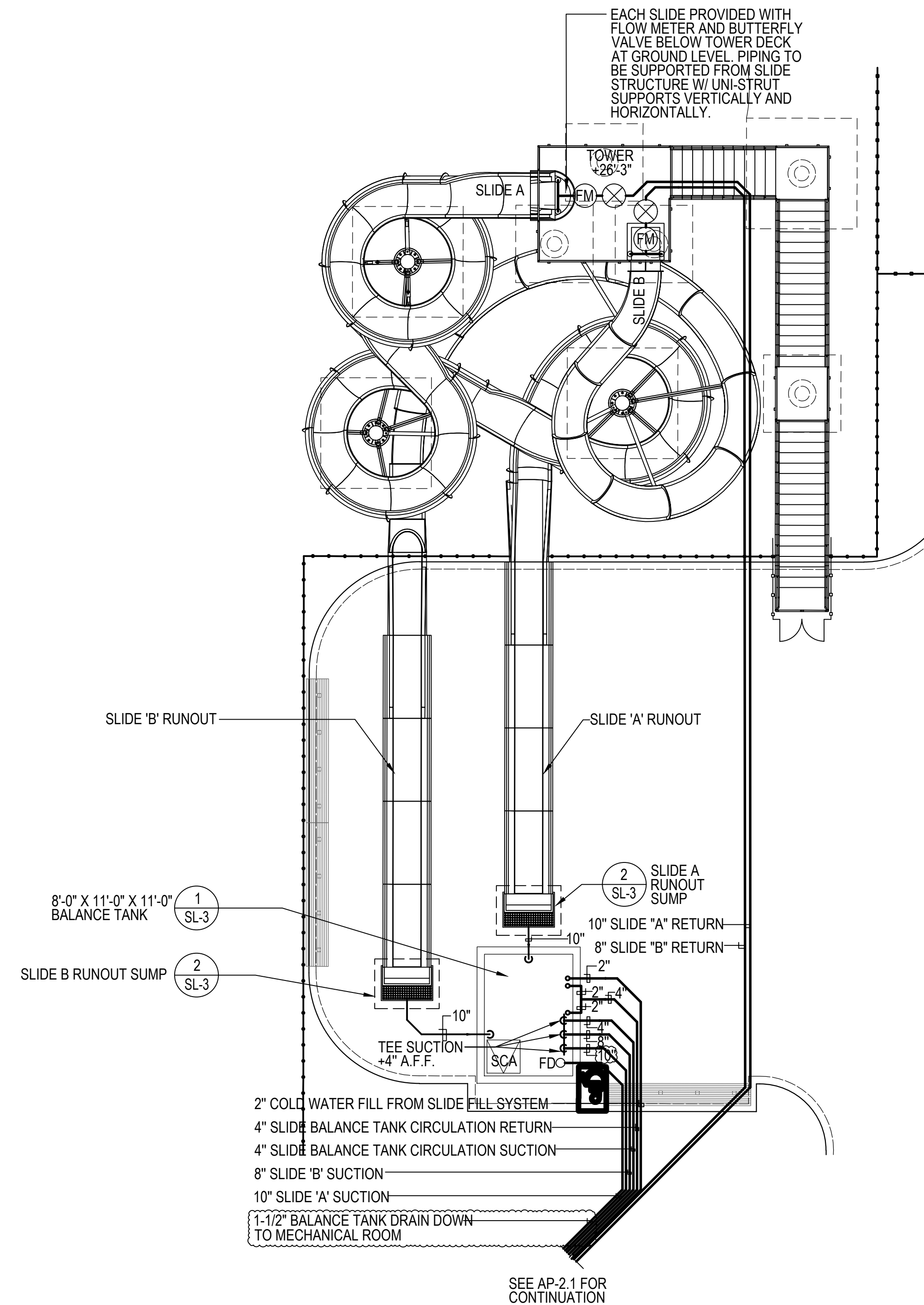
SLIDE LENGTH:	SLIDE HEIGHT:
SLIDE A: 209.94 FT. (42" OPEN BODY SLIDE)	SLIDE A & B: 26.25 FT.
SLIDE B: 144.468 FT. (32" ENCLOSED BODY SLIDE)	SLIDE TOWER HEIGHT: TO PLATFORM: 26.25 FT.

SLIDE BALANCE TANK DATA

SLIDE 'A' BOOSTER PUMP	=	1,000 GPM
SLIDE 'B' BOOSTER PUMP	=	500 GPM
CIRCULATION PUMP RATE	=	130 GPM
TOTAL WATER FLOW	=	1,630 GPM
8'-0" x 11'-0" x 11'-0" DEEP BALANCE TANK	=	5,266 GAL.
60 MIN. TURNOVER (PER ISPSC 604.2)	=	88 GPM
PROPOSED TURN OVER	=	100 GPM

GENERAL NOTES

- ALL PIPES INTO SLIDE SUMPS SHALL EXTEND A MIN. 6" FROM SIDEWALL TO ALLOW FOR CAPPING OF PIPING FOR WINTERIZATION PROCEDURES. DURING WINTER THE PIPING TO BALANCE TANK SHALL BE CAPPED AND 4" DRAIN DOWN PIPING UNCAPPED. VISA VERSA DURING ON SEASON USAGE.
- REFER TO SPLASHTACULAR PLANS FOR SLIDES, SUPPORTS AND TOWER, FOOTINGS AND REINFORCEMENT TYP.



LSG LANDSCAPE ARCHITECTURE

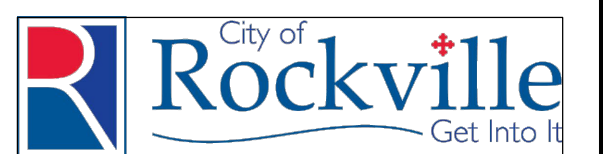
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SUITE 325
TYSONS, VIRGINIA 22102
703-821-2045



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LICENSE NO. 20772
EXPIRATION DATE: 04/27/2025

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ROCKVILLE, MD 20850



DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
CITY OF ROCKVILLE, MARYLAND

SLIDE PLUMBING

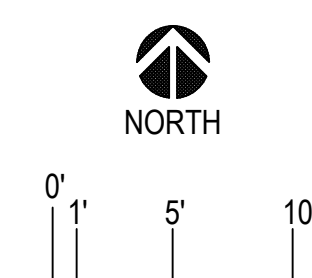
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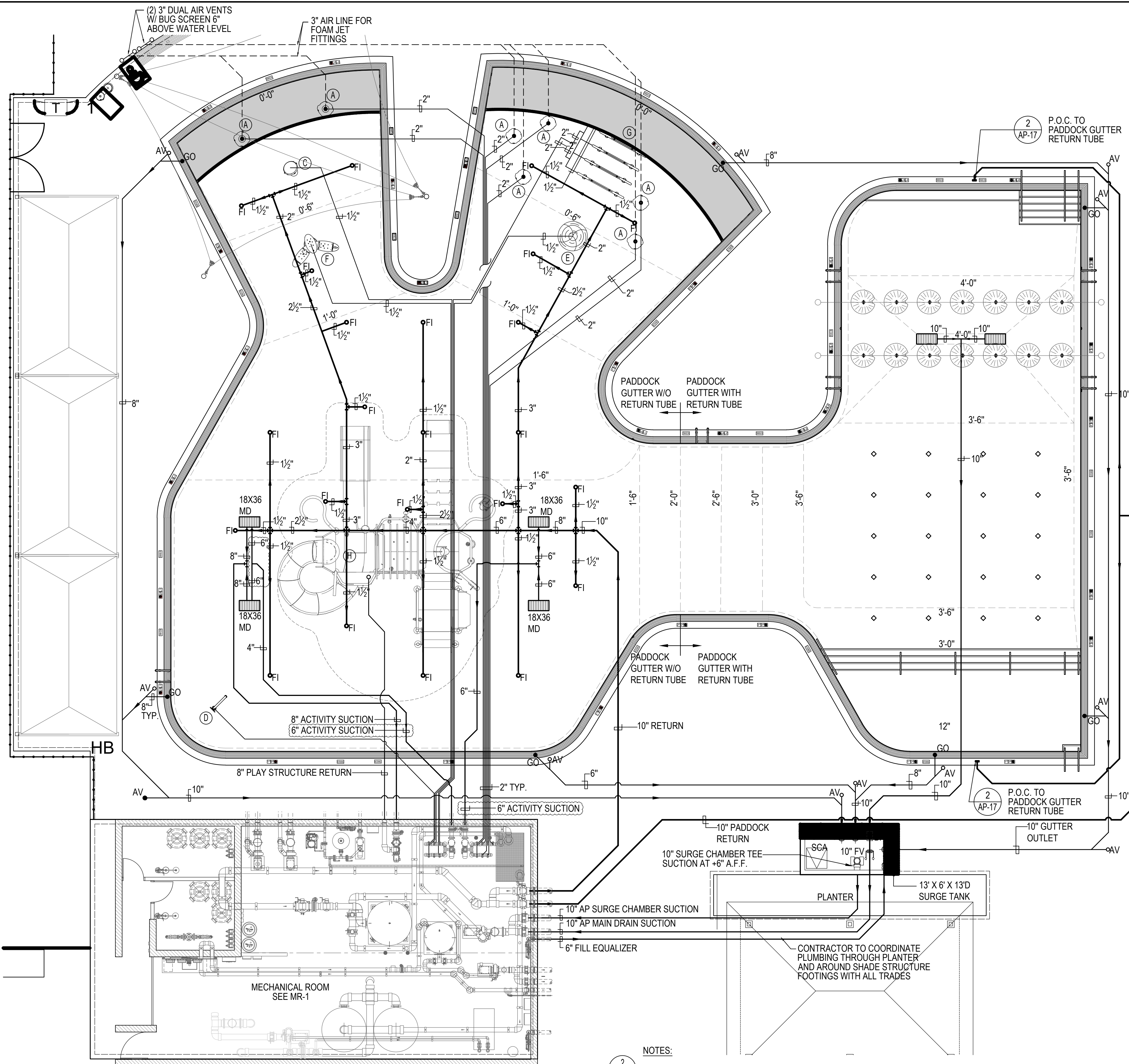
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No.	Description	Date
Revisions		

Project Number:	22.00036.00
Scale:	1/8" = 1'-0"
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Checked By:	AD
Date:	5/19/2023

Sheet No. **SL-2**





- NOTES:**
- PIPE SPACING ON THIS SHEET IS SCHEMATIC IN NATURE. SHOWN FOR CLARITY. FOR PIPE SPACING REQUIREMENTS, REFER TO DETAIL.
 - THIS PLAN ILLUSTRATES THE PROPOSED WATER FEATURE PIPING ROUTES FROM THE MECHANICAL ROOM TO INDIVIDUAL FITTINGS. COORDINATE ALL PIPING WITH BUILDING FOOTINGS, SITE UTILITIES INCLUDING PIPING, CONDUITS/STRUCTURES AND THE LIKE. COORDINATE ALL PIPING ELEVATIONS WITH ALL SITE UTILITIES.
 - ALL PIPING BELOW GRADE SHALL BE SCH. 40 PVC. ALL PIPING ABOVE GRADE SHALL BE SCH. 80 PVC.
 - ALL PIPING SHALL BE EQUALLY SPACED AND PIPED TO EACH MANIFOLD AT EQUAL INTERVALS TO ENSURE AN EVEN AND HYDRAULICALLY BALANCED SYSTEM.
 - N/A
 - ALL PIPING ABOVE GRADE SHALL BE SECURED AND SUPPORTED W/ PIPE STANDS AND/OR BRACING.

ACTIVITY POOL DATA / CLASS D-2

SURFACE AREA	=	9,762 SQ. FT.
PERIMETER	=	617 FT.
DEPTH	=	0'-0" TO 4'-0"
VOLUME	=	131,285 GAL.
REQUIRED 2 HR TURNOVER (PER ISPSC 604.2 / 2HR MIN)	=	1,095 GPM
PROPOSED TURNOVER	=	1,200 GPM

ACTIVITY POOL SURGE DATA

REQUIRED SURGE CAPACITY (PER ISPSC 315.3 / 1 GAL PER SQ FT)	=	9,672 GAL.
SURGE IN PERIMETER GUTTER (596 SQ FT X 0.916' H X 7.48 GAL/CUBIC FT)	=	4,272 GAL.
SURGE IN SURGE CHAMBER (78 SQ FT X 10' H X 7.48 GAL/CUBIC FT)	=	5,834 GAL.
TOTAL SUPPLIED SURGE 10,106 GAL. > 9,762 GAL. (PER ISPSC 315.3 / 9,762 GAL. REQ.)	=	10,106 GAL.

ACTIVITY POOL EQUIPMENT DATA

FLOOR INLETS PROVIDED (PER ISPSC 407.4.2 - 20 FT MIN SPACING)	=	22
MAIN DRAIN FLOW CAPACITY PROVIDED (PER ISPSC 704.8 - MUST BE CAPABLE OF 100% OF PUMP FLOW = 832 GPM)	=	2,080 GAL.
GUTTER DESIGN (PER ISPSC 315.4 - 50% OF POOL PERIMETER TO HAVE GUTTER)	=	100% PROVIDED
GUTTER OUTLET FLOW PROVIDED (PER ISPSC 407.3.1 - GUTTER MUST ACCOMMODATE 125% OF SYSTEM FLOW)	=	2,243 GAL.
8" GUTTER OUTLET FLOW CAPACITY	=	2,243 GAL.
1.428 (GAL / CUBIC FT/SEC @ 1% SLOPE) X 448.8	=	640.88 GPM
640.88 GPM / 50% SAFETY FACTOR	=	320.44 GPM PER OUTLET
(7) 8" OUTLETS PROVIDED	=	2,243 GPM
PUMP FLOW = 1,250 GPM X 125%	=	1,562 GPM
2,243 GPM > 1,562 GPM	=	
(7) GUTTER OUTLETS MEET MINIMUM REQUIRED FLOW RATE W/ 50% SAFETY FACTOR	=	

LEGEND

AV	=	AIR VENT	4	AP-13
MD	=	MAIN DRAIN	1	AP-13
FI	=	FLOOR INLET	2	AP-13
GO	=	GUTTER OUTLET	3	AP-14

PRODUCT LEGEND

	PRODUCT CODE	QTY	TOTAL FLOW (EA.)	
(A)	FOAM JET 'CRYSTAL FOUNTAINS' WMO-104	7	40 GPM	3 AP-20
(B)	NOT USED			
(C)	HOPPER 'WATERPLAY' 0011-0839	1	10 GPM	1 AP-18
(D)	BAMBOO DOWN JET 'SPLASHTACULAR'	1	40 GPM	3 AP-18
(E)	FUN-BRELLA 'WATERPLAY' 0010-0485	1	14 GPM	2 AP-17
(F)	WATER TROUGH GARDEN 'SPLASHTACULAR'	1	10 GPM	2 AP-18
(G)	SPIRAL TUNNEL 'WATERPLAY' 0010-0377	1	40 GPM	2 AP-20
(H)	'SPLASHTACULAR' ACTIVITY STRUCTURE	1	700 GPM	1 AP-15
(ALL EQUIPMENT LISTED SHALL BE CONSIDERED OR APPROVED EQUAL)			TOTAL FLOW	1,094 GPM

LSG LANDSCAPE ARCHITECTURE

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ROCKVILLE, MD 20850



DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
CITY OF ROCKVILLE, MARYLAND

ACTIVITY POOL PLUMBING

PERMIT SET

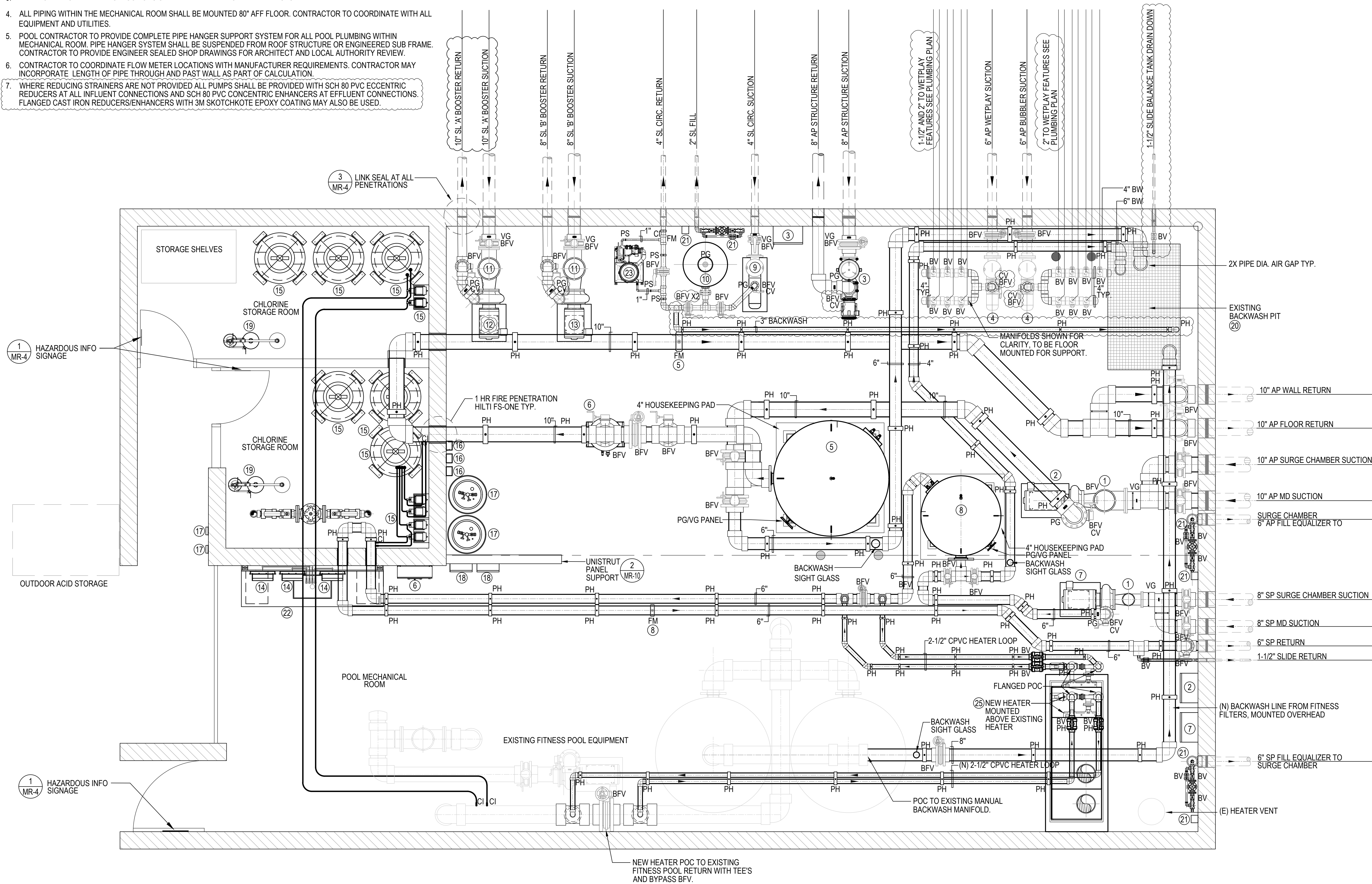
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No.	Description	Date
Project Number:		22.00036.00
Scale:		1/8" = 1'-0"
Drawn By:	AD, HW	
Checked By:	AD	
Date:		5/19/2023

Sheet No. **AP-2**

GENERAL NOTES

1. THE PIPING SYSTEM SHALL HAVE DIRECTION OF FLOW ARROWS INDICATED ON THE PIPES AND COLOR CODED PER HEALTH DEPT. GUIDELINES.
2. PUBLIC POOLS SHALL HAVE A FLOW DIAGRAM OF THE POOL'S PIPING SYSTEM WITH OPERATION INSTRUCTIONS.
3. THE FLOW DIAGRAM AND INSTRUCTIONS SHALL BE AVAILABLE ON THE PREMISES AT ALL TIME.
4. ALL PIPING WITHIN THE MECHANICAL ROOM SHALL BE MOUNTED 80" AFF FLOOR. CONTRACTOR TO COORDINATE WITH ALL EQUIPMENT AND UTILITIES.
5. POOL CONTRACTOR TO PROVIDE COMPLETE PIPE HANGER SUPPORT SYSTEM FOR ALL POOL PLUMBING WITHIN MECHANICAL ROOM. PIPE HANGER SYSTEM SHALL BE SUSPENDED FROM ROOF STRUCTURE OR ENGINEERED SUB FRAME. CONTRACTOR TO PROVIDE ENGINEER SEALED SHOP DRAWINGS FOR ARCHITECT AND LOCAL AUTHORITY REVIEW.
6. CONTRACTOR TO COORDINATE FLOW METER LOCATIONS WITH MANUFACTURER REQUIREMENTS. CONTRACTOR MAY INCORPORATE LENGTH OF PIPE THROUGH AND PAST WALL AS PART OF CALCULATION.
7. WHERE REDUCING STRAINERS ARE NOT PROVIDED ALL PUMPS SHALL BE PROVIDED WITH SCH 80 PVC ECCENTRIC REDUCERS AT ALL INFLUENT CONNECTIONS AND SCH 80 PVC CONCENTRIC ENHANCERS AT EFFLUENT CONNECTIONS. FLANGED CAST IRON REDUCERS/ENHANCERS WITH 3M SKOTCHKOTE EPOXY COATING MAY ALSO BE USED.



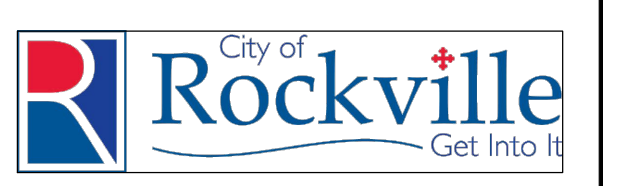
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DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
CITY OF ROCKVILLE, MARYLAND

MECHANICAL ROOM PLUMBING LAYOUT

PERMIT SET

No.	Description	Date
1	ADDENDUM 1	
2		
3		
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Revisions		
Project Number:	22.00036.00	
Scale:	3/8" = 1'-0"	
Drawn By:	AD, HW	
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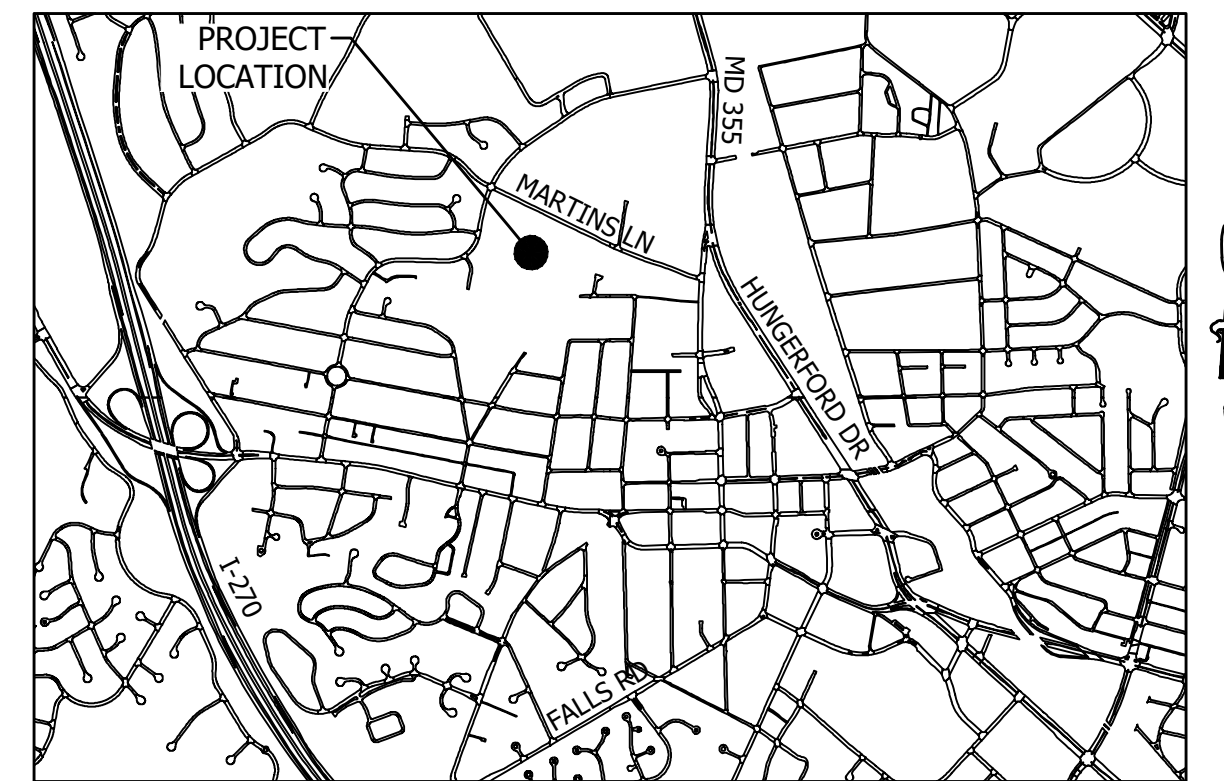
Sheet No. **MR-1.1**

MECHANICAL ROOM PLUMBING LAYOUT 3/8" = 1'-0"

ROCKVILLE SWIM AND FITNESS CENTER OUTDOOR RECREATION POOL RENOVATIONS

GENERAL NOTES

1. TOPOGRAPHY SURVEY PERFORMED BY KCW, DATED SEPTEMBER 2022 AND UPDATED JUNE 2023.
2. THE HORIZONTAL DATUM OF THIS SURVEY IS MARYLAND STATE PLANE (NAD83/91).
3. THE VERTICAL DATUM OF THIS SURVEY IS NAVD 88
4. THE LOCATION OF UNDERGROUND UTILITIES IS BASED ON AVAILABLE RECORDS. CONTRACTOR TO VERIFY IN FIELD.
5. THERE IS NO MAPPED FLOODPLAIN ASSOCIATED WITH THIS SITE PER FEMA FLOOD INSURANCE RATE MAP NUMBER 24031C03330, DATED SEPT. 29, 2006.
6. DETAIL DRAWINGS AND SCHEDULES DESCRIBE CONSTRUCTION AT GIVEN AREAS. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL UTILIZE EQUIVALENT CONSTRUCTION METHODS IN ALL AREAS NOT DETAILED.
7. ALL NOTES ON DRAWINGS SHALL BE ASSUMED AS TYPICAL, UNLESS OTHERWISE SHOWN OR NOTED ON THE DRAWINGS.
8. IT SHALL BE THE DUTY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS GIVEN ON THE DRAWINGS AND TO REPORT TO THE ENGINEER ANY ERROR OR INCONSISTENCY WITH THE ACTUAL CIRCUMSTANCES IN THE FIELD BEFORE COMMENCING WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ITEMS REQUIRED TO PROVIDE A SITE CLEAR OF OBSTRUCTIONS (ABOVE & BELOW GRADE) AND GRADED TO SPECIFIED ELEVATIONS.
10. ALL BIDDERS: THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIM/HERSELF WITH THE EXISTING CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED PRIOR TO SUBMITTING BID.
11. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL SITE SUB-CONTRACTORS/BIDDERS WITH FULL AND COMPLETE SETS OF ALL CIVIL DRAWINGS AND SPECIFICATIONS FOR THEIR USE IN PREPARING BIDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DELAYS AND COSTS ARISING DURING CONSTRUCTION FROM BIDS BASED UPON INCOMPLETE SETS OF SITE BID DOCUMENTS.
12. PRIOR TO VEGETATIVE STABILIZATION, ALL DISTURBED AREAS MUST BE TOPSOILED PER THE SPECIFICATION FOR TOPSOIL (SEE SHEET C-410) AND TECHNICAL SPECIFICATIONS. IF ON-SITE MATERIALS DO NOT MEET REQUIREMENTS OF TOPSOIL, COORDINATE WITH CITY OF ROCKVILLE REGARDING TILING-IN OF CERTIFIED COMPOST TO ON-SITE SOILS IN ORDER TO MEET SPECIFICATION.
13. ANY DISCREPANCIES, OMISSIONS, AMBIGUITIES, OR CONFLICTS IN AND AMONG THE CONSTRUCTION DOCUMENTS OR DOUBT ABOUT THEIR MEANING, SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH WORK. IF AMBIGUITIES EXIST, THE BETTER QUALITY AND GREATER QUANTITY OF WORK SHALL BE BID UPON AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE INDICATED BY THE OWNER IN WRITING.
14. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL TRADE PERMITS AND PAY FEES ASSOCIATED WITH SAID PERMITS. CITY OF ROCKVILLE PERMIT FEES WILL BE WAIVED.
15. ALL WORK ASSOCIATED WITH THE CITY OF ROCKVILLE PUBLIC WORKS PERMIT SHALL BE PERFORMED BY A WSSC LICENSED CONTRACTOR IN ACCORDANCE WITH WSSC REGULATIONS.
16. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH WASHINGTON GAS FOR FINAL DECISION ON GAS LINE MOVEMENT. BASE BID SHALL INCLUDE ANY FEES ASSOCIATED WITH THE GAS LINE RELOCATION.
17. CLARK | AZAR & ASSOCIATES WILL RELEASE CAD BASE FILES OF THE SITE CIVIL DRAWINGS TO THE SUCCESSFUL CONTRACTOR WITHOUT FEE AFTER A RELEASE IS SIGNED. NO CAD FILES WILL BE RELEASED PRIOR TO AWARD OF CONTRACT.



1 VICINITY MAP
SCALE: 1" = 2000'

GENERAL COMMENTS

1. All work performed, whether detailed on the approved plans or not, shall comply with all applicable codes, ordinances and referenced standards as adopted and amended by the City of Rockville and the State of Maryland.
2. This construction must comply with all applicable provisions outlined in the Maryland State Accessibility Code.
3. Any changes to the "APPROVED PLANS" shall be submitted to and approved by this Division prior to the change being made in the field.
4. Review all comments prior to scheduling an inspection.
5. Approved plans MUST be on-site for all inspections. INSPECTIONS WILL NOT BE PERFORMED WITHOUT THE APPROVED PLANS PRESENT. Permits must be posted where visible from the street or front entrance.
6. Field inspections shall determine code compliance. Any omissions or errors on the approved plans do not constitute approval of non-compliant installations.
7. The approval of these drawings does not allow the installation of the required/non-required fire protection system. OBTAIN A SEPARATE FIRE ALARM and SPRINKLER PERMIT.

Refer to trade-specific drawings for trade-specific comments.

No further items found at this time; any future findings will require proper resolution to code conformance.

Other agency approvals may be required prior to the final inspections and or occupancy of this structure.

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

LSG LANDSCAPE ARCHITECTURE

8240 GREENSBORO DRIVE
SUITE 325
TYSONS, VIRGINIA 22102
703-821-2045



CLARK | AZAR & ASSOCIATES

20440 Century Blvd, Suite 220
Germantown, MD. 20874
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PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 31168
EXPIRATION DATE: 01/12/2025

ROCKVILLE SWIM & FITNESS CENTER
355 MARTINS LANE
ROCKVILLE, MD 20850



DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

CITY OF ROCKVILLE, MARYLAND
CIVIL COVER SHEET

PERMIT SET

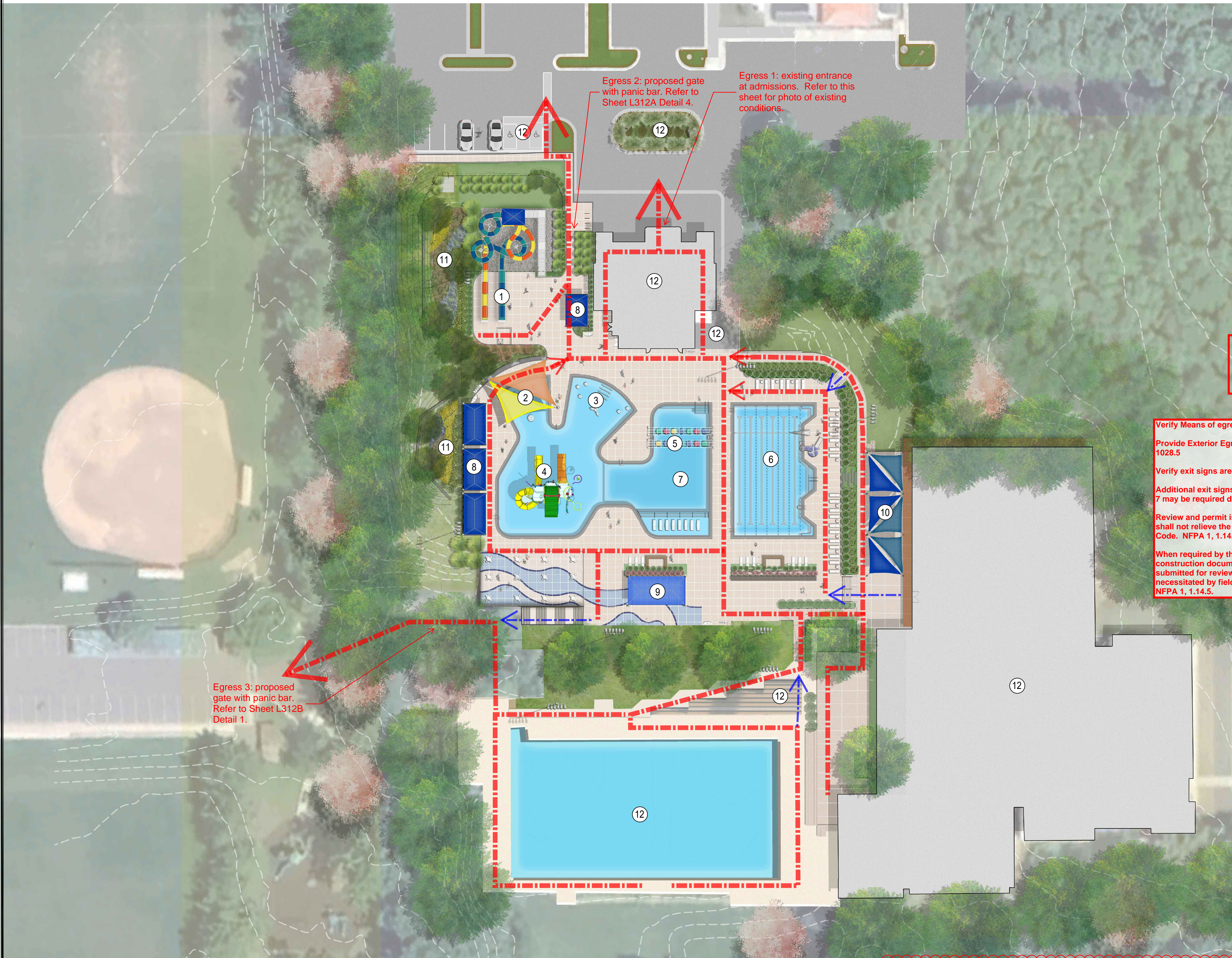
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2	80% CONSTRUCTION DOCUMENT	08/18/2023
3	95% CONSTRUCTION DOCUMENT	10/10/2023
4	PERMIT SET	12/08/2023

No.	Description	Date
Revisions		

Project Number: 22.00036.00
Scale: 1" = 2000'
Drawn By: SL
Checked By: JA
Date: 02/08/2024

Sheet No. C-001





FM-5
C. Biggs 03/07/2024

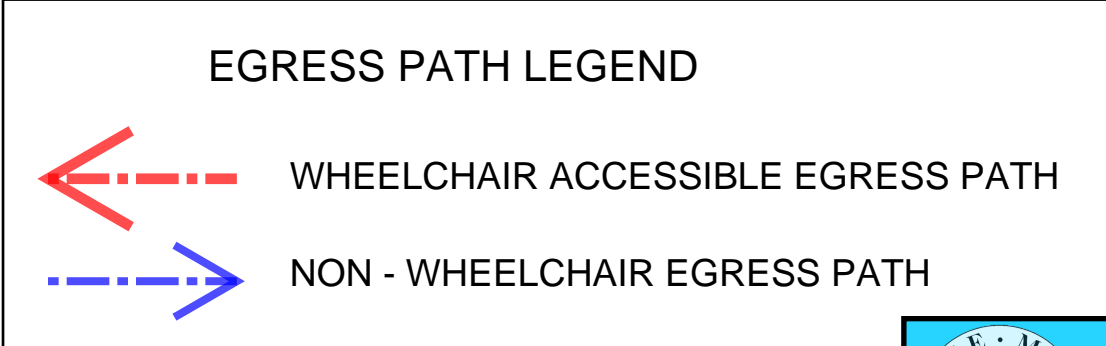
Verify Means of egress is illuminated in accordance with Chapter 7.8.
Provide Exterior Egress Lighting, in accordance with IBC, 1008.2.3. and 1028.5.
Verify exit signs are in accordance with Chapter 7.10.
Additional exit signs to indicate access to exits in accordance with Chapter 7 may be required during the field inspection.
Review and permit issuance by the City of Rockville Fire Marshal's Office shall not relieve the applicant of the responsibility of compliance with this Code. NFPA 1, 1.14.4.
When required by the AHJ (Authority Having Jurisdiction), revised construction documents or shop drawings shall be prepared and submitted for review and approval to illustrate corrections or modifications necessitated by field conditions or other revisions to approved plans. NFPA 1, 1.14.5.

Egress 3: proposed gate with panic bar. Refer to Sheet L312B Detail 1.

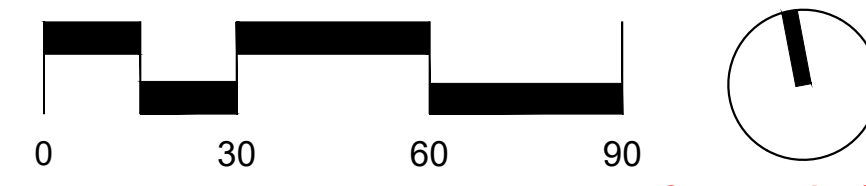
Egress 2: proposed gate with panic bar. Refer to Sheet L312A Detail 4.

Egress 1: existing entrance at admissions. Refer to this sheet for photo of existing conditions.

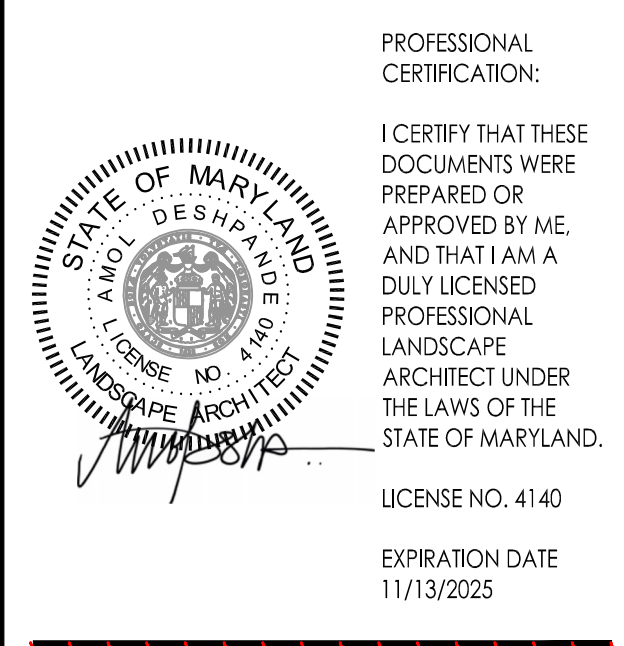
- LEGEND**
- ① RUN-OUT SLIDES
 - ② TOT AREA WITH SHADE
 - ③ BEACH ENTRY WITH BUBBLERS
 - ④ IN-WATER PLAYGROUND
 - ⑤ LILLY PAD CROSSING
 - ⑥ WELLNESS POOL
 - ⑦ ACTIVITY POOL
 - ⑧ SHADE STRUCTURES/PICNIC PAVILIONS
 - ⑨ PICNIC PAVILION
 - ⑩ SHADE SAILS
 - ⑪ BIORETENTION
 - ⑫ EXISTING FACILITIES OUTSIDE LOD



NOTE: FOR EGRESS PLAN DIAGRAM PURPOSES ONLY



LSG LANDSCAPE ARCHITECTURE
8260 GREENSBORO DRIVE
SUITE 325
TYSONS, VIRGINIA 22102
703-821-2045



ROCKVILLE SWIM & FITNESS CENTER
355 MARTINS LANE
ROCKVILLE, MD 20850



DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
CITY OF ROCKVILLE, MARYLAND
OVERALL SITE PLAN AND EGRESS PATH DIAGRAM

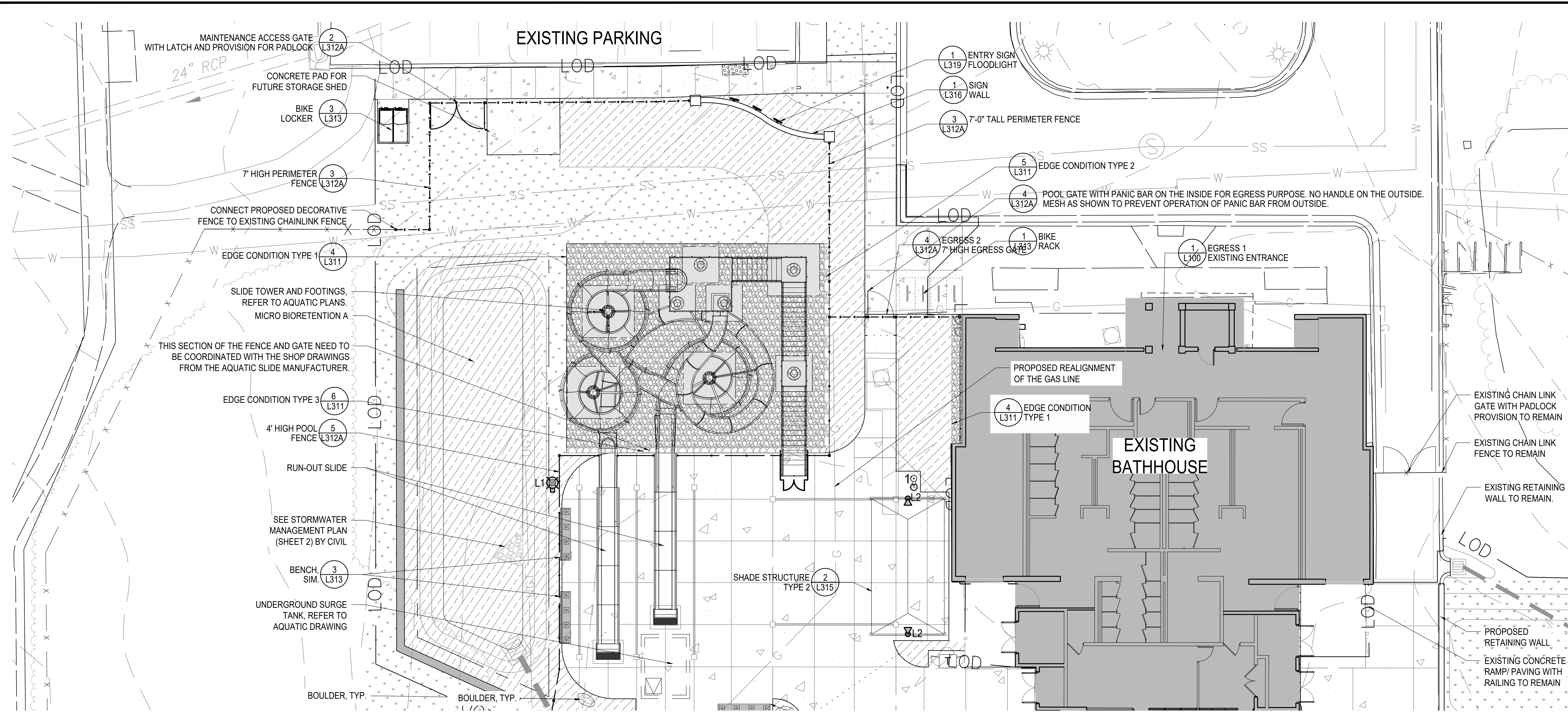
PERMIT SET

1	65% CONSTRUCTION DOCUMENT	06/25/2023
2	80% CONSTRUCTION DOCUMENT	08/18/2023
3	95% CONSTRUCTION DOCUMENT	10/10/2023
4	PERMIT SET	12/08/2023
5	HD COMMENT RESPONSE	01/08/2024
6	BID SET	02/01/2024
7	PERMIT SET	02/06/2024

No.	Description	Date
Revisions		
Project Number:	22.00036.00	
Scale:	AS SHOWN	
Drawn By:	AD, HW, BS	
Checked By:	AD	
Date:	01/08/2024	
Sheet No.	L100	



Construction/Installation subject to inspection by Fire Marshal. Schedule all fire inspections on-line through My Government On-line portal



LSG LANDSCAPE ARCHITECTURE
8260 GREENSBORO DRIVE
SUITE 325
TYSONS, VIRGINIA 22102
703-821-2045

PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 4140
EXPIRATION DATE 11/13/2025

ROCKVILLE SWIM & FITNESS CENTER
355 MARTINS LANE
ROCKVILLE, MD 20850



DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

355 MARTINS LANE
CITY OF ROCKVILLE, MARYLAND

ENLARGEMENT PLAN

BID SET



- LEGEND**
- 1 CONCRETE PAVING
 - CONCRETE DECKING, REFER TO ADG DRAWINGS
 - CONCRETE PAVING WITH TRAFFIC COATING: COLOR A
 - CONCRETE PAVING WITH TRAFFIC COATING: COLOR B
 - LAWN AREA
 - PLANTING AREA
 - RIVER ROCK 2" TO 3" STONES
 - #57 STONE

- LOD LIMITS OF DISTURBANCE - TRANSITION TO EXISTING CONDITIONS
- EXISTING CHAIN LINK FENCE
- EXISTING GUARD RAIL
- 3 7' HIGH POOL FENCE
- 5 4' HIGH POOL FENCE
- 6 DRINKING WATER FOUNTAIN TYPE 1
- 7 DRINKING WATER FOUNTAIN TYPE 2
- BIKE RACK
- 5 TRASH & RECYCLING RECEPTACLE
- POLE LIGHT WITH GFCI OUTLET
- SHADE STRUCTURE LIGHT
- ENTRY SIGN FLOODLIGHT
- SS EXISTING SANITARY SEWER
- W EXISTING WATER
- G EXISTING GAS
- G PROPOSED GAS

BUILDING REVIEW COMMENTS

Reviews are in accordance with the 2018 International Building Code, including City of Rockville and State of Maryland Amendments, unless noted otherwise.

- Interior finishes shall comply with Chapter 8 of the IBC.
- Documents for deferred submittal items shall be submitted to the registered design professional in responsible charge, who shall review them and place a notation on them, indicating that the deferred submittal documents have been reviewed and found to be in general conformance to the design of the building, prior to submittal of the documents. The deferred submittal items shall not be installed until the deferred submittal documents have been approved by this office.

ELECTRICAL REVIEW COMMENTS

Reviews are in accordance with the 2017 NFPA 70, National Electrical Code, including City of Rockville and State of Maryland Amendments, unless noted otherwise.

- Emergency means of egress lighting must be provided in all rooms or spaces required to have more than one exit or exit access. Light must be powered by an emergency electrical system in conformance with Article 700 of NFPA 70. (IBC §1008)
- All luminaires installed in suspended ceilings shall be supported directly from the building structure. A minimum of 2 wires of size No. 12 steel or larger shall be used. These wires must be tied to opposite corners of the luminaire and attached independently to the building structure. Exception: Circular luminaires with a diameter 12 inches or less may be supported with one wire of No. 12 steel or larger. (NFPA 70 §410.36 (B) amended)
- All luminaires, lampholders and retrofit kits shall be listed. (NFPA 70 §410.6)
- GFCI protection shall be provided as applicable in accordance with section 210.8 (B)
 - All bathroom receptacles shall be provided with GFCI protection.
 - All kitchen receptacles shall be provided with GFCI protection.
 - All receptacles within 6 feet of the outside edge of a sink shall be provided with GFCI protection.
 - All outdoor receptacles shall be provided with GFCI protection.

MECHANICAL REVIEW COMMENTS

Reviews are in accordance with the 2018 International Mechanical Code, including City of Rockville and State of Maryland Amendments, unless noted otherwise.

- Diffusers in suspended ceilings shall be adequately supported independent of the ceiling assembly and tied at opposite ends to the building structure with #12 wire or equivalent. (603.18.3 IMC amended)
- Balance reports shall be made available to field inspectors.

PLUMBING REVIEW COMMENTS

Reviews are in accordance with the 2018 International Plumbing Code, including City of Rockville and State of Maryland Amendments, unless noted otherwise.

- Maximum flow rates and consumption for plumbing fixtures and fixture fittings shall not exceed those values listed in Table 604.4 of the 2018 International Plumbing Code (IPC), as amended by the City of Rockville.
- Sanitary and Storm Lines shall be identified in accordance with the City of Rockville "Identification of Storm and Sanitary Discharge Lines" document.

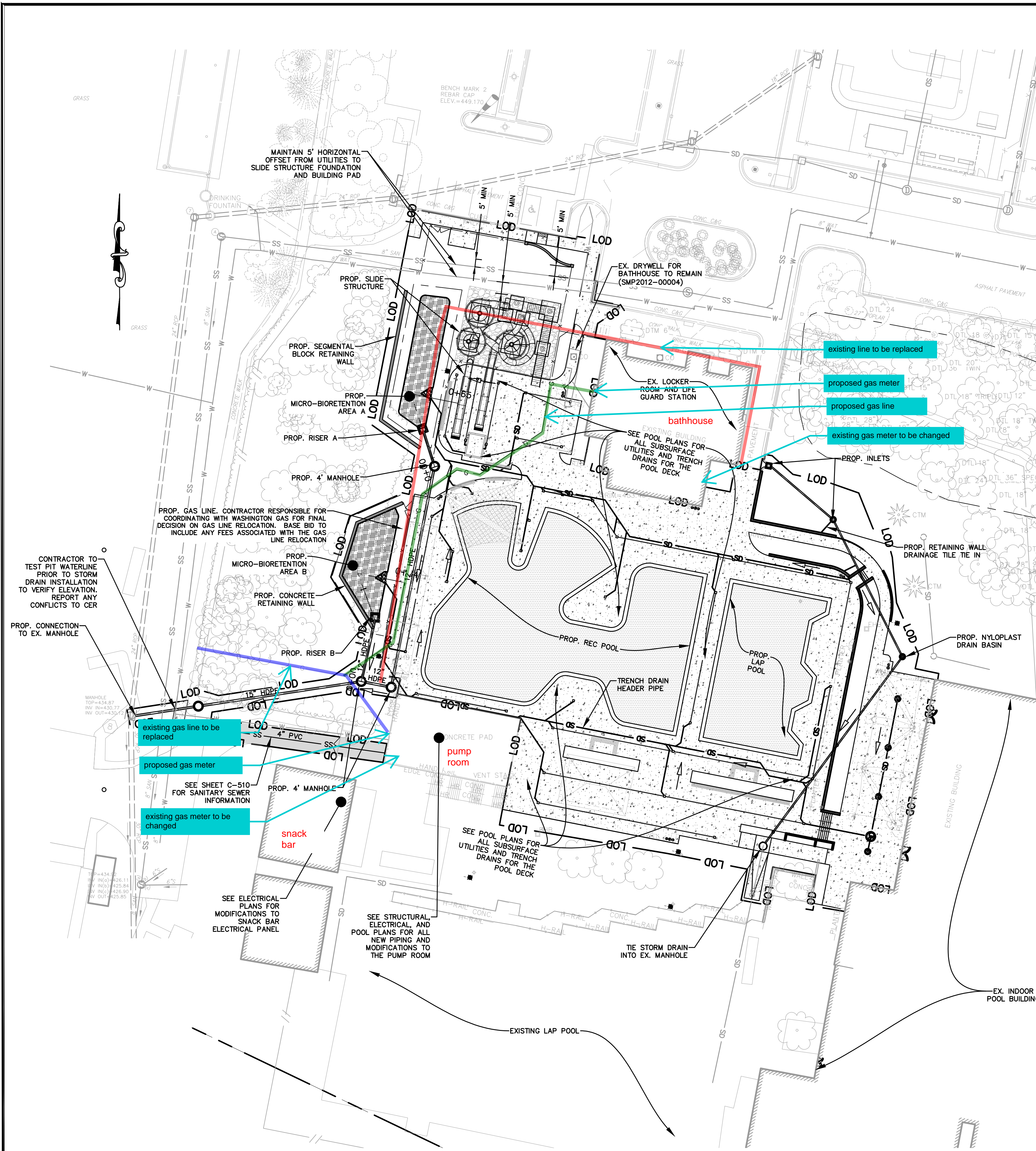
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5	HD COMMENT RESPONSE	01/08/2024
6	BID SET	02/01/2024
7	BUILDING PERMIT SET	02/06/2024
8	BUILDING PERMIT SET	02/20/2024
9	BID SET	02/23/2024

No.	Description	Date
Revisions		
Project Number:	22.00036.00	
Scale:	AS SHOWN	
Drawn By:	AD, HW, BS	
Checked By:	AD	
Date:	01/08/2024	
Sheet No.	L102	

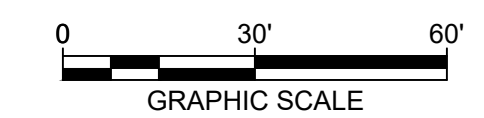


Construction/Installation subject to inspection by Fire Marshal. Schedule all fire inspections on-line through My Government On-line portal

BID SET 02/23/2024



1 UTILITY PLAN
SCALE: 1" = 30'



See IFB 13-24 Addendum 1
Clarification 3 for more information.

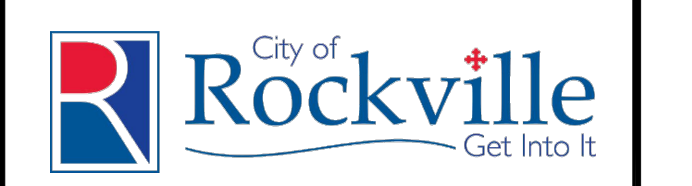
LSG LANDSCAPE ARCHITECTURE

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DEPARTMENT OF RECREATION AND PARKS

OUTDOOR RECREATION POOL RENOVATIONS

CITY OF ROCKVILLE, MARYLAND

UTILITY PLAN

PERMIT SET

1	65% CONSTRUCTION DOCUMENT	06/25/2023
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3	95% CONSTRUCTION DOCUMENT	10/10/2023
4	PERMIT SET	12/08/2023

No.	Description	Date
Revisions		

Project Number: 22.00036.00
 Scale: 1" = 30'
 Drawn By: SL
 Checked By: JA
 Date: 02/08/2024

Sheet No. C-500

ATTACHMENT D

INVITATION FOR BIDS #13-24
SECTION V: BID PRICING FORMS/BID PACKET

OUTDOOR RECREATION POOL RENOVATIONS

THIS FORM MUST BE COMPLETED AND INCLUDED WITH THE BID SUBMITTAL
FAILURE TO SUBMIT THIS FORM SHALL DEEM THE BIDDER NON-RESPONSIVE

IN ACCORDANCE WITH ALL TERMS, SPECIFICATIONS AND REQUIREMENTS, WE PROPOSE TO FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES AND THE PERFORMANCE OF ALL WORK NECESSARY FOR THE PROJECT. PROVIDE PRICING BELOW TO INCLUDE OVERHEAD, PROFIT, TAXES, INSURANCE AND OTHER APPLICABLE FEES AND COSTS. ALTERATIONS TO THIS FORM OR BID ALTERNATES (UNLESS OTHERWISE SPECIFIED) ARE NOT ACCEPTABLE. LINE ITEMS LEFT BLANK OR MARKED "\$0" SHALL DEEM THIS BID NON-RESPONSIVE.

Bid Item No.	Description	Qty.	Unit	Unit Bid Price	Total Bid Price
1	GENERAL CONDITIONS	1	LS	Subtotal:	
2	DEMOLITION (SITE AND SELECTIVE)	1	LS	Subtotal:	
3	EARTHWORK: SITE CLEARING & EARTHMOVING	1	LS	Subtotal:	
4	MASONRY	1	LS	Subtotal:	
5	METALS	1	LS	Subtotal:	
6	THERMAL & MOISTURE	1	LS	Subtotal:	
7	HIGH-PERFORMANCE COATINGS	1	LS	Subtotal:	
8	DOORS & WINDOWS	1	LS	Subtotal:	
9	ENTRY SIGN FINISHES: LOGO, LETTERS, MOSAIC TILE	1	LS	Subtotal:	
10	EXTERIOR STRUCTURES – TENSILE, PAVILION, STORAGE, ETC.	1	LS	Subtotal:	
11	PLUMBING	1	LS	Subtotal:	
12	MECHANICAL	1	LS	Subtotal:	
13	ELECTRICAL: SPORTS LIGHTING	1	LS	Subtotal:	
14	ELECTRICAL: ALL OTHER SITE LIGHTING, WIRING	1	LS	Subtotal:	
15	EXTERIOR IMPROVEMENTS: VERTICAL CONCRETE	1	LS	Subtotal:	
16	EXTERIOR IMPROVEMENTS: HORIZONTAL CONCRETE	1	LS	Subtotal:	
17	EXTERIOR IMPROVEMENTS: FENCE AND GATES	1	LS	Subtotal:	
18	EXTERIOR IMPROVEMENTS: SITE FURNISHINGS	1	LS	Subtotal:	
19	EXTERIOR IMPROVEMENTS: OTHER	1	LS	Subtotal:	
20	SITE UTILITIES	1	LS	Subtotal:	
21	SPECIAL CONSTRUCTION: POOL EXCAVATION	1	LS	Subtotal:	
22	SPECIAL CONSTRUCTION: POOL CONCRETE	1	LS	Subtotal:	
23	SPECIAL CONSTRUCTION: POOL SHOTCRETE	1	LS	Subtotal:	
24	SPECIAL CONSTRUCTION: POOL CERAMIC TILE	1	LS	Subtotal:	
25	SPECIAL CONSTRUCTION: POOL PLASTER	1	LS	Subtotal:	
26	SPECIAL CONSTRUCTION: POOL EQUIPMENT	1	LS	Subtotal:	
27	SPECIAL CONSTRUCTION: POOL MECHANICAL	1	LS	Subtotal:	
28	SPECIAL CONSTRUCTION: POOL ELECTRICAL	1	LS	Subtotal:	
29	SPECIAL CONSTRUCTION: POOL WATER SLIDE	1	LS	Subtotal:	
30	SPECIAL CONSTRUCTION: POOL PLAY EQUIPMENT	1	LS	Subtotal:	
31	GAS RELOCATION ALLOWANCE (ADDENDUM NO. 1)	1	LS	Subtotal:	\$60,000
Base Bid Grand Total (Bid items 1 through 31.)					

UNIT RATES (Not Part of Base Bid Grand Total)					
U-1	EXCAVATION & REMOVE –SOIL	1	CY	Unit Rate:	
U-2	EXCAVATION & REMOVE – ROCK REMOVAL	1	CY	Unit Rate:	
U-3	EXCAVATION & REMOVE – CONCRETE	1	CY	Unit Rate:	
U-4	IMPORTED FILL	1	CY	Unit Rate:	
U-5	ADDITIONAL CONCRETE	1	SF	Unit Rate:	

GRAND TOTAL IN WORDS _____
 _____ (\$ _____)

EXCEPTIONS

All exceptions taken to the specifications contained in this document must be clearly indicated in the space provided below. Unless noted as an exception, the bidder will be held responsible for providing each component or standard called for.

The City Manager for the City of Rockville, Maryland retains the exclusive right to approve or reject any exception taken to the specifications contained in this bid. It is hereby agreed that if this bid is rejected due to an exception taken to a specification by the bidder, the rejection taken will be final and no further action may be taken.

Do you claim an exception to any specification to this bid? If yes, please explain.

Add / Deduct Alternates

Bid Item No.	Description	Estimated Quantity	Unit	Unit Bid Price	Total Bid Price
A-1	ADD 2ND FLOATING LILY PAD COURSE ASSEMBLY TO ACTIVITY POOL (SEE AQUATIC SET SHEET AP-1)	1	LS	Subtotal:	
A-2	ADD SMALL SEMI-COMMERCIAL WATER SLIDE TO WELLNESS POOL (SEE AQUATIC SET SHEET SP-1)	1	LS	Subtotal:	
A-3	ADD NEW PLASTER “WHITE” COAT TO THE FITNESS POOL	1	LS	Subtotal:	
UNIT RATES for A-3 (Not Part of Base Bid Grand Total)					
A-3a	Spot Removal of Hollow Plaster Areas (in excess of 500 SF)	1	SF	Subtotal:	
A-3b	Pool Floor / Wall Crack Repair (in excess of 400 LF)	1	LF	Subtotal:	
A-4	ADD THERMAL POOL COVER AND REELS FOR WELLNESS POOL	1	LS	Subtotal:	
A-5	ADD ATHLETIC LIGHTING AND PUBLIC ADDRESS SYSTEM AROUND FITNESS POOL (SEE ELECTRICAL SET E005)	1	LS	Subtotal:	
A-6	ADD WATER HEATER FOR WELLNESS POOL (SEE AQUATIC SET SHEET MR-1)	1	LS	Subtotal:	
A-7	ADD POOL AREA FURNISHINGS (SEE APPENDIX B: SITE FURNISHING ADD ALTERNATE PRODUCT LISTING)	1	LS	Subtotal:	
D-1	DEDUCT SIGN WALL & REPLACE WITH FENCE (ADDENDUM NO. 1)	1	LS	Subtotal	
Grand Total Add/Deduct Alternates (Bid Items A-1 through A-7 and D-1)					

Note The drawing references provided above are for convenience only. The bidder is responsible for full coordination with other areas of the plans/drawings whether expressly mentioned or not.

ADDENDUM In the event that any addenda to this solicitation are issued, all solicitation terms and conditions will retain in effect unless they are specifically changed in the addendum. It is the responsibility of the bidder to make inquiry as to addenda issued. Oral answers to questions relative to interpretation of specifications or the proposal process will not be binding on the City.

Such addendums, if issued, will posted via the city’s designated electronic, software solution:

<https://contracts.rockvillemd.gov/gateway/Default.aspx>

Please note, that it is the bidder’s responsibility to check this site frequently for Addendums, which may impact pricing, this document’s requirements, terms and/or conditions. Failure to acknowledge an addendum on the bid proposal form or to sign and return an Addendum with your response may result in disqualification of proposal.

Acknowledgment is hereby made of the following Addenda (identified by number) received since the issuance of this bid:

Addendum # _____ Date _____ Addendum # _____ Date _____
Addendum # _____ Date _____ Addendum # _____ Date _____

CONTRACT DURATION

Contractor shall begin the project within ten (10) calendar days following issuance of a City of Rockville Purchase Order (Notice to Proceed). All work shall be completed within 12 months (365 consecutive calendar days). Important note: Substantial completion of the project must be made prior to 05/01/2025, and all inspections required for operations and occupancy must be successfully obtained no later than 05/16/2025. The time allotted for the work is of the essence. It is possible that the City may issue a Limited Notice to Proceed (LNTP) to allow for coordination, field measuring, shop drawing review/approval, submission of work plan and ordering long lead time components. The recreation pool will be available for construction activities to begin on site starting 08/19/2024.

Liquidated damages shall be assessed at One Thousand Seven Hundred Dollars (\$1,700) per day for each calendar day the work exceeds beyond the specified time allotted, commencing on 05/16/2025 should occupancy and operations permits not be received from the authorities having jurisdiction as described in the paragraph above.

Confirm your ability to meet the above schedule. _____ YES _____ NO

This bid and its Firm Fixed Prices shall remain valid through October 31, 2024 for acceptance by the City.

The City of Rockville reserves the right to reject any or all bids, offer or proposals, to waive informalities, and to accept all or any part of any bid, offer proposal as they may deem to be in the best interest of the City of Rockville.

I hereby certify that I have read and understand the requirements of this Invitation for Bid No. 13-24 and, that I, as the Bidder, will comply with all requirements, and that I am duly authorized to execute this proposal/offer document and any contract(s) and/or other transactions required by award of this Invitation For Bid.