



CITY OF ROCKVILLE Procurement Division 111 Maryland Avenue Rockville, Maryland 20850-2364 Phone 240-314-8430 Fax 240-314-8439

### ADDENDUM 1

**DATE:** March 29, 2024

**REFERENCE:** City of Rockville Invitation for Bid:

IFB 13-24 Rockville Swim & Fitness Center Outdoor Recreation Pool Renovations Project

Scheduled Submittal Deadline:

Wednesday, April 10, 2024, at 2:00 P.M. (EDT)

Please note the following additions, clarifications, corrections deletions and/or revision have been made to the above referenced Invitation for Bid (IFB):

### Addition 1: Sheet L316 Construction Details

As a deduct alternate, remove the concrete entry wall, mosaic tile, logo, and lettering shown on Sheet L316 and Sheet S-202 Detail 4 (updated as part of this addendum). Replace with 7' high perimeter fencing shown on Sheet L312A Detail 3. Pricing Page has also been revised to include a line item for this deduct alternate. <u>Attachment A</u> and <u>Attachment B</u> are provided with this updated information.

### Addition 2: Long Lead Items (for information only)

See IFB document and Specification Sections 01 21 00 Project Management and Coordination and 01 32 00 Construction Progress Documentation for references to long lead items. Contractor is responsible for identifying long lead items so they are procured and delivered at appropriate times as to not delay the project's schedule. See below for a list of potential (but not limited to) long lead items. Chart is provided for information only and bidder is responsible for verifying lead times on all items.

Timing (from time of order to site arrival, unless noted)	Notes				
8-9 months	From PO/Signed contract to end of installation				
4-5 weeks					
2 weeks	Not by equipment manufacturer so it will impact the schedule.				
18-22 weeks					
3 Days					
21 Consecutive Days					
12-14 weeks	See Sheet L101 Add Alternate 2				
8-10 weeks					
10-12 weeks					
20 weeks	VFD=variable frequency drives				
8 weeks or less					
10-14 weeks					
10-12 weeks					
14-18 weeks					
8-12 weeks					
40-54 weeks	See Electrical Drawings for items that are owner furnished, contractor installed equipment. The remaining electrical will be the contractor's responsibility to furnish and install.				
	8-9 months         4-5 weeks         2 weeks         18-22 weeks         3 Days         21 Consecutive Days         12-14 weeks         8-10 weeks         10-12 weeks         20 weeks         8 weeks or less         10-14 weeks         10-12 weeks         10-12 weeks         12-14 weeks         12 weeks         8 weeks or less         10-12 weeks         12-14 weeks         14-18 weeks         14-14 weeks         14-14 weeks         14-14 weeks				

### Clarification 1: Sheet C-100 Existing Condition and Demolition Plans

Sheet C-100 is labeled showing the "existing water play structure and all appurtenances to be removed" and "existing shed and all appurtenances to be removed." This includes the removal of an underground water storage tank as explained in Note 18 on Sheet C-100. "When an item is stated to be removed, it shall include removal of any and all appurtenances above or below grade associated with said item."

### Clarification 2: Pump Room Selective Demolition

There are multiple sheets referencing demolition, repairs, and proposed changes to the existing pump room including but not limited to the following reference list. Contractor is responsible for reviewing all plan and specification sections for additional details.

- C-100 Existing Conditions and Demolition Plan for overall site demolition
- L103 Enlargement Plan and L315 Construction Details for proposed garage door replacement
- Structural Set Sheets S-001 through S-202 for repairs to existing walls
- MR-1 Mechanical Room Layout and MR-1.1 Mechanical Room Plumbing Layout for proposed equipment and existing Fitness Pool equipment that will remain and needs to remain functioning and accessible to City of Rockville staff during the entire construction duration.
- E002 and E003 Demolition Site Plan for electrical demolition
- P003 Floor Plan for plumbing demolition

The general contractor shall coordinate with the pool contractor and all required trades for the removal of all existing activity pool circulation equipment including but not limited to all associated electrical, plumbing, pipe supports and controls. All existing conduit and pipe abandoned in walls shall be grouted solid. All unused or abandoned electrical conduit and boxes shall be removed. All pool mechanical equipment associated with the existing fitness pool shall remain protected in place unless otherwise noted. The pool contractor shall follow the plans and specifications for the necessary modifications to the fitness pool mechanical equipment including but not limited to electrical, plumbing, pipe hangers, etc.

### Clarification 3: Sheet C-500 Utility Plan

Sheet C-500 shows the proposed relocation of the existing gas line to accommodate the proposed slide tower. This work will also require the relocation of two gas meters to outdoor locations. City of Rockville and the Architect's team have started coordination with Washington Gas about the relocation of the gas line. The relocation work must be performed by Washington Gas's approved third-party contractor, NPL, but the costs of the work will be apportioned between Washington Gas and the City of Rockville accordingly. The contractor is responsible for including a \$60,000 allowance in their bid for this work. The allowance is intended to cover the portion of NPL's scope that is the City's responsibility, as well as work not performed by Washington Gas or NPL, such as placement of the new meters, new concrete pads for the meters, and all associated piping from the meters to appliances. See <u>Attachment C</u> for the schematic showing the proposed locations of gas lines and meters and <u>Attachment D</u>, which is a revised to include a line item for this allowance.

### **Clarification 4: Building Permit Approval**

The plans have been approved by the City of Rockville's Inspection Serices Division for a Building Permit under #2024-7317-ALT. Pertinent comments are included as an appendix to this addendum. The Building Permit has been reviewed and approved but cannot be issued until a General Contractor is chosen. A set of the building permit approved drawings will be provided to the selected contractor. For technical information, please refer to the Bid Set of documents.

### Clarification 5: Bike Lockers

Product details for the Bike Lockers can be found in specifications section 32 33 00 (IFB page 418 of 747).

### Clarification 6: Light Pole Details

The light pole referenced on L312 is shown on page L318 Detail 1.

### Clarification 7: Asphalt Quantity on C-200

Drawing C-200 notes to replace existing asphalt pavement. The asphalt to be replaced is shown in a darkened grey color and is within the project's LOD.

### **Clarification 8: SP-1 Details**

Drawing SP-1 notes elevations C and D. See page SP-3 for these details.

### Correction 1: Sheet MR-1 Mechanical Room Layout

Plan label #25 should be shown as #24 for Swimming Pool Heater: Add Alternate. The text of this item has been corrected to reflect updated product information for the pool heater to match what is currently onsite. The updated information is: "LOCHNIVAR #CPN1262, 1,260,000 BTU INPUT, 2" GAS CONNECTION, 2-1/2" FLANGED WATER INFLUENT/EFFLUENT CONNECTIONS AND 12" INTAKE & EXHAUST WITH CATEGORY IV DOUBLE WALL VENTING WITH DRAIN TEES, ONE (1) TOTAL 954LBS." See revised MR-1 page for full details.

### Revision 1:

The MFD-V information on the Coversheet (1<sup>st</sup> Page) of the IFB has been revised to read as follows:

### MFD-V Outreach Program

It is the intent of the City of Rockville to increase opportunities for minority, female, disabled, or veteran (MFD-V) owned businesses to compete effectively at supplying goods, equipment, and services to the City, within the constraints of statutory purchasing requirements, departmental needs, availability, and sound economical considerations, including subcontracting or mentoring opportunities. Suggested changes and MFD-V enhancements to this solicitation's requirements for possible consideration and/or inclusion in future solicitations are strongly encouraged. Any questions regarding MFD-V outreach or questions/concerns regarding the City's bidding process should be addressed to Pat Ryan, pryan@rockvillemd.gov or 240-314-8434.

### Revision 2: Bid Pricing Form

The Bid Proposal Pricing Form Sheets on pages 503 through 506 of the IFB shall be removed and replaced with those contained in <u>Attachment D</u> to this Addendum to reflect the revisions below, which will be listed in red:

- Line 31 was added to the base bid for the gas relocation allowance.
- The Unit Rate lines were renamed from lines 31-35 to U-1 through U-5.
- The Unit Rate for additional concrete has been changed from the unit of Cubic Yard to Cubic Feet
- The alternate chart was updated to include deduct alternate, D-1, which is explained in Addition 1 of this Addendum.
- The alternate chart was updated to include unit prices for add alternate work A-3a and A-3b (New Fitness Pool "White" Coat) should additional, unforeseen work for this item be required.

### **Revision 3: Structural Engineering Drawings**

There have been updates to structural drawings S100, S101, S201 and S202 have revisions and are attached to this Addendum. The drawings log has been updated to reflect said changes. See Sheet S202 Detail 4 for a section of the entry sign wall and foundation.

### Revision 4: Civil Engineering Drawings

There have been updates to the Civil Set, relative to the Public Works Permit and Sediment Control Plan. See Erosion and Sediment Control Plan page 2 of 4 and Public Works Permit pages have been revised from 1 of 1 to 1 of 2 and 2 of 2. Revised and added plan pages are attached to this addendum as an appendix.

Additionally, we have received the following questions/comments concerning this Invitation for Bid. Responses to these questions are also provided, where additions, revisions, clarifications, corrections and/or deletions found within the City's responses are incorporated into this Addendum:

1. Please confirm this project is not a wage scale project.

Response: There are no State or Federal funds associated with this work. The City of Rockville has no minimum/living wage requirements above those set by the federal government. Prior to submitting a bid, bidders should consult their accountants or bookkeepers with regard to how State of Maryland and Montgomery County, Maryland legislation related to minimum and living wages impacts their labor costs for the solicited work, as any additional costs associated with the legislation shall be the responsibility of the Contractor.

2. Please confirm there are no MFD requirements and/or forms that need to be submitted with our bid.

Response: There are No State of Federal funds associated with this work, and there are no MFD-V goals or participation requirements or forms associated with this work.

3. Please confirm only the GC and Pool subcontractor references need to be submitted with the bid and other subcontractors references would be submitted within 5 days after notice of award per section 3.2 of the IFB.

Response: Reference Section III, 3.2; Page 33 and the Sub-Contractor Reference Form in Section V; Page 516. General Contractors bidding must submit evidence and references for their firm and the swimming pool subcontractor (if the bidder is not primarily a swimming pool constructor contractor) with the bid to be considered responsive. The Sub-Contractor Reference Form must be completed and submitted with bid for any and all swimming pool subcontractor(s), where the City reserves the right to require completion and submission of the Sub-Contractor Reference Form for and or all other subcontractors after receipt of bids. Bidders are strongly encouraged to submit separate Sub-Contractor Reference Forms for all proposed subcontractors with their bids.

4. Item 35 on the Bid Form asks for additional concrete per CY. Please clarify what this is for as there are different prices for different situations. For example, is this for concrete deck repair and to include installation costs? Please provide a plan detail to follow for this. IN addition, if this is for flatwork, a unit rate of square foot may be more realistic.

Response: This is for a unit rate of concrete should additional concrete be needed as directive via an ASI or Change Order. The bid form has been updated to show square feet instead of cubic yards.

Add Alternate #6 – Quantity shown on drawing L101A doesn't match with the quantity referenced in specs Appendix
 B. Small Picnic Table shown on drawings are 18 including 2 near Existing Bathhouse. Quantity called out in specs is 12. Please review & confirm what quantities we should price the nate for?

### Response: Please provide the pricing as specified on Appendix B - Site Furnishing Add / Alternate Pricing List of the IFB, pages 574 – 576 of 747.

6. Add Alternate 6 – 6E Chaise Loung Chair reference is not shown.

### Response: See Appendix B - Site Furnishing Add / Alternate Pricing List of the IFB, pages 574 – 576 of 747

7. Gas piping relocation allowance was mentioned in the site visit, please advise what \$\$ amount we must carry in our bid to cover the cost.

### **Response: See Addendum Clarification #3 above.**

8. Please advise us if there will be an additional site visit scheduled for our sub-contractors to visit the jobsite.

Response: Two additional site visits are scheduled as follows:

Wednesday, April 3, 2024, 2:00pm-3:00pm Thursday, April 4, 2024, 9:00am-10:00am

9. Please provide sign-in sheets for all site visits.

### Response: Sign in sheets for all site visits and the pre-bid meeting have been posted to the City's Procurement Collaboration Portal.

10. Please confirm all movable/not required appliances will be removed from all areas prior to contractor acquisition of the demo location & utility rooms.

Response: City staff will remove all moveable (non-mounted) appliances, tools and equipment out of the construction areas. Note that limited items will remain in place for the Fitness Pool's operation in the mechanical and chemical rooms. See Clarification 2 for more information and IFB section 1.8 for key dates.

11. Please confirm owner will mark/coordinate with GC regarding all appliances/equipment that they would like to preserve prior to begin of demo process?

### Response: Confirmed.

12. Please confirm existing Bathhouse building can be used as onsite office & we don't have to setup trailers?

### Response: See IFB section 3.16 (page 37-38 of 747).

13. Please confirm parking will be allowed onsite at the parking lot for construction employees?

### Response: Construction employees may park in the outdoor pool's parking lot.

14. Please confirm we are not to include Davis Bacon or any other Prevailing Wages. We are just to meet MD minimum pay for the duration of construction of this project.

Response: There are no State or Federal funds associated with this work. The City of Rockville has no minimum/living wage requirements above those set by the federal government. Prior to submitting a bid, bidders should consult their accountants or bookkeepers with regard to how State of Maryland and Montgomery County, Maryland legislation related to minimum and living wages impacts their labor costs for the solicited work, as any additional costs associated with the legislation shall be the responsibility of the Contractor.

15. Please provide exact elevation & height of the segmental retaining wall "A"

Response: Retaining Wall A profile is shown on C-220 with top of wall and bottom of wall. Final design of wall is per contractor design. Please see all notes included on C-220.

16. Detail 8 on sheet 4 of 6 – Stormwater Management details refer/show the bottom of retaining wall @ Microbioretention "B" Plan to be at 444. Which means total height of retaining wall to be 8'. Please confirm this is correct elevation as Detail 2/S-202 shows total height to be approximately 9'3" including footing. Please provide clarification.

# Response: Elevation note of 444.00 on stormwater management details sheet 4 of 6 (IFB page of 636 of 747) is a maximum bottom elevation to prevent wall from bearing on bioretention section. Wall section and height from S-202 shall be followed.

17. Drawing C-210 refers detail of retaining wall is to be provided on C-260. This sheet is not included in the bid set. Please provide this sheet.

### Response: Wall A detail is shown on C-220 and Wall B detail is shown on S-202 Detail 2 Cantilever Retaining Wall.

18. Provide bottom elevation of both retaining walls at bio-ponds.

Response: Retaining Wall A profile is shown on C-220 with corresponding top of wall and bottom of wall elevations. Final design of wall is per contractor design. Please see all notes included on C-220. Retaining wall B profile is shown on S-202 with all corresponding top of wall and bottom of wall elevations.

19. Pole Light with GFCI – Calls out to be on 1/L317 – its not relevant detail.

Response: The reference has been corrected. See updated Drawings Log for Architect Set changes.

20. Shade structure light – Calls out to be on 2/L317 – its not relevant detail.

### Response: The reference has been corrected. See updated Drawings Log for Architect Set changes.

21. Entry Sign Floodlight – Calls out to be on 3/L317 – its not relevant detail.

### Response: The reference has been corrected. See updated Drawings Log for Architect Set changes.

22. Detail 4/L316 – refers to CIP concrete footing & CR-6 stone information to be found on Structural details. This cannot be found. Please advise on correct information?

### Response:

### A: See Sheet S-202 Detail 4 (updated as part of this addendum).

23. Please confirm existing asphalt driveway near bathhouse building can be used for access to jobsite during construction?

Response: The construction entrance is located to the west of the bathhouse as shown on Sheet 2 of 4 Erosion and Sediment Control Plan (IFB page 638 of 747). Contractor is responsible for following all E&S requirements as included in the Civil Set. Light duty vehicles may use the gate to the east of the bathhouse only for deliveries, however vehicles are not permitted to enter the disturbed area via this access point.

- 24. Drawing AP- 2 Notes, 5. States ". COORDINATE DEPTH CHARGE AIR TUBING IN FIELD W/ MANUFACTURER." There doesn't seem to be a feature using compressed are or labled "Depth Charge".
  - 1 Is there such a feature?

2 - Is an air compressor required?

3 - If there is a compressed air feature, what type of piping is required?

### Response: Omit note #5, items are not included in the project's scope. See Appendix for revised AP-2.

25. Swimming Pool:

Drawing SP-1 states Deferred Approval on "Rayner Safety Mighty Mesh Tension Pool covers (or equal) 1- Can the City provide a specification for this cladding or provide a vendor that provide this product?

### Response: Rayner is the manufacturer and vendor – Raynercovering.com.

26. Swimming Pool Slides:

Drawing SP-1 states slide, Aquazip, and Add Alternate water slide poles be wrapped in UV resistant protective foam and vinyl cover.

1 - Can the City provide a specification for this cladding or provide a vendor that provide this padding system?

Response: The City has no preferred vendor, all manufacturers shall be considered equal. The vinyl pad must be UV resistant rated for exterior use, fixed to the pole without exposed fasteners and sized appropriately to fit the pole or equipment.

27. Pool:

Specification 131106, 1.3 SUBMITTALS AND SUBSTITUTIONS, B, 5 States "Winterization Plan/Instructions and Summerization Plan/Instructions for all pools and equipment."

1 - Can the City please confirm that the piping design shown on the bid drawing for the swimming pools and waterslide components is designed to be winterized by closing or opening valves?

2 - Are additional pipes and/or valves necessary to winterize the swimming pools and waterslide components?

### Response:

1. All pipes serving pools and aquatic features are intended to be winterized by use of valves.

2. See general note #6 on Sheet MR-1. The installation of all plumbing it to meet the requirements outlined in the plans and specifications. Pipe runs and routing are schematic in nature to provide the contractor a general path and route. Exact methodology for installation to meet these requirements is means and methods and the responsibility of the pool contractor.

28. Pool Plaster:

Specification 131105 SWIMMING POOL PLASTER, 2.4, PUMP PIT, BACKWASH PIT & SURGE CHAMBER WATERPROOFING, A, state "Xypex, Miracote Miraflex Membrane C Hycrete Waterproofing System concrete additive or approved equal. Mix and apply per manufacturer's recommendations for specific application. Color shall be Gray."

1 - Does this mean a two coat surface waterproofing, not an integral additive to the concrete mix?

### Response: Two coat surface waterproofing.

29. Pool Finishes:

Specification 131105 SWIMMING POOL PLASTER, 2.1 CEMENT/AGGREGATE, A, calls for Luna Quartz tiny pebble finish by Wet Edge Technologies. Altima quartz finish by Wet Edge Technologies. Pebble-Fina Pool finish by Pebble Technologies or approved equal.

1- Can Diamond Brite Diamond Quartz finish be substituted for these finishes as well?

### Response: Diamond Brite diamond quartz is not an acceptable substitution for all internal pool surfaces included within Specification Section 13 11 05 2.1A.

30. Pool Alternate:

Is the existing plaster Hollow, if the existing plaster is hollow, how much of the existing coat will need to be removed due to hollow areas? Would the City consider a unit price per layer to address removal of hollow plaster on a unit price basis?

Response: The City does not believe there to be significant areas of large hollow spots under the surface of the fitness however conditions underneath the surface of the fitness pool are not know without destructive testing. Yes, an additional unit price per layer to address removal of hollow plaster can be considered and the unit rate has been added to the pricing page. See response to #32 for additional details.

31. Pool Alternate:

Article 1.5 SUMMARY DESCRIPTION OF ADD/ALTERNATE ITEMS, states "Add Alternate 3 -Add new plaster "white" coat to the Fitness Pool. Coordinate the timing of work with Owners' Representative a. Note that this work is to include appropriate surface preparations, replacing the racing lane tiles and expansion joints and be completed in accordance with pertinent Division 13 specification requirements."

Can the city please clarify the following:

1 - Is the existing plaster finish to remain in place and be prepared to receive the new coat of "white" coat?

# Response: The existing pool plaster is to remain in place and the contractor is to apply appropriate surface preparations so that the new plaster coat will bond to the existing. See response to #32 for additional details.

### 32. Article 1.5 SUMMARY DESCRIPTION OF ADD/ALTERNATE ITEMS, states Add Alternate 3 -

Add new plaster "white" coat to the Fitness Pool. Coordinate the timing of work with Owners' Representative a. Note that this work is to include appropriate surface preparations, replacing the racing lane tiles and expansion joints and be completed in accordance with pertinent Division 13 specification requirements." 1 - Can the city please specify which plaster finish is to be applied to the Fitness Pool?

### Response:

- Rockville Swim and Fitness Center staff will provide all labor and materials necessary to drain the Fitness Pool including the removal of all debris.
- Contractor must remove all areas of irregularities in the existing plaster to include all etched and pitted plaster. In addition, contractor is also responsible for removing and repairing all hollow spots. Hollow spot removal and repair in excess of 500 SF will be billed at a rate of \$\_\_\_\_\_ per SF (add as unit rate on pricing page).
- Pool surface must be mechanically acid etched as required per the manufacturer's installation instructions to ensure proper adhesion between the existing surface and the new whitecoat.
- Marbelite must be uniformly graded manufactured white marble sand with a maximum size particle of #8 mesh.
- Portland cement used in the resurfacing mix must conform to the physical requirements of Federal Specification SS-C-192 white cement.
- Contractor must remove and replace in kind all existing racing lane tiles and tile is to be re-grouted, white.

- Contractor must chip and cut around fittings, anchors and drains removing at least 1" of the existing plaster so new plaster can be feathered, ensuring a smooth transition between old and new. Contractor will be responsible for replacing all items damaged during this process.
- Any cracks along the floor and on the walls, are to be cut and repaired. Cracks are to be cut to a depth of no less than ½" and extended no less than 1" at both ends. Once dry, contractor must lay a bead of caulk along the length of the crack leaving no less than ¼" space for the new plaster. Cracks along pool floor and wall in excess of 400 linear feet will be billed at a rate of \$\_\_\_\_\_ per linear foot (add as unit rate to pricing page).
- Contractor must remove and replace existing expansion joint caulk and tiles. New tiles must match existing white tiles. Contractor must use an elastomeric sealant equivalent to Vulkem #45 and is to be poured at a depth of no less than ½".
- The new whitecoat must meet all specifications in Federal Standard SS-C-192G for white cement.
- New whitecoat mixture must be applied at a thickness of no less than 1/2".
- Contractor is responsible for thoroughly cleaning the job site upon completion.
- Pool must be filled immediately.
- 33. Article 1.6 PROJECT DURATION/COMPLETION states the NPT will be issued on Aug 19th, 2024 and be substantially complete by May 1, 2025., which is 255 days.

Paragraph two, second sentence states "All work shall be completed within 12 months (365 consecutive calendar days)."

Please clarify the project duration.

Response: NTP is planned for construction to commence on Aug 19th, 2024 and the project must be substantially complete by May 1, 2025. A limited NTP will be provided once contracts are executed and bonds received (see IFB section 1.14 for timeline and other details required for bonds and contracts) in order to facilitate ordering of long lead time items and coordination planning. Time after substantial completion is provided for tasks such as remediation of warranty items and staff training and must be scheduled and coordinated around facility operations to the satisfaction of owner.

34. Utilities:

Page 642 (Sanitary Sewage Plan and Profile). This seems to be Storm Water Piping from Bio-Retention Pond to 24" RCP. The plan and pipe schedule both refer to Sanitary Sewer Piping. Please clarify.

# Response: Sanitary Sewer Plan and Profile sheet shows the plan and profile view of the sanitary sewer connection from the pump house to the existing 8" sanitary sewer. The symbol is a line with "SS". The proposed 12" HDPE storm drain is shown for reference on this sheet.

35. Utilities:

Can an allowance be established for the Work associated with the Washington Gas On-site relocation work. C-500 is calling for the base bid to include any fees associated with the gas line relocation.

### Response: See Addendum Clarification #3 above.

36. Waterproofing:

1/S-201. What is the depth of the existing footer assumed to be?

## Response: Historic Drawings are located at the link below. See 1968 Outdoor Pool, Pages 67 A2-13 and 67 A2-14. Aside from information provided on the plans, additional information is not available.

https://www.dropbox.com/scl/fo/ptfrbiszc2pxpcpoyx5ux/h?rlkey=kxgjivibwr1zpexa3v8nmt2iy&dl=0

37. Metals:

Can the existing guardrail and handrail please be added to Drawing L103, in the lower SE corner adjacent to the Existing Tree to remain. Need to understand where the existing transitions to the new. It would also be good to show Existing Handrails/Guardrails on 2/L104.

### Response: Sheets L103 & L104 has been updated with labels for the existing guardrails and handrails that are to remain.

38. Concrete:

Edge Condition Type 4 (3/L311) does not seem to align in design with the new concrete retaining wall shown on C-200 to the east of the pool deck, adjacent to the new stairs up to the building, mentioned above. Drawing L103 and section 2B/L301 seem to show this as a sloped planting area, no mention of a concrete wall.

### Response: See Sheet L103 for clarification, there are callouts for Edge Condition Type 4 & 5 which are different conditions in different areas.

39. Concrete:

Drawing C-200 What is the height of the new lawn retaining wall to the east of the pool deck, adjacent to the new stairs up to the building.

### Response: See Sheet C-210 Grading Plan for top and bottom of wall elevations.

40. Demolition:

Should we include an allowance for potential hazardous material abatement? We are thinking there could be some associated with the 1967 pool.

### Response: See Specification 02 41 19 Selective Demolition (IFB page 187 of 747) for details.

41. Demolition:

Drawing C-100 What is the anticipated make-up of the existing 1967 pool, calling to be demolished.

Response: Historic Drawings are located at the link below. See file for 1968 Outdoor Pool. Aside from information provided on the plans, additional information is not available.

https://www.dropbox.com/scl/fo/ptfrbiszc2pxpcpoyx5ux/h?rlkey=kxgjivibwr1zpexa3v8nmt2iy&dl=0

42. Demolition:

Drawing C-100 Please confirm we are to remove the existing concrete wall between the Existing Water Play Structure and the lower pool deck. The notes point to the adjacent stairs and bench, but not the wall itself.

### Response: See updated Sheet C-100 Existing Conditions and Demolition Plan.

43. General:

Would it be possible to extend the RFI deadline to March 29th to allow for additional time for contractor drawing review and question development.

### Response: The City is not extending the deadline for questions.

44. Pool Equipment Alternate:

Swimming Pool Heater Add Alternate 24 on MR-1 provides BOD and scope of work to be performed, on L101 Alternate 6 this scope of work is called out to be Design Build by the GC, please advise which nate scope the GC is to follow.

### Response: The note on L101 has been revised to reference MR-1 for more information. The contractor is responsible for the scope listed on MR-1.

### 45. Pool Equipment Alternate:

During the site visit the existing exhaust duct was brought into question due to proper sizing for both heater units. Please advise if a second exhaust duct will be required or if the existing exhaust can handle both units.

Response: See plan page MR-1, Note 24. It is the intent that the existing duct serve both the current and proposed heater, with the operational plan to only run one heater at a time. Design Build to include consideration to confirm the adequacy of proposed modifications.

Please sign below to acknowledge receipt of addendum and all corresponding appendices and exhibits and return with your bid.

Sincerely,

Jonathan Pierson, CPSM, C.P.M. Assistant Director

Company Name

Authorized Signature

Date

JWP/jwp

### ATTACHMENT A

Discipline	Drawing No.	Drawing Title	Revision	Drawing Date	Set Name	Notes
				2/22/2224		
Architect, Landscape	L001	Cover Sheet	1	3/29/2024	Addendum 1	
Civil	C-001	Civil Cover Sheet		2/23/2024	Bid Set	
Civil Civil	C-003 C-004	Stormwater Management Cover Sheet Sediment Control Cover Sheet		2/23/2024	Bid Set Bid Set	
Civil Civil	C-005 C-100	Site Plan Amendment Cover Sheet	1	2/23/2024	Bid Set	
	C-100 C-200	Existing Condition & Demolition Plan	1	3/29/2024	Addendum 1	
Civil Civil	C-205	Site Plan Site Details		2/23/2024 2/23/2024	Bid Set Bid Set	
Civil	C-210	Grading Plan		2/23/2024	Bid Set	
Civil	C-210	Retaining Wall Plan		2/23/2024	Bid Set	
Civil	C-301	Stormwater Management Plan		2/23/2024	Bid Set	
Civil	C-301	Drainage Area Map		2/23/2024	Bid Set	
Civil	C-302	Stormwater Management Details		2/23/2024	Bid Set	
Civil	C-320				Bid Set	
Civil	C-320 C-400	Storm Drainage Plan Erosion and Sediment Control Plan	1	2/23/2024	Addendum 1	
Civil	C-400		1	3/29/2024		
		Erosion and Sediment Control Details		2/23/2024	Bid Set	
Civil	C-410	Erosion and Sediment Control Notes	-	2/23/2024	Bid Set	
Civil	C-500	Utility Plan	1	2/23/2024	Bid Set	Now shoot
Civil	C-006	PWK Cover Sheet	1	3/29/2024	Addendum 1	New sheet
Civil	C-510	Sanitary Sewer Plan and Profile FCP Plan View	1	3/29/2024	Addendum 1	
Arborist				2/23/2024	Bid Set	
Arborist	LJ-2	FCP Plan Tables		2/23/2024	Bid Set	
Arborist	LJ-3	FCP Tree Table (TPAK)		2/23/2024	Bid Set	
Arborist	LJ-4	FCP Tree Table (TPAK)		2/23/2024	Bid Set	
Arborist	LJ-5	FCP Tree Table (TPAK)		2/23/2024	Bid Set	
Arborist	LJ-6	FCP FTPO Notes		2/23/2024	Bid Set	
Arborist	LJ-7	FCP Details		2/23/2024	Bid Set	
Arborist	LJ-8	FCP Details		2/23/2024	Bid Set	
Arborist	LJ-9	FCP Details Mitigation Planting		2/23/2024	Bid Set	
Architect, Landscape	L100	Overall Site Plan & Egress Diagram	1	3/29/2024	Addendum 1	
Architect, Landscape	L101	Reference Plan And Add Alternates	1	3/29/2024	Addendum 1	
Architect, Landscape	L101A	Reference Plan: Add Alternate: Movable Furniture	1	3/29/2024	Addendum 1	
Architect, Landscape	L102	Enlargment Plan	1	3/29/2024	Addendum 1	
Architect, Landscape	L103	Enlargment Plan	1	3/29/2024	Addendum 1	
Architect, Landscape	L104	Layout Plan	1	3/29/2024	Addendum 1	
Architect, Landscape	L105	Site Accessibility Plan		2/23/2024	Bid Set	
Architect, Landscape	L301	Sections and Elevations	1	3/29/2024	Addendum 1	
Architect, Landscape	L302	Sections and Elevations		2/23/2024	Bid Set	
Architect, Landscape	L303	Sections and Elevations	1	3/29/2024	Addendum 1	
Architect, Landscape	L311	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L312	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L312A	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L312B	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L313	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L314	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L315	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L316	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L317	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L318	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L319	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L320	Construction Details		2/23/2024	Bid Set	
Architect, Landscape	L401	Planting Plan		2/23/2024	Bid Set	
Architect, Landscape	L402	Planting Plan		2/23/2024	Bid Set	
Architect, Landscape	L411	Planting Details		2/23/2024	Bid Set	
Architect, Landscape	L601	Lighting Plan		2/23/2024	Bid Set	
Architect, Landscape	L602	Lighting Plan		2/23/2024	Bid Set	
Architect, Landscape	L603	Canopy Lighting Plan		2/23/2024	Bid Set	
Structural	S-001	General Notes		2/23/2024	Bid Set	
Structural	S-002	General Notes		2/23/2024	Bid Set	
Structural	S-100	Pump Room Repair Plan	1	3/29/2024	Addendum 1	
Structural	S-101	Sunning Deck Repair Plan	1	3/29/2024	Addendum 1	

### ATTACHMENT A

Churchard	6 200	Denotic Details		2/22/2024	Did Cat	[
Structural	S-200	Repair Details		2/23/2024	Bid Set	
Structural	S-201	Masonry & Repair Details	1	3/29/2024	Addendum 1	Chart Name Charter
Structural	S-202	Site Wall Key Plan and Details	1	3/29/2024	Addendum 1	Sheet Name Change
Aquatic	0-1	Overall Layout Plan		2/23/2024	Bid Set	
Aquatic	DP-1	Deck Plan North		2/23/2024	Bid Set	
Aquatic	DP-2	Deck Plan South		2/23/2024	Bid Set	
Aquatic	SP-1	Swimming Pool Layout		2/23/2024	Bid Set	
Aquatic	SP-2	Swimming Pool Plumbing		2/23/2024	Bid Set	
Aquatic	SP-3	Swimming Pool Sections		2/23/2024	Bid Set	
Aquatic	SL-1	Slide Layout		2/23/2024	Bid Set	
Aquatic	SL-2	Slide Plumbing	1	3/29/2024	Addendum 1	
Aquatic	SL-3	Details		2/23/2024	Bid Set	
Aquatic	SL-4	Details		2/23/2024	Bid Set	
Aquatic	AP-1	Activity Pool Layout		2/23/2024	Bid Set	
Aquatic	AP-2	Activity Pool Plumbing	1	3/29/2024	Addendum 1	
Aquatic	AP-2.1	Overall Plumbing Plan		2/23/2024	Bid Set	
Aquatic	AP-3	Activity Pool Sections		2/23/2024	Bid Set	
Aquatic	AP-4	Activity Pool Sections		2/23/2024	Bid Set	
Aquatic	AP-5	Details		2/23/2024	Bid Set	
Aquatic	AP-6	Details		2/23/2024	Bid Set	
Aquatic	AP-7	Details		2/23/2024	Bid Set	
Aquatic	AP-8	Details		2/23/2024	Bid Set	
Aquatic	AP-9	Details		2/23/2024	Bid Set	
Aquatic	AP-10	Details		2/23/2024	Bid Set	
Aquatic	AP-11	Details		2/23/2024	Bid Set	
Aquatic	AP-11 AP-12	Details		2/23/2024	Bid Set	
	AP-12 AP-13					
Aquatic		Details		2/23/2024	Bid Set	
Aquatic	AP-14	Details		2/23/2024	Bid Set	
Aquatic	AP-15	Details		2/23/2024	Bid Set	
Aquatic	AP-16	Details		2/23/2024	Bid Set	
Aquatic	AP-17	Details		2/23/2024	Bid Set	
Aquatic	AP-18	Details		2/23/2024	Bid Set	
Aquatic	AP-19	Details		2/23/2024	Bid Set	
Aquatic	AP-20	Details		2/23/2024	Bid Set	
Aquatic	MR-1	Mechanical Room Layout	1	3/29/2024	Addendum 1	
Aquatic	MR-1.1	Mechanical Room Plumbing Layout	1	3/29/2024	Addendum 1	
Aquatic	MR-2	Details		2/23/2024	Bid Set	
Aquatic	MR-3	Details		2/23/2024	Bid Set	
Aquatic	MR-4	Details		2/23/2024	Bid Set	
Aquatic	MR-5	Details		2/23/2024	Bid Set	
Aquatic	MR-6	Details		2/23/2024	Bid Set	
Aquatic	MR-7	Details		2/23/2024	Bid Set	
Aquatic	MR-8	Details		2/23/2024	Bid Set	
Aquatic	MR-9	Details		2/23/2024	Bid Set	
Aquatic	MR-10	Details		2/23/2024	Bid Set	
Electric	E001	Specifications and Symbols		2/23/2024	Bid Set	
Electric	E002	Demolition Site Plan		2/23/2024	Bid Set	
Electric	E003	Demolition Site Plan		2/23/2024	Bid Set	
Electric	E004	Site Plan		2/23/2024	Bid Set	
Electric	E005	Site Plan		2/23/2024	Bid Set	
Electric	E005	Pool Equipment Room Demolition, Power & Lighting Plans		2/23/2024	Bid Set	
Electric	E008	Bath House & Snack Bar Demolition and New Work Plans		2/23/2024	Bid Set	
Electric	E007	Fitness Pool Storage Room Demolition & New Work Plans		2/23/2024	Bid Set	
Electric	E009	Bath House Riser Diagrams		2/23/2024	Bid Set	
Electric	E010	Snack Bar and Pool Equipment Room Riser Diagrams		2/23/2024	Bid Set	
Electric	E011	Panel and Light Fixture Schedules		2/23/2024	Bid Set	
Electric	E012	Panel Schedules		2/23/2024	Bid Set	
Electric	E013	Panel Schedules		2/23/2024	Bid Set	
Plumbing	P001	Specifications and Symbols		2/23/2024	Bid Set	
Plumbing	P002	Site Plan		2/23/2024	Bid Set	
Plumbing	P003	Floor Plan		2/23/2024	Bid Set	
Plumbing	P004	Risers, Schedules, and Details		2/23/2024	Bid Set	

### ATTACHMENT A

Mechanical	M-101	Mechanical Room Demolition & New Work Plans		2/23/2024	Bid Set	
Architect, Landscape	L001	Cover Sheet	1	3/14/2024		New Sheet, Review Comments
Civil	C-001	Civil Cover Sheet	1	3/14/2024		New Sheet, Review Comments
Architect, Landscape	L100	Overall Site Plan & Egress Diagram	1	3/14/2024		New Sheet, Review Comments
Architect, Landscape	L102	Enlargment Plan	1	3/14/2024		New Sheet, Review Comments

# **ROCKVILLE SWIM & FITNESS CENTER OUTDOOR RECREATION POOL RENOVATIONS**



	LSG LANDSCAPE CLARK   AZAR & ARCHITECTURE ASSOCIATES, INC.	AQUATIC SPECIALIST AQUATIC DESIGN GROUP, INC.	UNIVERSAL DESIGNERS & CONSULTANTS INC.	WETLAND STUDIES & SOLUTIONS INC.	G R E E N M A P E D E R S E		DIAMONDBACK . ENGINEERING LLC	DIAMO
	LANDSCAPE ARCHITECT	RECREATIONAL POOL AND	ADA COMPLIANCE REVIEW	ARBORIST	STRUCTURAL			
1	10. PROVIDE SUBMITTALS, SHOP DRAWINGS, SAMPLES, AND MOCKUPS FOR REVIEW ORDERING/CONSTRUCTING. CONTRACTOR SHALL BEAR RESPONSIBILITY FOR WING MATERIALS ORDERED PRIOR TO OBTAINING THE ARCHITECT'S APPROVAL. CONTRACTION, AS DIRECTED BY THE ARCHITECT.	WORK UNDERTAKEN AND/OR M. ITRACTOR SHALL BEAR THE COSTS 16. CO FC	EQUIPMENT SERVING THE EXISTING FITNESS POO MARCH – OCTOBER. CONTRACTOR RESPONSIBLE FOR COORDINATING FOR FINAL DECISION ON GAS LINE RELOCATION. E INE RELOCATION. NPL CONTACT INFO: KAREN M	WITH WASHINGTON GAS AND NPL (THIRD PAR BASE BID TO INCLUDE ANY FEES ASSOCIATED \	TY CONTRACTOR) WITH THE GAS	70 SI 71 S 72 SI	P-2 SWIMMING POOL PLUMBING P-3 SWIMMING POOL SECTIONS 51-1 SLIDE LAYOUT L-2 SLIDE PLUMBING L-3 DETAILS	
9	9. THESE PLANS ARE REPRESENTATIVE OF DESIGN INTENT ONLY AND, AS SUCH, D HORIZONTAL RELATIONSHIPS, MATERIALS AND FINISHES. SUBMIT SHOP DRAWIN INDICATING ELECTRICAL AND STRUCTURAL DESIGNS APPROPRIATE TO ENSURE	INGS FOR ARCHITECT'S REVIEW	xviij. 2021 INTERNATIONAL SWIMMING POOL AN PERMIT NUMBERS ASSOCIATED WITH PROJECT: P			67 D 68 S	PP-2 DECK PLAN SOUTH P-1 SWIMMING POOL LAYOUT	
8	<ol> <li>ALL DIMENSIONS SHOWN ON L-SERIES PLANS ARE PARALLEL AND PERPENDICUL DIMENSIONS SHOWN ARE TO THE FACES OF WALLS AND BACKS OF CURBS, UNLI SCALE DIMENSIONS OFF THE DRAWINGS.</li> </ol>	ESS OTHERWISE NOTED. DO NOT	xvii. CITY OF ROCKVILLE STORMWATER ORDIN HTTPS://WWW.ROCKVILLEMD.GOV/2375/ST xviii. CITY OF ROCKVILLE, DEPARTMENT OF PU LATEST EDITION	ORMWATER-MANAGEMENT-PERMIT	ONSTRUCTION,	64 S-2 65 C	202 SITE WALL KEY PLAN AND DETAILS 1 D-1 OVERALL LAYOUT PLAN	
	ALERT ARCHITECT OF SUCH CONDITIONS IN WRITING. THE CONTRACTOR SHAL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICAT	LL ASSUME COMPLETE TION.	<ul> <li>xv. CITY OF ROCKVILLE AMENDMENTS: HTTP</li> <li>xvi. CITY OF ROCKVILLE FOREST AND TREE PI HTTPS://WWW.ROCKVILLEMD.GOV/1066/FC</li> </ul>	RESERVATION ORDINANCE: DRESTRY	ND-OAFETY-CUDES	62 S-	-101 SUNNING DECK REPAIR PLAN 200 REPAIR DETAILS -201 MASONRY & REPAIR DETAILS	
7	<ul> <li>ELEVATIONS IN THE FIELD AND ADJUST TOP OF WALL ELEVATIONS, AS APPROVE THE DESIGN INTENT.</li> <li>7. DO NOT PROCEED WITH CONSTRUCTION WHEN OBSTRUCTIONS AND/OR GRADE</li> </ul>		EDITION xiv. ENERGY EFFICIENCY – 2018 INTERNATION	AL ENERGY CONSERVATION CODE		59 S-0 60 S-	-001 GENERAL NOTES 002 GENERAL NOTES 100 PUMP ROOM REPAIR PLAN	
6	<ul><li>HOURS IN ADVANCE OF STAKEOUT.</li><li>6. PRIOR TO CONSTRUCTION OF WALLS, CONTRACTOR IS RESPONSIBLE FOR VERI</li></ul>	IFYING ACTUAL FINISH GRADE	<ul> <li>xi. FIRE ALARM – 2016 NFPA 72 FIRE ALARM C</li> <li>xii. AMERICAN CONCRETE INSTITUTE (ACI) ST</li> <li>xiii. MARYLAND STANDARDS AND SPECIFICAT</li> </ul>	ANDARDS, LATEST EDITION		57 Lé	602       LIGHTING PLAN         603       CANOPY LIGHTING PLAN         001       GENERAL NOTES	
5	<ul> <li>ASSOCIATED WITH REMEDIAL ACTION, AS DIRECTED BY ARCHITECT.</li> <li>ARCHITECT SHALL APPROVE STAKING IN FIELD OF ALL WORK PRIOR TO CONST</li> </ul>		ix. GAS – 2015 INTERNATIONAL FUEL GAS CO x. SPRINKLER – 2016 NFPA 13 FIRE SPRINKLI	DE ER CODE		54 L4	411     PLANTING DETAILS       601     LIGHTING PLAN	
4	4. FIELD STAKEOUT SURVEYOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CO DISCREPANCIES BETWEEN SITE FIELD CONDITIONS AND STAKING PLAN PRIOR T ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. CO WORK PERFORMED PRIOR TO VERIFICATION OF STAKING PLAN. CONTRACTOR \$	TO CONSTRUCTION. NOTIFY ONTRACTOR IS RESPONSIBLE FOR	<ul> <li>vi. MECHANICAL – 2018 INTERNATIONAL MEC</li> <li>vii. PLUMBING - 2018 INTERNATIONAL PLUMBI</li> <li>viii. ELECTRICAL – 2017 NATIONAL ELECTRICA</li> </ul>	HANICAL CODE NG CODE		52 L4	320   PRODUCT SCHEDULE     401   PLANTING PLAN     402   PLANTING PLAN	
1	LOCATION, TOPOGRAPHY, AND PROPOSED GRADING PROVIDED BY CLARK   AZA GERMANTOWN, MD. 4. FIELD STAKEOUT SURVEYOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CO		<ul> <li>iv. AMERICANS WITH DISABILITIES ACT AS AN MARYLAND ACCESSIBILITY CODE (COMAR</li> <li>v. BUILDING CODE - 2018 INTERNATIONAL BUILDING CODE -</li></ul>	05.02.02)	SIBLE DESIGN &	49 L3	318     CONSTRUCTION DETAILS       319     CONSTRUCTION DETAILS	
3	CONTACTING MISS UTILITY. 3. BASE INFORMATION INCLUDING, BUT NOT LIMITED TO, RIGHTS-OF-WAY, EASEME		iii. CODE OF MARYLAND REGULATIONS (COM MARYLAND REGULATIONS (COMAR) 09.12.	AR)10.17.01: PUBLIC SWIMMING POOLS AND SP 63: WATER SLIDES	AS, CODE OF	47 L3	<ul> <li>315 CONSTRUCTION DETAILS</li> <li>316 CONSTRUCTION DETAILS</li> <li>317 CONSTRUCTION DETAILS</li> </ul>	
2	2. CONTACT 'MISS UTILITY' 48 HOURS PRIOR TO THE START OF CONSTRUCTION. CO BEING FAMILIAR WITH ALL PUBLIC AND PRIVATE UNDERGROUND UTILITIES, PIPE	CONTRACTOR IS RESPONSIBLE FOR	i. MONTGOMERY COUNTY EXECUTIVE REGU	ILATION: 22-12, MANUAL ON SWIMMING POOL C		45 L3	313     CONSTRUCTION DETAILS       314     CONSTRUCTION DETAILS	
	COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL C STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES A SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.	AND, FURTHER, CONTRACTOR	APPLICATION. OBTAIN ALL NECESSARY PERMITS CODES AND STANDARDS USED FOR THIS PROJEC SUBCONSULTANTS DRAWING SETS FOR ADDITION	F, INCLUDING BUT NOT LIMITED TO THE FOLLO		42 L3	12A     CONSTRUCTION DETAILS       12B     CONSTRUCTION DETAILS	
	SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ARCHITECT OF RECORD, IN WR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILU ARCHITECT SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTA	JRE TO NOTIFY THE PROJECT 13. AI	ALL WORK SHALL CONFORM TO THE PROVISIONS STANDARDS OF CITY OF ROCKVILLE AND MARYLA	,	,	40 L3	303 SECTIONS AND ELEVATIONS 311 CONSTRUCTION DETAILS 312 CONSTRUCTION DETAILS	
	AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFIC/ APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINAN	CATIONS OR THE RELATIVE OR NCES, IT IS THE CONTRACTOR'S 12. AI	ALL EQUIPMENT SERVING THE EXISTING FITNESS		THE MONTHS OF	38 L3	301 SECTIONS AND ELEVATIONS 302 SECTIONS AND ELEVATIONS	
1	1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CON BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE	D WITH THE PROJECT WORK SCOPE SI	ALL IMPROVEMENTS SHOWN WITHIN THE PUBLIC F SUBJECT TO FINAL APPROVAL BY THE APPROPRIA CITY OF ROCKVILLE AND/OR MARYLAND PRIOR TO	TE AUTHORITY OR JURISDICTION. OBTAIN APP		35	104 LAYOUT PLAN 105 SITE ACCESSIBILITY PLAN	
	GENERAL NOTES:			• • • •		33 L1	01A REFERENCE PLAN: ADD ALTERNATE: MOVABLE FU 102 ENLARGEMENT PLAN 103 ENLARGEMENT PLAN	
	LOCATION MAD NTS	A CONTRACTOR OF A	POOL STORAG	Businessenationalisticitationalisticitation	П	30 L1 31 L	100OVERALL SITE PLAN & EGRESS PATH DIAGRAM101REFERENCE PLAN AND ADD ALTERNATES	
			SNACK BAR FITNES			28 L.	J-9 FCP MITIGATION PLANTING	
						26 L.	J-5 FCP TREE TABLE (TPAK) J-6 FCP FTPO NOTES J-7 FCP DETAILS	
	NAY 200	PROJECT SITE					J-3 FCP TREE TABLE (TPAK) J-4 FCP TREE TABLE (TPAK)	
	HAR AND	IS IN				21 L.	J-1 FCP PLAN VIEW J-2 FCP PLAN TABLES	
	CART AND A CONTRACT OF MARY			SLIDES		19 C-	-500 UTILITY PLAN	1
						16 C-	-405 EROSION AND SEDIMENT CONTROL DETAILS -410 EROSION AND SEDIMENT CONTROL NOTES	
		MANNAKEEST	ASSOCIATE		BELOW.	13 C- 14 C- 15 C-	-305 STORMWATER MANAGEMENT DETAILS -320 STORM DRAINAGE PLAN -400 EROSION AND SEDIMENT CONTROL PLAN	<u></u>
		CT CT		OMMUNICATION AND PHYSICAL LABELS ON PC		12 C-	-301 STORMWATER MANAGEMENT PLAN -302 DRAINAGE AREA MAP	
	BID DOCUMENTS					9 C-	-210 GRADING PLAN -220 RETAINING WALL PLAN	
	DEPARTMENT OF RECREATION A	AND PARKS				7 C-	-100 EXISTING CONDITIONS & DEMOLITION PLAN -200 SITE PLAN -205 SITE DETAILS	
	RENOVATIONS						-005 SITE PLAN AMENDMENT COVER SHEET	A

8260 GREENSBORO DRIVE SUITE 325 TYSONS, VA 22102 703-821-2045

20440 CENTURY BOULEVARD, SUITE 220 GERMANTOWN, MD 20874 204-912-3499

GROUP, INC. 2226 FARADAY AVE. CARLSBAD, CA 92008 800.938.0542

6909 LAUREL AVENUE

SHEET #

2

3

4

1 (LOOT COVER SHEET

# **INDEX OF**

DESCRIPTION

C-001 CIVIL COVER SHEET

C-004 SEDIMENT CONTROL COVER SHEET

C-003 STORMWATER MANAGEMENT COVER SHEET

9501 FOXLAIR PLACE GAITHERSBURG, MD 20882 301.717.1353

5300 WELLINGTON BRANCH DRIVE

GAINESVILLE, VA 20155

SUITE 100

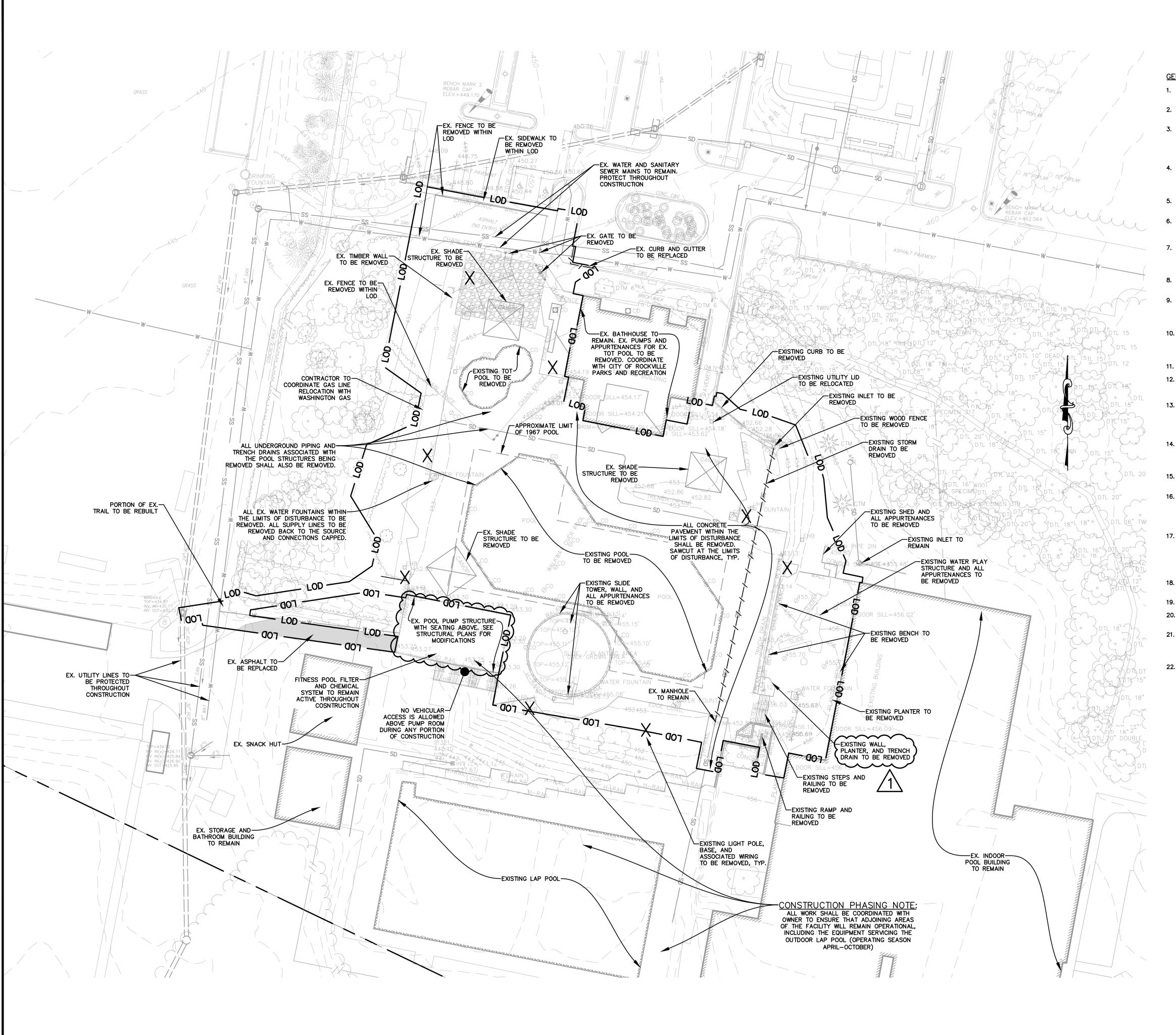
410.672.5990

530 GAITHER ROAD, SUITE 100

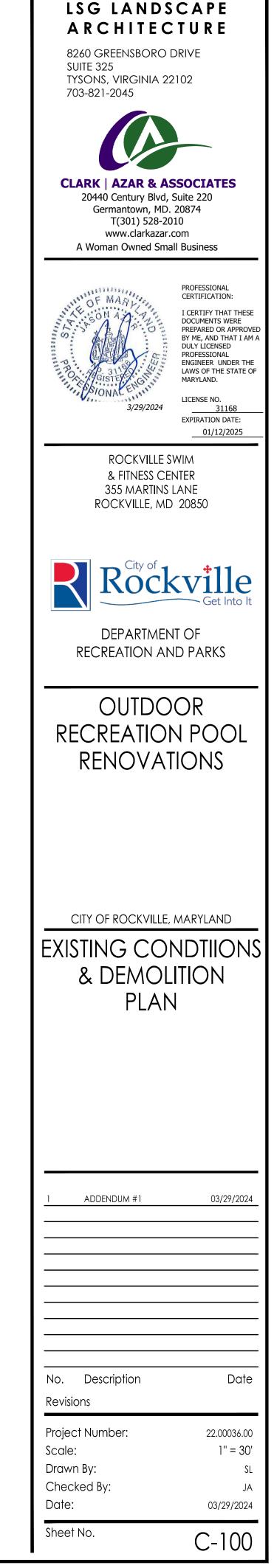
ROCKVILLE, MD 20850

240.268.1820

OF DRAWINGS								
	SHE	ET #	DESCRIPTION	ARCHITECTURE				
	74	SL-4	DETAILS	8260 GREENSBORO DRIVE SUITE 325				
Ļ	75	AP-1		TYSONS, VIRGINIA 22102				
ŀ	76 🤇	ÅP-2		703-821-2045				
╞	77	AP-2.1	OVERALL PLUMBING PLAN	41				
╞	78	AP-3		-1				
┝	79 80	AP-4	ACTIVITY POOL SECTIONS	-1				
┝	80	AP-5	DETAILS	-1				
┝	81 82	AP-6	DETAILS DETAILS	-1				
╞	82	AP-7		PROFESSIONAL CERTIFICATION:				
╞	84	AP-8 AP-9	DETAILS DETAILS					
╞	85	AP-9 AP-10	DETAILS	OF MARIAN DOCUMENTS WERE				
┝	86	AP-11	DETAILS	APPROVED BY ME,				
_	87	AP-12	DETAILS					
-	88	AP-13	DETAILS					
	89	AP-14	DETAILS	ARCHITECT UNDER ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAN				
•	90	AP-15	DETAILS					
•	91	AP-16	DETAILS	LICENSE NO. 4140				
	92	AP-17	DETAILS	- EXPIRATION DATE 11/13/2025				
	93	AP-18	DETAILS					
	94	AP-19	DETAILS	ROCKVILLE SWIM & FITNESS CENTER				
_	95	AP-20	DETAILS	355 MARTINS LANE				
_	96	MŘ-1		ROCKVILLE, MD 20850				
	97	MR-1.1						
Ļ	98	MR-2	DETAIL					
╞	99	MR-3	DETAIL	Rockville				
╞	100	MR-4	DETAIL					
╞	101	MR-5	DETAIL					
╞	102	MR-6 MR-7	DETAIL					
╞	103	MR-7 MR-8	DETAIL	RECREATION AND PARKS				
╞	104	MR-8	DETAIL					
╞	105	MR-10	DETAIL	OUTDOOR				
╞	107	E001	SPECIFICATIONS AND SYMBOLS	RECREATION POOL				
╞	108	E002	DEMOLITION SITE PLAN					
F	109	E003	DEMOLITION SITE PLAN	RENOVATIONS				
╞	110	E004	SITE PLAN					
F	111	E005	SITE PLAN					
F	112	E006	POOL EQUIPMENT ROOM DEMOLITION, POWER & LIGHTING PLANS	5				
╞	113	E007	BATH HOUSE & SNACK BAR DEMOLITION AND NEW WORK PLANS					
ſ	114	E008	FITNESS POOL STORAGE ROOM DEMOLITION & NEW WORK PLANS					
ſ	115	E009	BATH HOUSE RISER DIAGRAMS	– 355 MARTINS LANE				
	116	E010	SNACK BAR AND POOL EQUIPMENT ROOM RISER DIAGRAMS	CITY OF ROCKVILLE, MARYLAND				
	117	E011	PANEL AND LIGHT FIXTURE SCHEDULES					
	118	E012	PANEL SCHEDULES	COVER SHEET				
L	119	E013	PANEL SCHEDULES	_1				
Ļ	120	P001	SPECIFICATIONS AND SYMBOLS	41				
Ļ	121	P002						
ŀ	122	P003						
Ļ	123	P004	RISERS, SCHEDULES AND DETAILS					
╞	124	M-001	SPECIFICATIONS, LEGEND, NOTES, ABBREVIATIONS & SCHEDULES	BID SET				
L	125	M-101	MECHANICAL ROOM DEMOLITION & NEW WORK PLANS					
				1 ADDENDUM 1 03/29/2				
	ENGIN		MECHANICAL ENGINEER	No. Description Do				
			<b>GREENMAN-</b>	Revisions				
				Project Number:				
4 1		NG	LC PEDERSEN, INC.	Project Number: 22.00036 Scale: AS SHOV				
				Drawn By: AD, HW,				
١R		0000						
٨IR	PLACE RG, MD 2	0882	530 GAITHER ROAD, SUITE 100 ROCKVILLE, MD 20850 240.268.1820					



ATTACHMENT B



GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE LIMITED TO STORING MATERIALS WITHIN THE LIMITS OF DISTURBANCE FOR THIS PROJECT.

2. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH THE CITY OF ROCKVILLE DEPARTMENT OF PARKS AND RECREATION.

3. CONTRACTOR SHALL PROVIDE REQUIRED SIGNAGE AND FLAGMEN ALONG ALL PUBLIC STREETS ADJACENT TO THE SITE, TO ASSURE THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC IF REQUIRED. ALL TRAFFIC CONTROLS MUST BE IN ACCORDANCE WITH THE MOST CURRENT MUTCD AND MdMUTCD REQUIREMENTS AND WITH THE MOST CURRENT MONTGOMERY COUNTY DOT WORK ZONE TRAFFIC CONTROL STANDARDS AND DETAILS.

4. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE MOST CURRENT APPLICABLE EPA, OSHA, AND MOSHA REGULATIONS AND MUST COMPLY WITH THE MOST CURRENT FEDERAL, STATE AND/OR LOCAL REGULATIONS AND CODES APPLICABLE TO SAID WORK.

5. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK WITH REPRESENTATIVE UTILITY COMPANIES AND IMPLEMENTING REQUIRED UTILITY-RELATED WORK ACCORDINGLY.

6. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY UPON ENCOUNTERING ANY HAZARDOUS MATERIALS. THE CONTRACTOR SHALL DOCUMENT SAME TO THE OWNER TO OBTAIN DIRECTION AS TO THE APPROPRIATE ACTION(S) TO BE TAKEN.

WHERE NEW WORK IS TO BE DONE, CARE SHALL BE TAKEN TO PROTECT ALL EXISTING ADJACENT SURFACES, STRUCTURES, AND AREAS FROM DAMAGE. ANY ITEM SHOWN TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.

8. CONTRACTOR SHALL BACKFILL EXCAVATED AREAS WITH ACCEPTABLE MATERIAL, AS SPECIFIED IN THE CONTRACT DOCUMENTS.

9. THE CONTRACTOR SHALL SHEET/SHORE AND BRACE ANY AND ALL STRUCTURES EXPOSED BY EXCAVATION/CONSTRUCTION IF REQUIRED AND SHALL CONTAIN ALL EXCAVATION WITHIN THE LIMITS OF DISTURBANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF SHEETING AND SHORING IN ACCORDANCE WITH LOCAL, STATE, OR FEDERAL REQUIREMENTS.

10. IN THE EVENT THAT, DURING DEMOLITION OR CONSTRUCTION ACTIVITIES THE CONTRACTOR ENCOUNTERS ANY EXISTING UTILITIES/STRUCTURES NOT SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER FOR DIRECTIONS PRIOR TO PROCEEDING WITH ANY WORK.

11. ALL SAWCUTS ARE TO BE STRAIGHT AND EVEN, JAGGED EDGES WILL NOT BE ACCEPTED.

12. IT IS THE INTENT OF THE DEMOLITION PHASE TO PROVIDE A SITE CLEAR OF ALL PHYSICAL CONSTRUCTIONS THAT WILL IMPEDE NEW CONSTRUCTION. PHASE STORM DRAIN REMOVAL AND GRADING AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION.

13. THE DEMOLITION PLAN IS INTENDED TO PROVIDE AN OVERALL INTENT OF DEMOLITION THAT WILL BE PERFORMED THROUGHOUT CONSTRUCTION. SOME DEMOLITION IS PHASED AND PROGRESSES AS CONSTRUCTION CONTINUES. ALL DEMOLITION MUST BE PERFORMED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND THE SEQUENCE OF CONSTRUCTION.

14. PRIOR TO THE START OF CONSTRUCTION AN ON-SITE MEETING WITH THE CITY OF ROCKVILLE DEPARTMENT OF PARKS AND RECREATION, THE ROCKVILLE SWIM & FITNESS CENTER, AND THEIR GENERAL CONTRACTOR SHALL BE HELD TO DISCUSS TIMING OF OPERATIONS AND CONSTRUCTION COORDINATION.

15. BEFORE ANY EXCAVATION BELOW SUBGRADE IS ALLOWED, THE CONTRACTOR SHALL VERIFY THAT NO UTILITY PIPING IS IN THE VICINITY OF EXCAVATION.

16. THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL UNDERGROUND UTILITIES IN THE AREA OF PROPOSED WORK ARE LOCATED PRIOR TO COMMENCING CONSTRUCTION WORK. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

17. THE CONTRACTOR IS ALSO RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (NOT LOCATED BY MISS UTILITY) WITHIN THE PROPERTY AT THEIR EXPENSE. ALL UTILITIES SHOWN ON THE PLANS ARE PROVIDED FOR INFORMATION ONLY AND SHALL BE CONSIDERED APPROXIMATE. THE CITY OF ROCKVILLE WILL NOT LOCATE ANY OF THE EXISTING UNDERGROUND UTILITIES. ANY UTILITIES OR OTHER UNDERGROUND FACILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.

18. WHEN AN ITEM IS STATED TO BE REMOVED, IT SHALL INCLUDE REMOVAL OF ANY AND ALL APPURTENANCES ABOVE OR BELOW GRADE ASSOCIATED WITH SAID ITEM.19. ALL SIDEWALKS ARE TO BE REMOVED AT THE NEAREST WHOLE PANEL.

20. ANY MANHOLE, VALVE, OR OTHER UTILITY THAT IS TO REMAIN WITHIN THE LIMITS OF DISTURBANCE SHALL HAVE THEIR LIDS MODIFIED TO MEET PROPOSED GRADE.

21. BEFORE DEMOLITION BEGINS, CONTRACTOR SHALL HOLD MEETING WITH OWNER TO DETERMINE WHICH DEMOLITION ITEMS ARE TO BE SALVAGED TO THE OWNER. ALL DEMOLITION AND SALVAGING TO BE CONDUCTED BY THE CONTRACTOR. OWNER TO SPECIFY LOCATION FOR SALVAGED ITEMS

22. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS FROM ALL DISCIPLINES TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS BEFORE COMMENCING ANY WORK

DEMOLITION	LEGEND

EXISTING LIGHT POLE, BASE, AND

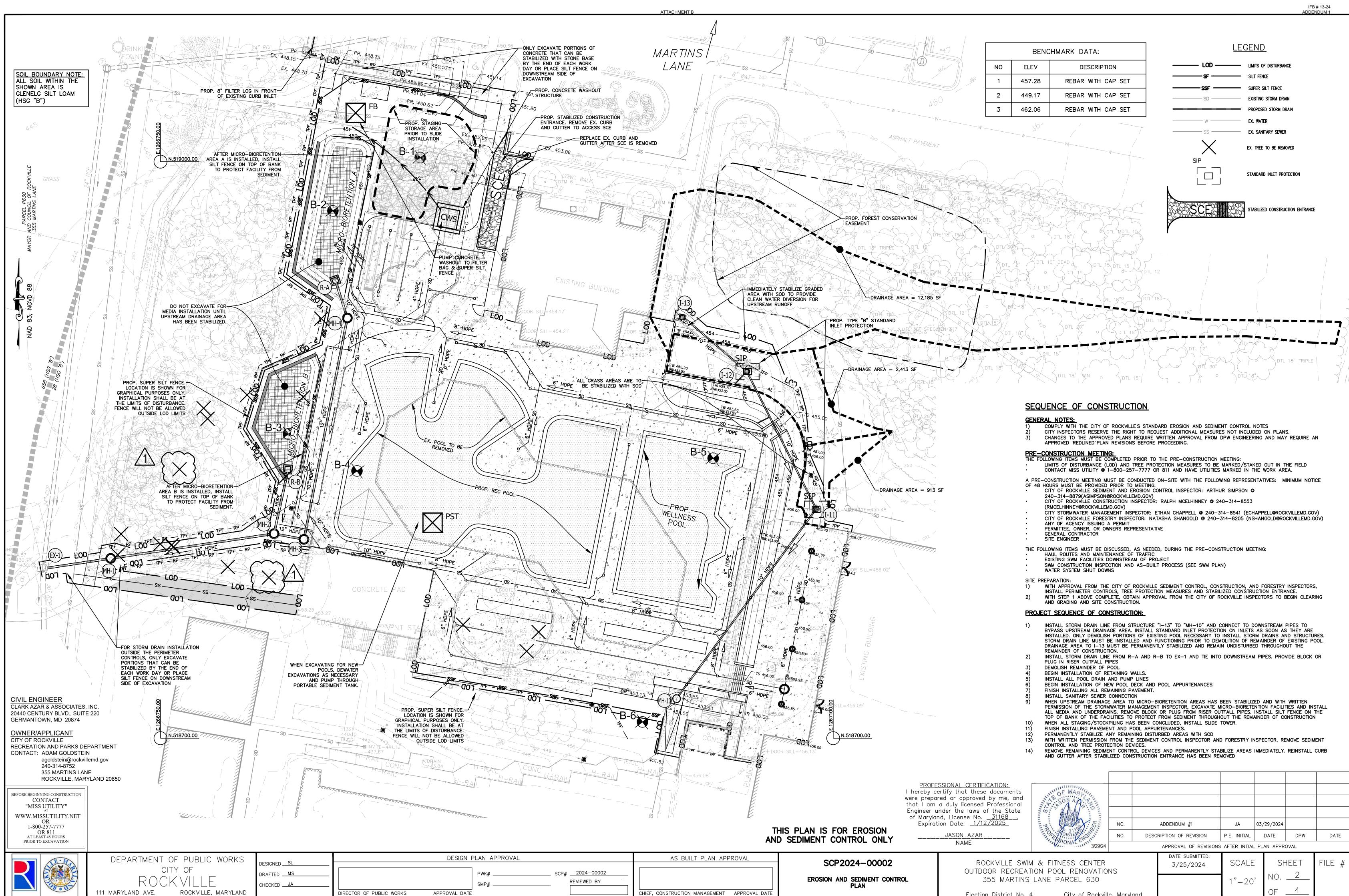
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ASSOCIATED WIRING TO BE REMOVED EX. ASPHALT TO BE REMOVED

EXISTING STORM DRAIN TO BE REMOVED





Page 16 of 42

NAL CERTIFICATION:									
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uly licensed Professional the laws of the State	S 2 4 1 5 10								
_icense No. <u>31168</u> , Date: <u>1/12/2025</u>			NO.		ADDENDUM #1	JA	03/29/2024		
SON AZAR		NO. DESCRIPTION OF REVISION			P.E. INITIAL	DATE	DPW	DATE	
NAME	3/29/24	APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL							
ROCKVILLE SWIM & FITNESS CENTER			DATE SUBMITTED: 3/25/2024	SCALE	SH	IEET	FILE #		
OUTDOOR RECREATION POOL RENOVATION 355 MARTINS LANE PARCEL 630					1"=20	, NO.			
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# **ROCKVILLE SWIM AND FITNESS CENTER** OUTDOOR RECREATION POOL RENOVATIONS PWK2024-00048

ATTACHMENT B

### **GENERAL NOTES** November 2016

- 1. The Applicant is the entity for which the City of Rockville Department of Public Works (DPW) has issued a permit. For DPW projects where a permit is not applicable, the entity for which the City contract is issued shall be considered the Applicant in these notes. The Applicant is responsible for all contractors, agents, subcontractors, or other entities completing work under this permit and/or approved plan.
- 2. The Applicant must arrange a pre-construction meeting prior to commencing any work. Provide at least 48 hours of notice to the following: City Project Inspector listed in the permit, City Forestry Inspector at 240-314-8713, if required by either a DPW and/or Forestry permit, or DPW Sediment Control Inspector at 240-314-8879, if required by permit.
- 3. The Applicant must contact Miss Utility at 1-800-257-7777 or #811 or missutility.net so that utilities are marked prior to holding any pre-construction meeting.
- 4. Information concerning existing underground utilities was obtained from available records. The Contractor must determine the exact location and elevation of existing utilities by digging test pits at the utility crossings well in advance of trenching. If clearance is less than shown on this plan, contact the Professional Engineer who stamped the design plans before proceeding with construction.
- 5. Maintain a minimum one-foot vertical clearance between all City utilities crossing any other utility. Unless otherwise noted, maintain a five-foot horizontal clearance with between a City utility with any other utility or structure. The only exception is that there shall be a ten-foot horizontal clearance between City water and sewer mains.
- 6. At the end of each day, all trenches shall be backfilled, all equipment secured, and the area left in a safe condition. Steel plates are allowed to remain no longer than seven days. Plates are to be notched (recessed) and pinned to the roadway. Plates must be large enough to allow a minimum of one-foot bearing on all four sides of the pavement surrounding the excavation. The steel plate requirements only apply to public streets.
- 7. The public road utility patch shall be in accordance with City Standard Detail #60, or as shown on the plans. All trenches in public streets shall be filled with compacted Graded Aggregate Base (GAB) from below the pavement to the top of the pipe embedment zone or to a depth of five-feet, whichever is less.
- 8. DPW normal working hours are Monday through Friday, except holidays, from 7 a.m. to 5 p.m. The City observes the following holidays: New Year's Day, Martin Luther King's Birthday, President's Day, Memorial Day, Independence Day, Labor Day, Veterans' Day, Thanksgiving Day, Thanksgiving Friday, and Christmas Day, and all days of general and congressional elections throughout the State. The Contractor will not be permitted to close lanes or do any work that requires the services of the City forces, outside of the normal working hours, unless listed in the permit or authorized by DPW in writing. However, the Contractor, with verbal permission of DPW may be permitted to work outside of the normal work hours for clean-up activities or other such items that do not adversely impact traffic, residents or City services.
- 9. Traffic must be maintained on all roadways within the construction area as directed by DPW. No lane closure shall be permitted between 7:00-9:00 A.M. or 3:30-6:00 P.M. Monday through Friday. An exception is that lane closures are permitted on secondary residential streets at any time during normal working hours. Deployment and design of all traffic control devices shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devises (MUTCD). If required, traffic control plans shall be reviewed and approved by the Chief of the Traffic and Transportation Division. DPW may suspend lane closure or other traffic controls at any time during, or in advance of, inclement weather events.
- 10. Sheeting and shoring is the total responsibility of the Applicant. A Professional Engineer licensed in the State of Maryland shall seal these drawings. Provide three copies to DPW for informational proposes only.
- 11. In addition to all City permits, the Applicant is responsible to ensure that all necessary Federal, State and/or Montgomery County approvals and/or permits have been obtained in association with this approved plan.
- 12. Shop drawings must be prepared and sealed by a Professional Engineer licensed in the State of Maryland prior to fabrication. The Professional Engineer who sealed the design plans (but not the shop drawings) must approve the shop drawings for conformance to the approved design. Provide three copies of approved shop drawings to DPW prior to construction. Standard pre-cast structures previously approved by the Maryland State Highway Administration, Montgomery County and Washington Suburban Sanitation Commission do not require a shop drawing submission. Use actual field soils data for design of pipes and structures. All pipes and structures in paved areas shall be designed for HS-20 vehicle loading.
- 13. Upon completion of construction, the Applicant shall provide three sets of red lined As-Built prints (24" x 36") for review and approval by DPW. The drawings must contain the original approval signatures and Professional Engineer's seal and signature (a scanned image of the original mylar is acceptable). The As-Built shall be sealed by a Professional Engineer or Professional Surveyor, as appropriate and must be licensed by the State of Maryland. The seal shall note that it is only for the As-Built and shall include an as-built certification acceptable to DPW. Upon receipt of written approval, the Applicant shall provide approved As-Built mylar drawings along with the original mylars (with all original signatures) to DPW prior to the release of the permit.
- 14. The Applicant must comply with the Montgomery County Noise Control Ordinance. Please refer to the Montgomery County Department of Environmental Protection at 240-777-7770, askdep@montgomerycountymd.gov, or www.montgomerycountymd.gov/DEP.

### **GEOTECHNICAL NOTES** November 2016

- 1. The Applicant shall be responsible for all subgrade inspection and soil compaction testing associated with any work within a City right-of-way, private property subject to a public access easement, or private property subject to City easement for public utilities or public improvements; and/or any work associated with a sediment control facility, or stormwater management practice. This work shall be completed by or under the supervision of a Professional Engineer licensed in the State of Marvland. For the purposes of these notes and associated approved plans, this Engineer shall be referred to as the Geotechnical Engineer and shall be an independent firm from the Applicant.
- 2. Any plans subject to NRCS-MD Pond Code 378 Standards/Specifications, as shown on the plans, shall supersede these notes when these notes are less stringent or in case of conflict. Any reference to the Engineer in the 378 Standard/Specifications shall be the Professional Engineer who stamped and sealed the design plans. Any reference to the Geotechnical Engineer shall be the Geotechnical Engineer as defined above or the Geotechnical Engineer who completed certain aspects of the pond
- 3. All inspections, tests, supporting data, reports, and certifications shall be provided to the City of Rockville Department of Public Works (DPW) and shall be sealed by the Geotechnical Engineer. Daily inspection reports, if requested by the City, can be provided without being immediately sealed by the Geotechnical Engineer. These reports shall be compiled, reviewed, sealed and then submitted to DPW at a later date as agreed upon by the City.
- 4. The Geotechnical Engineer shall approve all fill materials that are used for the project. The Geotechnical Engineer shall obtain samples of proposed fill materials and perform all required testing to determine that fill materials are in conformance with this plan.
- 5. The Geotechnical Engineer shall provide a report that certifies the subgrade preparation and fill/backfill placement are in conformance with this plan. The certification applies to all fill, backfill, and subgrade operations subject to this plan as detailed in Note #1, including utility trenches. When constructing new roadway payement this certification report shall be provided prior to the placement of Graded Aggregate Base (GAB). All other certifications shall be provided as requested by the City.
- 6. All fill and/or backfill material shall be free from organics, frozen material, rocks/stones greater than one and a half inches in any dimension, waste metal products, unsightly debris, toxic material, or other deleterious materials; shall be a minimum of 105 pounds per cubic foot for the maximum dry density according to AASHTO T-180, Method C; and shall not have a liquid limit greater than 30 nor a plasticity index greater than six according to ASTM D-4318. All other materials shall meet the requirements stated in Category 900 of the latest edition of the Maryland State Highway Administration (MSHA) Standard Specifications for Construction and Materials.
- 7. Compact the material that is one foot below the top of subgrade to at least 92 percent of the maximum dry density per AASHTO T-180. Compact the top one foot to at least 97 percent of the maximum dry density. When necessary, add water or dry the layer in order to compact to the required density. Generally the material shall be within two percent of the optimum moisture content but may be outside of this range if approved by the Geotechnical Engineer.
- 8. Fill and backfill materials must completely fill all spaces under and adjacent to the structure or pipe. For Stormwater Management embankments, the Applicant shall scarify each lift with a sheepsfoot roller or claw to a minimum depth of two-inches prior to placing the next lift. The Applicant shall scarify embankments parallel with the centerline of the dam core and perpendicular to the principal spillway. Bedding shall be provided in accordance with details indicated on the construction rawings. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four-feet, measured horizontally, to any part of a structure. Under no circumstances shall the Applicant drive equipment over any part of a corrugated metal pipe unless there is a compacted fill of 24-inches or greater over the structure or pipe.
- 9. At a minimum, compaction tests shall be completed for every lift of fill or backfill. The testing frequency shall be at least once per 150 linear feet of trench or once per 1,500 square feet of fill. At a minimum, there shall be at least one compaction test per lift and a least two compaction tests per day. The Geotechnical Engineer shall supply DPW with certified compaction test results, including certification of pipe bedding subgrade and fill subgrade.
- 10. Prior to placing any roadway fill on existing grades (original grade after topsoil has been stripped, fill prepared by others outside of this plan or fill not prepared under the supervision of the Geotechnical Engineer), scarify the minimum top eight-inches of soil material. Compact this layer to the compaction requirements in these Notes. Proof-roll this compacted layer using a fully loaded dump truck (minimum 20 ton payload capacity). The Geotechnical Engineer shall inspect the proof-rolling and determine if the subgrade is acceptable or if there are areas that require remediation. Subgrade areas that fail proof-rolling shall be remediated to the satisfaction of the Geotechnical Engineer by either of the following methods:
- A. Scarifying, moisture conditioning, and re-compaction of the subgrade materials. B. Undercutting soft of unsuitable areas of subgrade and backfilling with compacted select borrow (MSHA Section 916). C. Undercutting of soft or unsuitable areas of subgrade and placing a layer of geotextile covered by # MSHA 57 coarse aggregate (Table 901A).
- DPW may approve an alternate approach for soil remediation/improvement if it is recommended and sealed by the Geotechnical Engineer.
- 11. Except when specified, do not place layers exceeding eight-inches un-compacted depth. Place the material in horizontal layers across the full width of the embankment. Perform all rolling in a longitudinal direction along the embankment. Begin at the outer edges and progress towards the center. Vary the travel paths of traffic and equipment over the width of the embankment to aid in obtaining uniform compaction.
- 12. Uniformly grade areas to a smooth surface, free of irregular surface changes. Grade and prepare the subgrade section to the lines, grades, cross sections and/or elevations shown on the plans. At all times, maintain the subgrade surface in such condition as to readily drain.

**CIVIL ENGINEER** CLARK AZAR & ASSOCIATES, INC. 20440 CENTURY BLVD., SUITE 220

OWNER/APPLICANT

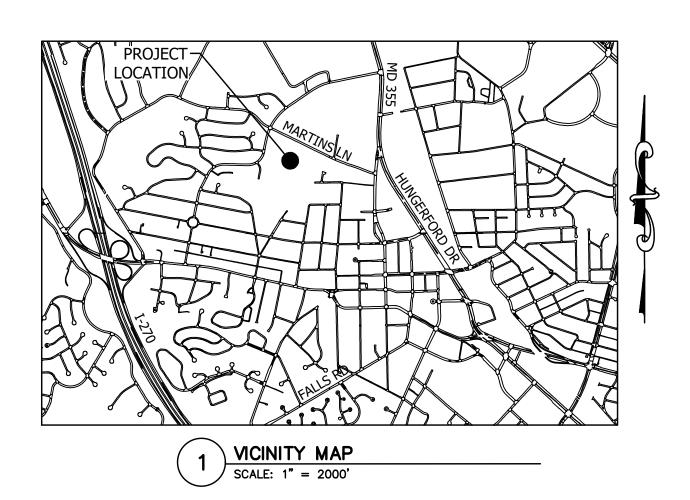
GERMANTOWN, MD 20874

**CITY OF ROCKVILLE RECREATION AND PARKS DEPARTMENT** CONTACT: ADAM GOLDSTEIN agoldstein@rockvillemd.gov 240-314-8752 355 MARTINS LANE ROCKVILLE, MARYLAND 20850

BEFORE BEGINNING CONSTRUCTION CONTACT "MISS UTILITY" AT WWW.MISSUTILITY.NET OR 1-800-257-7777 OR 811 AT LEAST 48 HOURS PRIOR TO EXCAVATION			
	DEPARTMENT OF PUBLIC WORKS CITY OF ROCKVILLE 111 maryland ave. rockville, maryland	DESIGNED <u>SL</u> DRAFTED <u>MS</u> CHECKED <u>JA</u>	DESIGN
	111 MARYLAND AVE. ROCKVILLE, MARYLAND		DIRECTOR OF PUBLIC WORKS APPROVAL DA

- 13. Do not place backfill or fill soil material on surfaces that are muddy, frozen, or contain frost or ice. Vehicular and equipment traffic shall be distributed across the prepared surface in such a manner as to prevent disturbance. Repair any damage to the prepared subgrade to the satisfaction of the Geotechnical Engineer. The Geotechnical Engineer must approve the storage or stockpiling of heavy loads on a roadway subgrade.
- 14. Unsuitable existing fill, soft or loose natural soils, organic material, and rubble shall be stripped to approved grades as determined by the Geotechnical Engineer.
- 15. Protect all structures and utilities from any damage in the handling, processing or compacting of embankment or backfill material. Exercise caution near arches, retaining walls, culverts and utility trenches to prevent undue strain or movement. The Geotechnical Engineer may require the use of specially selected material adjacent to structures to protect against damage. Do not use rock greater than one and a half inches in any dimension adjacent to structures.
- 16. When placing and compacting embankment on hillsides or against existing embankments, continuously bench the slopes where the slope is steeper than 4:1 when measured at right angles to the roadway or embankment centerline. Perform the benching operation as the embankment is constructed in layers. Maintain a bench width of at least five-feet. Begin each horizontal cut at the intersection of the original ground and the vertical sides of the previous cut. If the material cut from the benches meets fill requirements, compact this material along with the new embankment material.
- 17. When placing fill over existing pavement, thoroughly break up, scarify, or remove the pavement as specified or as directed by the Geotechnical Engineer.
- 18. Prior to the placement of asphalt pavement, proof-roll the compacted graded aggregate base (GAB) layer using a fully loaded dump truck (minimum 20 ton payload capacity). The Geotechnical Engineer shall inspect the proof-rolling and determine if the GAB is acceptable or if there are areas that require remediation. GAB areas that fail proof-rolling shall be remediated to the satisfaction of the Geotechnical Engineer by either of the following methods:
- A. Scarifying, moisture conditioning, and re-compaction of the GAB materials. B. Undercutting soft of unsuitable areas of GAB and replacing with compacted GAB.

DPW may approve an alternate approach for GAB remediation/improvement if it is recommended and sealed by the Geotechnical Engineer. The Geotechnical Engineer shall provide a sealed approval of the GAB prior to placement of asphalt. DPW may accept an oral or email approval while the final approval and reports are being compiled and completed.



### WATER AND SEWER NOTES September 2018

- 1. All water and sewer construction shall be in accordance with the latest General Specifications and Standard Details of the Washington Suburban Sanitary Commission (WSSC), latest General specifications and Standard Details of the Maryland State Highway Administration, and/or the City of Rockville Department of Public Works (DPW), unless otherwise noted.
- 2. The Applicant must maintain all sediment control devices and ensure that all points of construction ingress and egress are protected as directed by DPW to prevent tracking of mud and dirt onto public rights-of-way (sidewalks, roads, etc.) or affecting adjacent areas.
- 3. The Applicant shall not operate any valves located on the existing public system. Requests to operate valves must be submitted to Chief of Construction Management 48 hours in advance.
- 4. Abandonment of water service connections and sewer service connections shall be made at the main line as directed by DPW. To abandon water service connections (two-inches or less), the tap hole is to be plugged with a brass plug and the valve and corporation must be removed at the main. All other house connections must be abandoned by cutting out the section of the water main and sleeving in a new pipe. To abandon sewer service connections, tees or saddles must be removed at the main and new pipe will be sleeved in.
- 5. All public water and sewer mains to be placed out of service (existing and proposed) must be completely removed and disposed. Abandonment of utilities in place may be allowed as an exception only if adequate justification is provided to the DPW - Engineering Division. If permitted, utilities abandoned in place must be completely filled with lean mix concrete or flowable fill, disconnected at the main, and capped on both ends.

Shutdowns to Existing Water System: Any shutdown shall be made at hours determined by DPW in order to cause the least disturbance to existing customers. The Applicant shall notify the Chief of Construction Management in writing at least 18 calendar days prior to making the shutdown and submit for approval a schedule and method to complete the proposed shutdown and associated work. The Construction Management Division will notify the City Utilities Section at 240-314-8567 to arrange for valve operation. DPW must provide a minimum of two weeks of notice to affected properties. The shutdown will then be made at the designated time in accordance with the directions of the Chief of Construction Management. Test pit information on existing crossings must be provided a minimum of 48 hours prior to construction.

Water Mains: Materials for all water mains are to be ductile iron Pipe with Zinc Coating Pressure Class 350. All pipes are to be cement lined, minimum of 1/8-inch thick. All pipes and fittings are to be restrained, including all house connections four-inch and greater. All pipes are to be U.S. Pipe "TYTON

JOINT" or an approved equal. Water pipe shall be installed in accordance with WSSC Standard Details and Standard Specifications, Section 02510.

Valves: Valves shall conform to the latest AWWA Specifications and shall be a clockwise turn to close, mechanical joint. All valves shall be resilient seat gate valves. Valve box shall be two-piece sliding type adjustable and heavy duty domestic (Bingham & Taylor or approved equal). The covers shall say 'WATER' only. Any valve cover/lid with the text 'WSSC' will be rejected. Valves boxes for up to 36-inches in height shall weigh at least 75 pounds and valve lids shall weigh at least 14.5 pounds. Skirt size shall be two and a half inches

Fire Hydrants and Fire Hydrant Connections: The Applicant must test pit all fire hydrant leads and valves before removing or replacing a hydrant to confirm existence or condition of strapping.

Fire hydrants shall be set two-feet behind the face of curb unless otherwise indicated on the drawing. Each hydrant shall be set exactly plumb, at the grade provided, and shall be jointed to the fire hydrat connection at the foot of the barrel. Care shall be taken to place the steamer outlet normal to the street line and any hydrants placed askew shall be reset as required by the City.

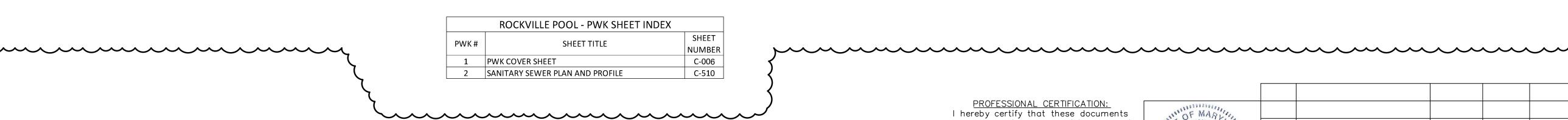
Fire hydrants shall be firmly set in a bed of screened gravel, which shall extend one-foot below the bottom of the hydrant and be filled in and around it. The hydrant shall be firmly braced at the back, opposite the inlet pipe. The total amount of gravel used shall be at least 1/3 of a cubic yard. Fire hydrants shall not be blocked.

Fire hydrant connections of six-inch cement lined ductile iron pipe shall be laid at the points shown on the drawings and shall be extended either to fire hydrants to which they shall be connected or to such points as shall be designated. Fire hydrant connections shall be laid in all particulars in a similar manner to the water mains themselves.

Fire hydrants shall be Mueller or approved equal Traffic Model Types, which consists of break-away bolts, standpipe, and couplings. All fire hydrants shall be restrained to the water main using Mega-lugs or approved equal. Hydrants shall be factory painted with two coats of rust-preventive paint. All hydrants barrels shall be painted Safety Yellow. The bonnet and three nozzles shall be color coded as per the National Fire Protection Association (NFPA) standards. The colors are based upon the hydrant's available fire flow and as determined by the Public Works Engineering Division:

FLOW	RUSTOLEU
< 500 gpm	K7764402
600 – 1,000 gpm	3455402
,000-1,500 gpm	3433402
>1,500 gpm	K7725402
All barrels	245479

Fire hydrants shall be as listed in WSSC General Conditions/Standard Specifications, Section 02510. Fire hydrants shall have 5-l/4-inch, three-way (two hose nozzles and one pumper nozzle), six-inch diameter mechanical joint inlet connection clockwise turn close, National Standard operating nut.



# THIS PLAN IS FOR PUBLIC IMPROVEMENTS ONLY

I hereby certif were prepared that I am a di Engineer under of Maryland, Expiration

\_\_\_\_\_

### PLAN APPROVAL AS BUILT PLAN APPROVAL PWK2024-00048 PWK# \_\_\_\_\_\_ 2024-00048 \_\_\_\_\_ SCP# \_\_\_\_ REVIEWED BY PWK COVER SHEET CHIEF, CONSTRUCTION MANAGEMENT APPROVAL DATE

UM ITEM # COLOR

Safety Red Safety Orange Safety Green Safety Blue Safety Yellow

Polyethylene Encasement: All ductile iron pipe, fittings, and appurtenances shall be V-Bio enhanced polyethylene encased in accordance with AWWA C 105 method 'A' and WSSC specifications; section 02510. After the pipe has been assembled in trench, Applicant shall carefully inspect polyethylene encasement for damage and repair in accordance with AWWA C 105 and manufacturer's recommendations.

Storage: The Applicant shall store pipe and materials on site, so as not to damage the materials, and shall maintain such storage areas in a hazard free and safe condition at all times.

Lubricants: Lubricants shall be potable hydrogenated vegetable oil that is insoluble in cold water and does not impart taste or odor. The lubricant shall not contain detergents, soaps or organic solvent either aliphatic or aromatic and shall be certified as nontoxic to humans or animals. The lubricant shall be of a semi-paste consistency, which will readily stick to the inside of the bell of the pipe when applied by hand. It shall remain in a usable state through the temperature in which water pipe is normally installed.

Water Service Connections: Water service connections shall be l-inch or two-inch Copper, Type "K," or four-inch, six-inch, or eight-inch ductile iron pipe Pressure Class 350 as determined by the Inspection Services Division for service flow demand and fire protection requirements. Any Copper connection between main and meter shall be one continuous length. All connections must be tapped, saddles are not allowed. No taps shall be allowed in the last five-feet of a dead-end main.

• Applicants must have a WSSC tapping license. • Compression fittings are not allowed in the City of Rockville.

Corporation stops: Corporation stops shall be as per ASI/AWWA C800 with working and test pressures as per WSSC Specifications. The corporations shall be bronze (ASTM B62).

Tap, sleeve and valve (T, S & V) assemblies: All T, S, and V assemblies are to be hydro-tested and witnessed by DPW at the time of installation

Cover: All water mains shall be installed with minimum three and a half feet of cover below finished grade or three-feet of cover below finished subgrade.

Blocking for Existing Mains: Block all existing fittings with concrete per plans and Standard WSSC Specifications and Standard Details. Mechanical joint fittings, bolts, etc. must be protected from concrete.

Water Main Tests: The Applicant shall accomplish low (six hour) and high pressure (two hour) tests in accordance with WSSC Standards and Specifications. Prior to connection connecting new water mains or on-site water systems to the existing public system, the Applicant will conduct a 24-hour bacterial test. Passing test results must be provided from a lab certified by the Maryland Department of the Environment and shall be in accordance with the Standard Methods for Examination of Water and Wastewater

• The Applicant must not use existing or new water mains or appurtenances for temporary restraint or support during pressure tests. • Back flow prevention is required when testing a new main as per WSSC specifications.

Water Meters: Water meters shall be located one-foot behind the property line in a grass area. Water meters shall not be located in private driveways or aprons. Yoke angle valves should be compatible with Ford 500 series meter yokes.

Material Requirements for Sewer: DPW shall accept the following materials for the construction of the main line sewer, except as otherwise specified on the plans:

- 1. Pipes four-inches through 15-inches in diameter: a. Polyvinyl chloride pipe (PVC) meeting ASTM D3034-78, wall thickness SDR 35, joints shall be watertight.
- 2. Pipes 18-inches and greater:
- a. Ductile Iron, Pressure Class 350, cement lined minimum 1/8-inch thick with US Pipe TYTON JOINT or approved equal; b. Polyvinyl chloride pipe (PVC) meeting ASTM F679, thickness T-1, joints shall be watertight.

Ductile Iron Pipe may be used under special conditions such as steep slopes or stream crossings.

Pipe for sewer house connections shall be four-inch polyvinyl chloride pipe and fittings as specified above, and shall be connected to the main line by the use of tees.

Flexible gaskets shall be used for connections to precast and existing manholes, and shall be A lock as manufactured by Atlantic Precast Concrete, Inc. or equal.

Mortar used in the installation of A Locks or the filling of any void in manholes walls, inside and out, shall be quick setting, non-shrink such as Octocrete, Speedcrete, Permacrete, or equal. Installation of Sanitary Sewer: Sewer pipe shall be installed in accordance with WSSC Standard Details

and Specifications, Section 02530. Hydro-hammers may not be used within three-feet of the top of pipe. Exercise care to ensure adequate compaction around structures and prevent damage to pipe at connections to manholes.

Horizontal deflection of pipe shall be accomplished in accordance with manufacturer's specifications. Connection to Existing Sewers and Manholes: Connections must be as per WSSC Standard Details and

Specifications, Section 02530.

Sewer Main Pressure Tests: The Applicant shall accomplish pressure tests in accordance with WSSC Standards and Specifications. DPW reserves the right to video the sewer main for quality control purposes

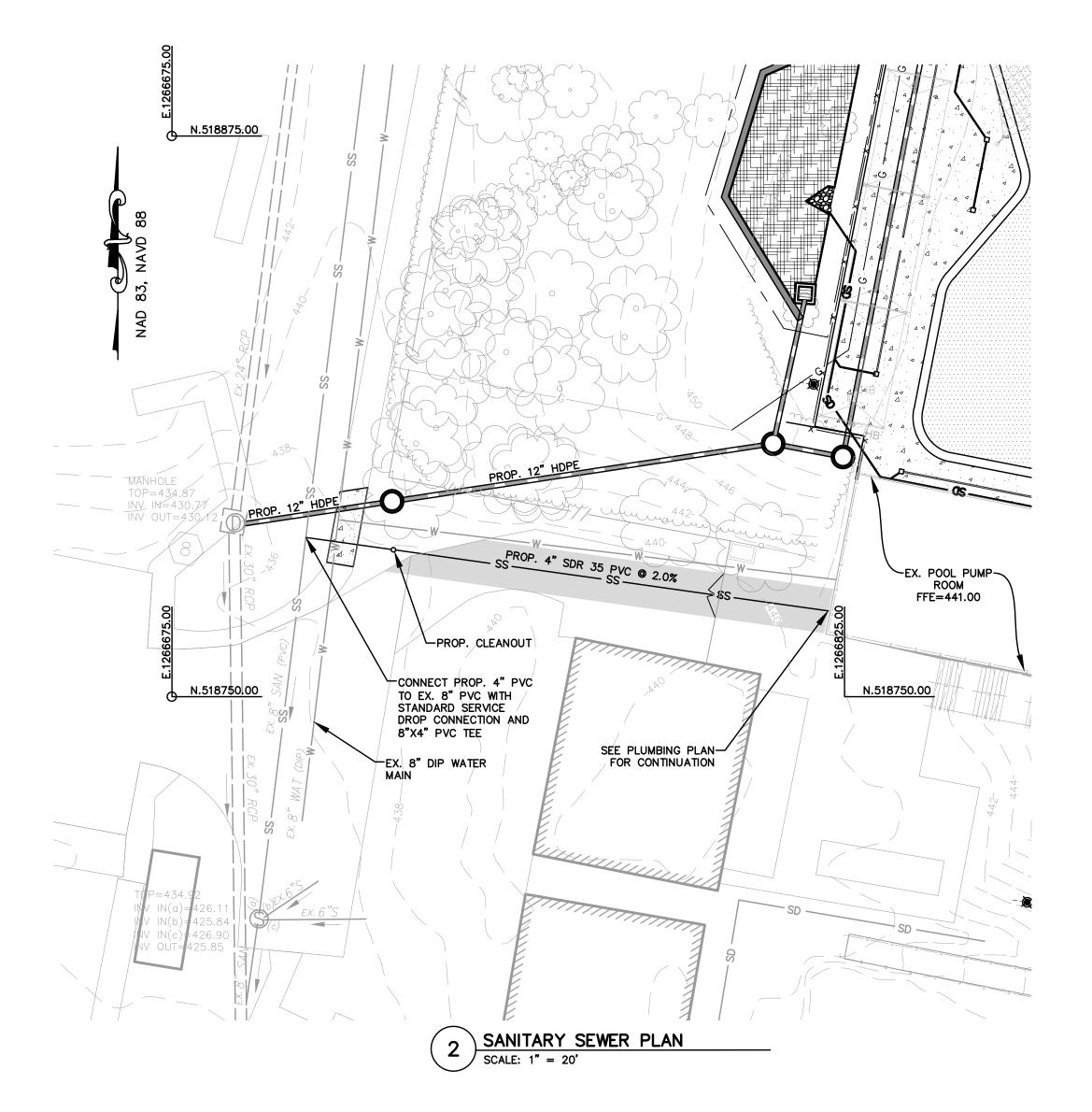
Cleanouts: Cleanouts are to be installed on each sewer service connection and be located at the property line, in a grass area. Cleanout caps shall be cast iron with a brass plug. Provide concrete cleanout blocks on all sewer service connections at bottom of cleanout per WSSC Standard Details.

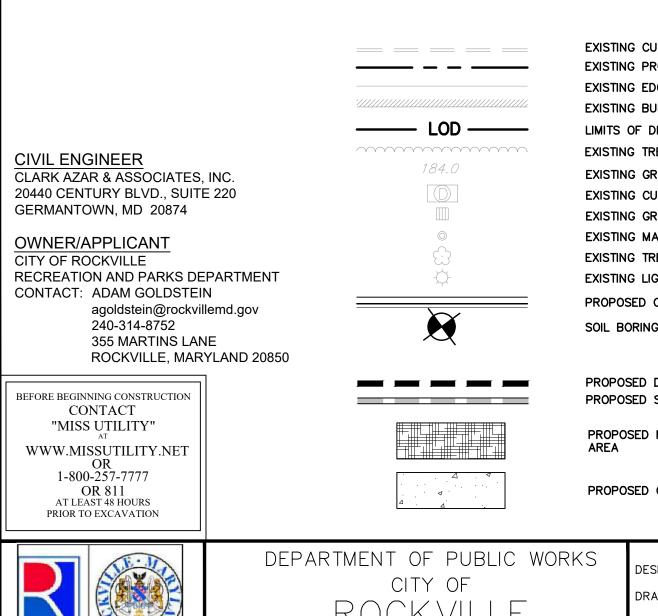
When drop connections from the building are to be used at the property line cleanout, the "Y" of the cleanout shall be encased per WSSC Standard Details and Standard Specifications.

	_								
<u>NAL_CERTIFICATION:</u> y that these documents	NOF MARINE								
or approved by me, and uly licensed Professional	SALL SON A A. A.								
the laws of the State	S S A SO								
_icense No. <u>31168</u> , Date: <u>1/12/2025</u>		NO.		ADDENDUM #1	JA	03/29/2024			
SON AZAR	OR FGISTER	NO.	DESC	RIPTION OF REVISION	P.E. INITIAL	DATE	DPW	DATE	
NAME	3/29/24	APPROVAL OF REVISIONS AFTER INTIAL PLAN APPROVAL							
ROCKVILLE SWIM & FITNESS CENTER				DATE SUBMITTED: 3/25/2024	SCALE	: SH	IEET	FILE #	
OUTDOOR RECREATION POOL RENOVATIONS 355 MARTINS LANE PARCEL 630					1"=200	0' NO.			

OF

Election District No. 4 City of Rockville, Maryland





EXISTING CURB EXISTING PROPERTY LINE EXISTING EDGE OF PAVEMENT EXISTING BUILDING LIMITS OF DISTURBANCE EXISTING TREE LINE EXISTING GRADE ELEVATION EXISTING CURB INLET EXISTING GRATE INLET EXISTING MANHOLE EXISTING TREE EXISTING LIGHT POLE PROPOSED CURB & GUTTER SOIL BORING

PROPOSED DRAINAGE AREA PROPOSED STORM DRAIN

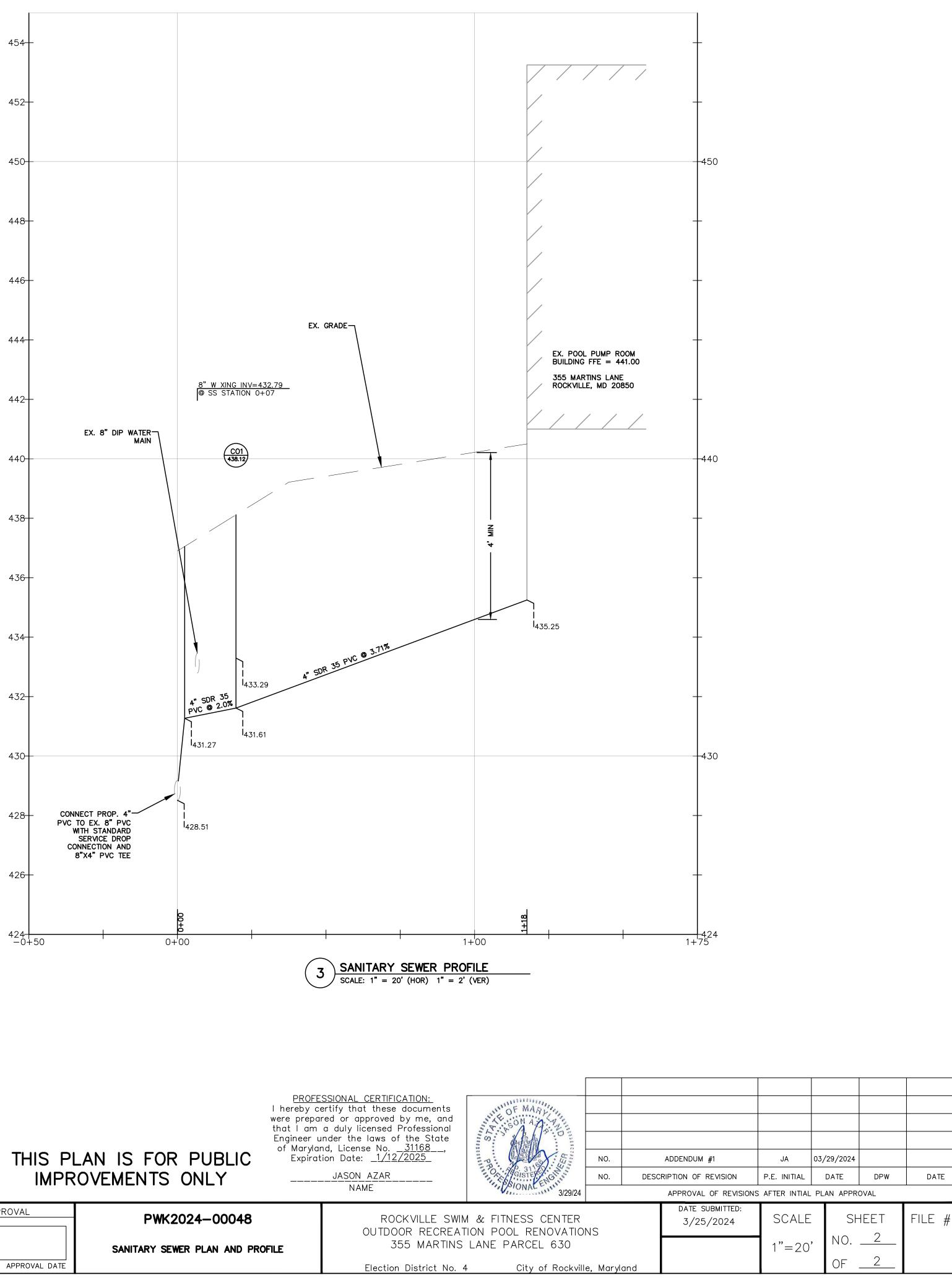
PROPOSED MICRO-BIORETENTION AREA

PROPOSED CONCRETE SIDEWALK

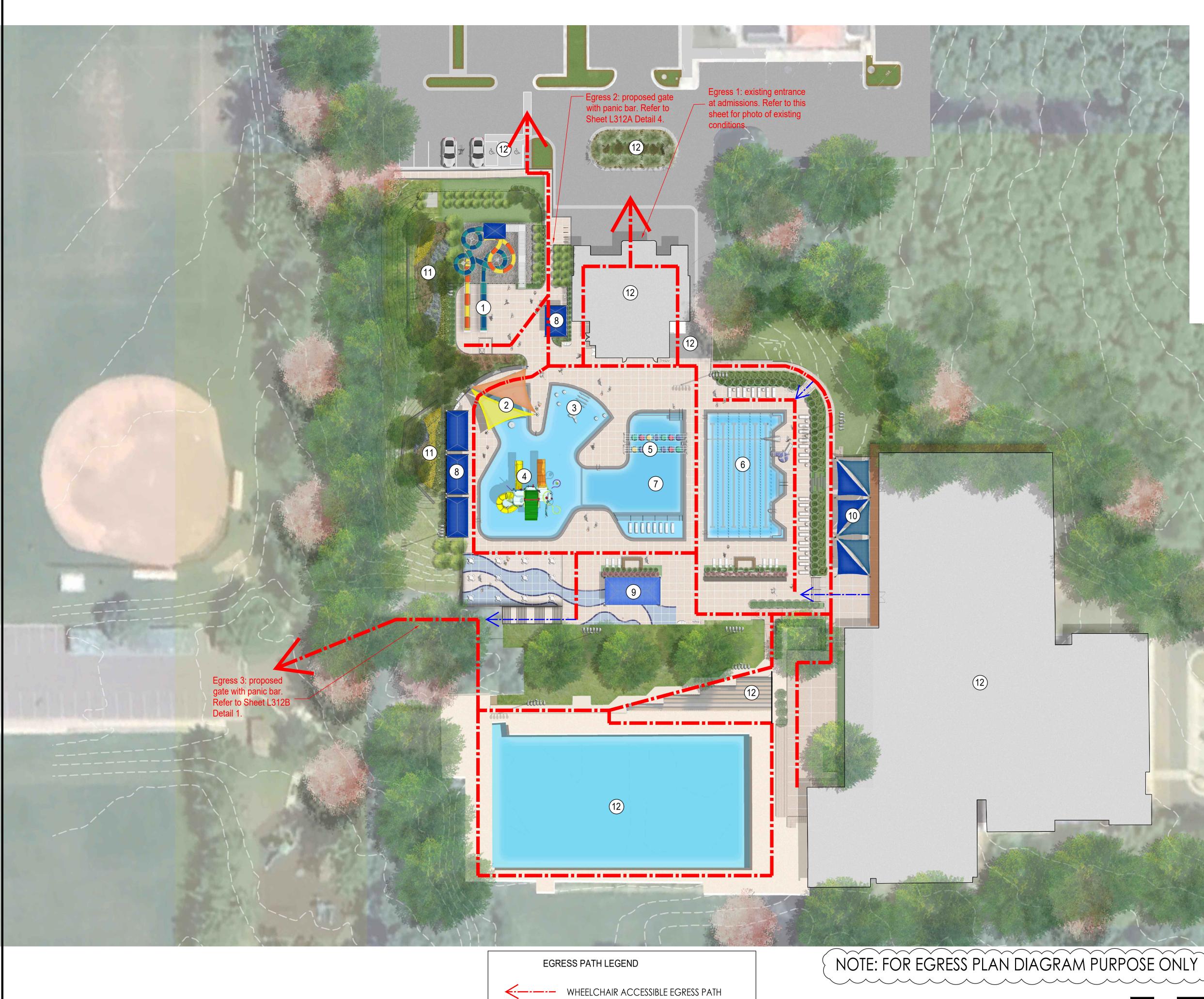
DEPARTMENT OF PUBLIC WORKS		DESIGN	PLAN APPROVAL		AS BUILT PLAN APF	PROVAL	PWK2024-00048	Γ	
CITY OF	DESIGNED <u>SL</u> DRAFTED <u>MS</u>			PWK#	_ SCP#			1 WK2024-00040	
ROCKVILLE	CHECKED JA				REVIEWED BY			SANITARY SEWER PLAN AND PROFILE	
111 MARYLAND AVE. ROCKVILLE, MARYLAND		DIRECTOR OF PUBLIC WORKS	APPROVAL DATE		_	CHIEF, CONSTRUCTION MANAGEMENT	APPROVAL DATE		
	-					Page 18 of 42	-		

SANITARY SEWER PIPE SCHEDULE		
SIZE	TYPE	LENGTH (FT)
4"	SDR 35 PVC	118

ATTACHMENT B



# THIS PLAN IS FOR PUBLIC



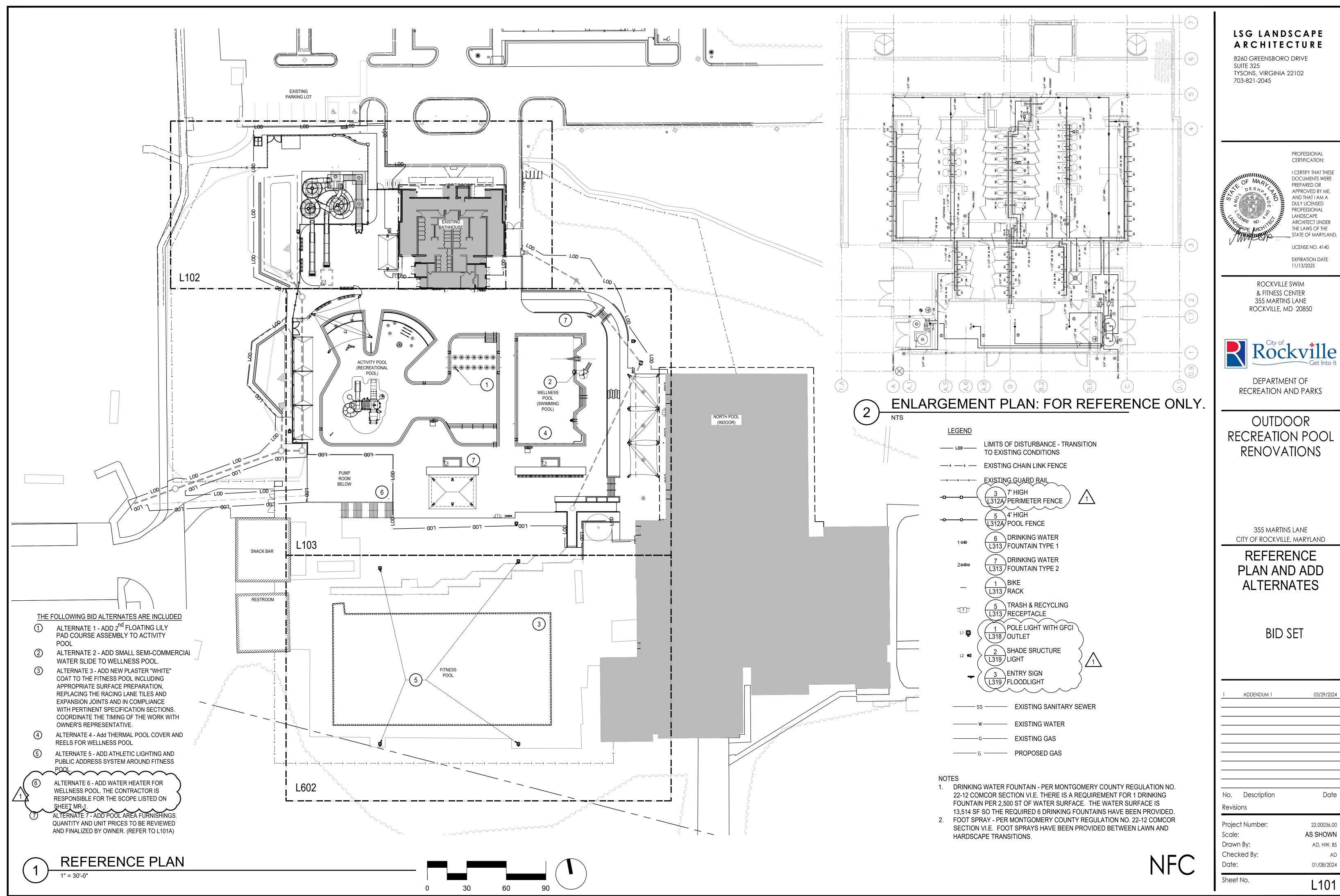
------> NON - WHEELCHAIR EGRESS PATH

Page 19 of 42

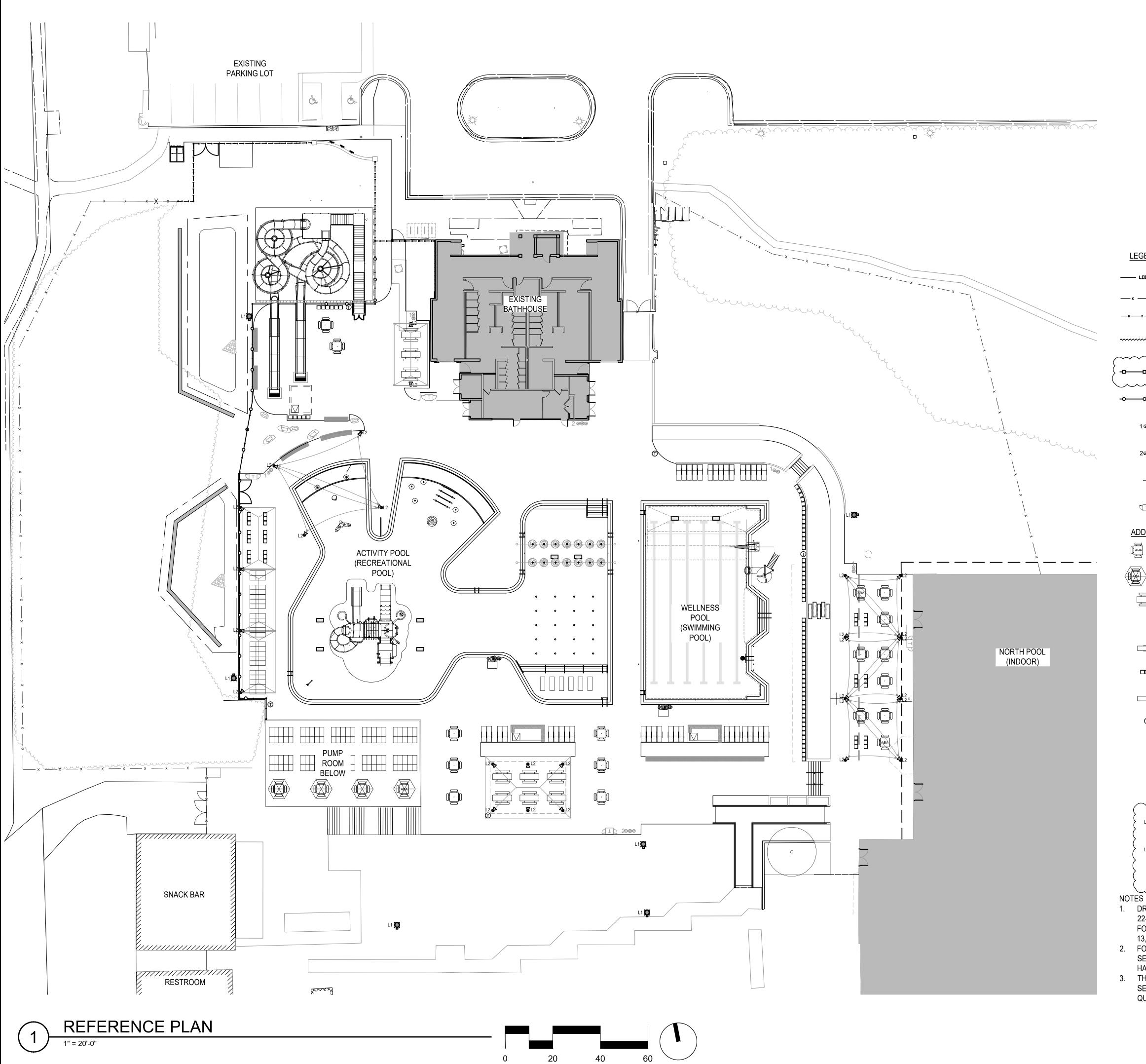
LSG LANDSCAPE



<b>A R C HITE</b> 8260 GREENSBORC SUITE 325 TYSONS, VIRGINIA	) DRIVE
703-821-2045	
	PROFESSIONAL CERTIFICATION:
OF MARL	I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR
DESHARLANDE	APPROVED BY ME, AND THAT I AM A DULY LICENSED
LINE 20	PROFESSIONAL LANDSCAPE ARCHITECT UNDER
MUSTER ARCHITT	THE LAWS OF THE STATE OF MARYLAND.
7	LICENSE NO. 4140 EXPIRATION DATE 11/13/2025
ROCKVILLE & FITNESS C	CENTER
355 MARTIN ROCKVILLE, N	-
NOC.	kville Get Into It
DEPARTME RECREATION A	
OUTDO	
RECREATIC RENOVA	
355 MARTIN CITY OF ROCKVILL	
OVERAL	
PLAN AND	EGRESS
PATH DIA	AGRAM
BID	SET
1 ADDENDUM 1	03/29/2024
No. Description	Date
Revisions	Dale
Project Number: Scale:	22.00036.00 AS SHOWN
Drawn By: Checked By:	AD, HW, BS
Date:	01/08/2024
Sheet No.	L100

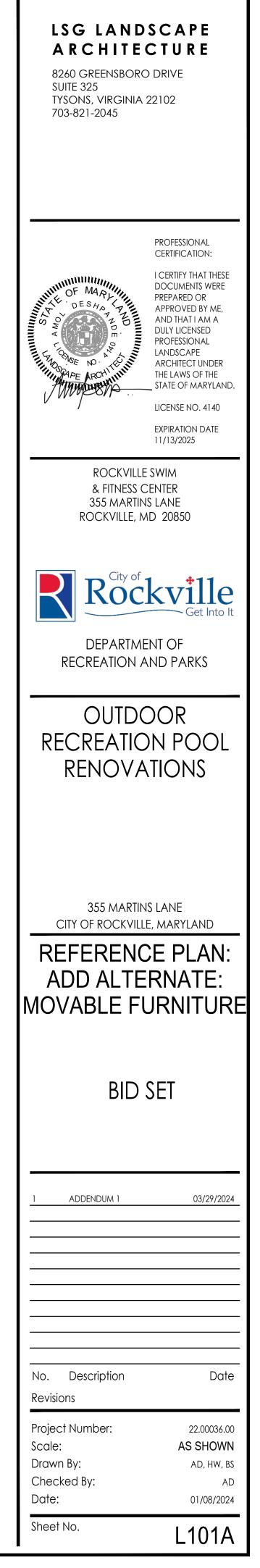


### IFB # 13-24 ADDENDUM 1

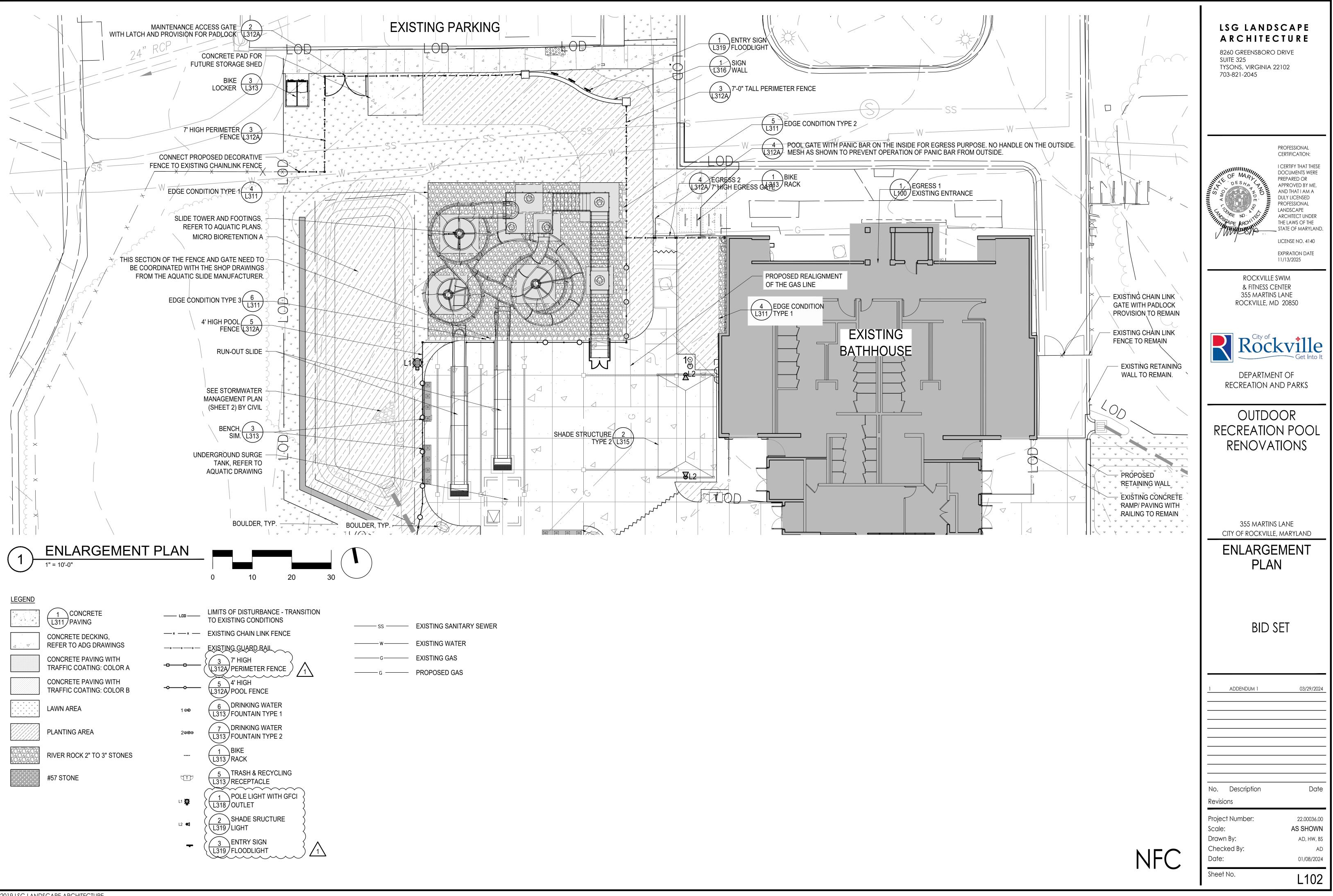


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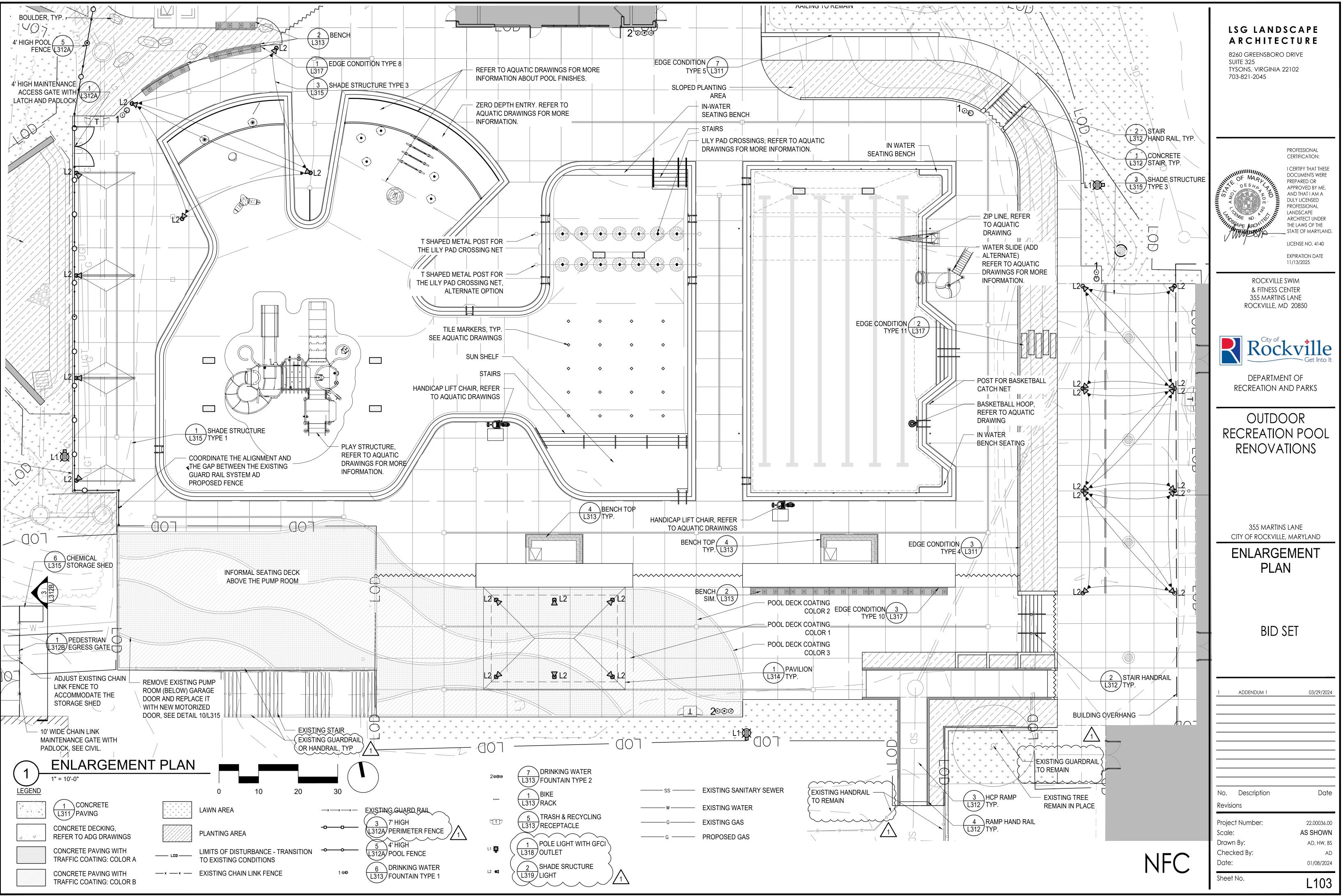




LEGEND	
LOD	LIMITS OF DISTURBANCE - TRANSITION TO EXISTING CONDITIONS
-xx	EXISTING CHAIN LINK FENCE
oo	EXISTING GUARD RAIL
~~~~~~	4" DIAMETER SCHEDULE 40 IRRIGATION SLEEVE FOR FUTURE USE
	$\begin{array}{c} 3 \\ \hline 3 \\ \hline 3 \\ \hline 1312A \\ \end{array} \begin{array}{c} 7' \\ HIGH \\ PERIMETER FENCE \end{array}$
o	5 L312A POOL FENCE
100	6 L313 FOUNTAIN TYPE 1
2000	7 DRINKING WATER L313 FOUNTAIN TYPE 2
	1 L313 BIKE RACK
ŢŢ	5 TRASH & RECYCLING L313 RECEPTACLE
ADD ALTER	NATE 6
	6A & 6B: PICNIC TABLE SHOWN FOR REFERENCE ONLY
	6C: PICNIC TABLE WITH UMBRELLA SHOWN FOR REFERENCE ONLY
	6D: PICNIC TABLE SHOWN FOR REFERENCE ONLY
	6E: CHAISE LOUNGE SHOWN FOR REFERENCE ONLY
	6F: SAND CHAIR SHOWN FOR REFERENCE ONLY
	6G: DINING CHAIR SHOWN FOR REFERENCE ONLY
	6H: IN-WATER CHAISE LOUNGE SHOWN FOR REFERENCE ONLY
Ō	6I: MOVABLE TRASH RECEPTACLE SHOWN FOR REFERENCE ONLY
$\langle \cdot \cdot \cdot \rangle$	1 POLE LIGHT WITH GFCI
	L318 OUTLET
	2 SHADE SRUCTURE L319 LIGHT }
~	3 ENTRY SIGN L319 FLOODLIGHT
	WATER FOUNTAIN - PER MONTGOMERY COUNTY REGULATION NO.
22-12 CON FOUNTAIN 13,514 SF FOOT SPF SECTION HARDSCA	ACOR SECTION VI.E. THERE IS A REQUIREMENT FOR 1 DRINKING I PER 2,500 ST OF WATER SURFACE. THE WATER SURFACE IS SO THE REQUIRED 6 DRINKING FOUNTAINS HAVE BEEN PROVIDED. RAY - PER MONTGOMERY COUNTY REGULATION NO. 22-12 COMCOR VI.E. FOOT SPRAYS HAVE BEEN PROVIDED BETWEEN LAWN AND PE TRANSITIONS.
	TIONS AND QUANTITIES SHOWN ARE APPROXIMATE. REFER TO E DOCUMENT FOR THE ADD ALTERNATIVE MOVABLE FURNITURE ES.
	NFC



IFB # 13-24 ADDENDUM 1

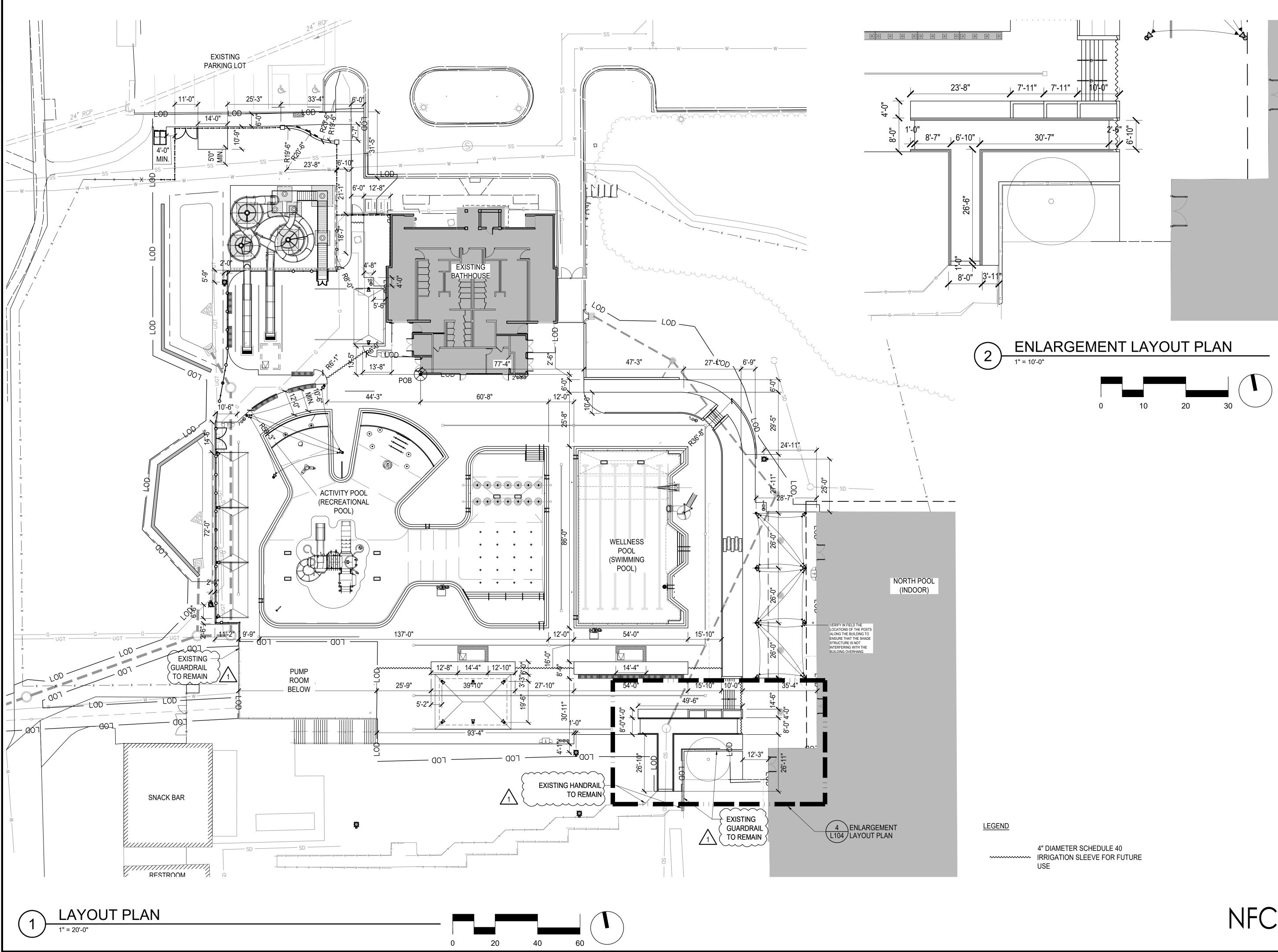


ATTACHMENT B

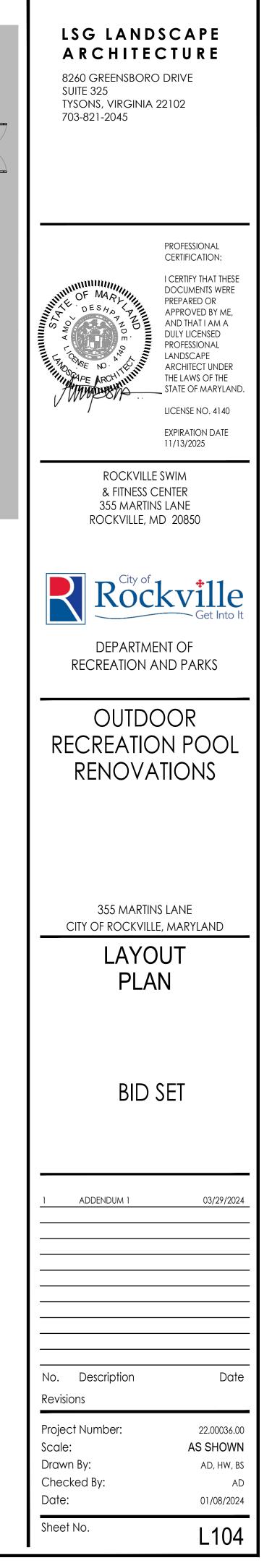
Page 23 of 42

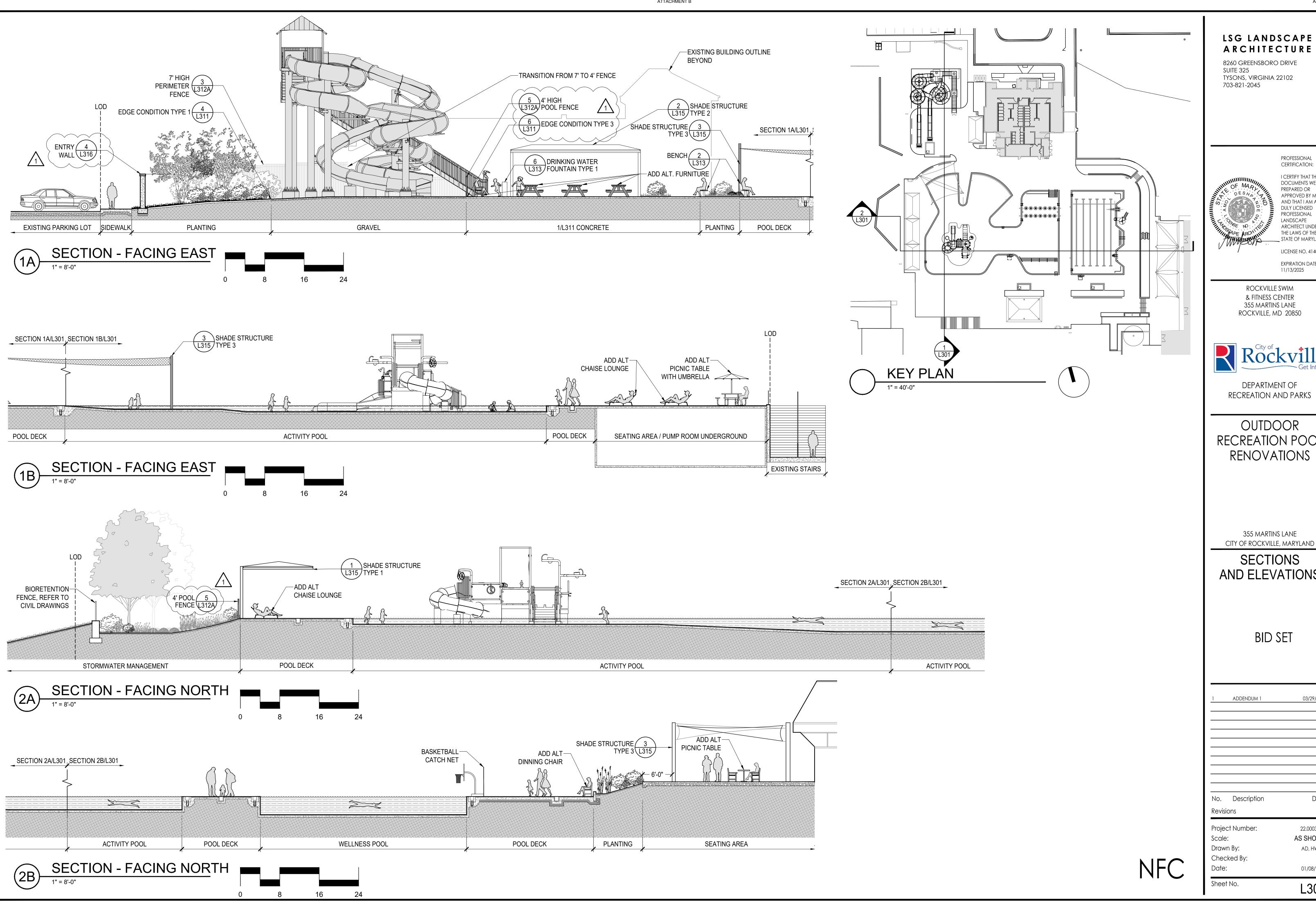
IFB # 13-24 ADDENDUM 1

<sup>© 2019</sup> LSG LANDSCAPE ARCHITECTURE



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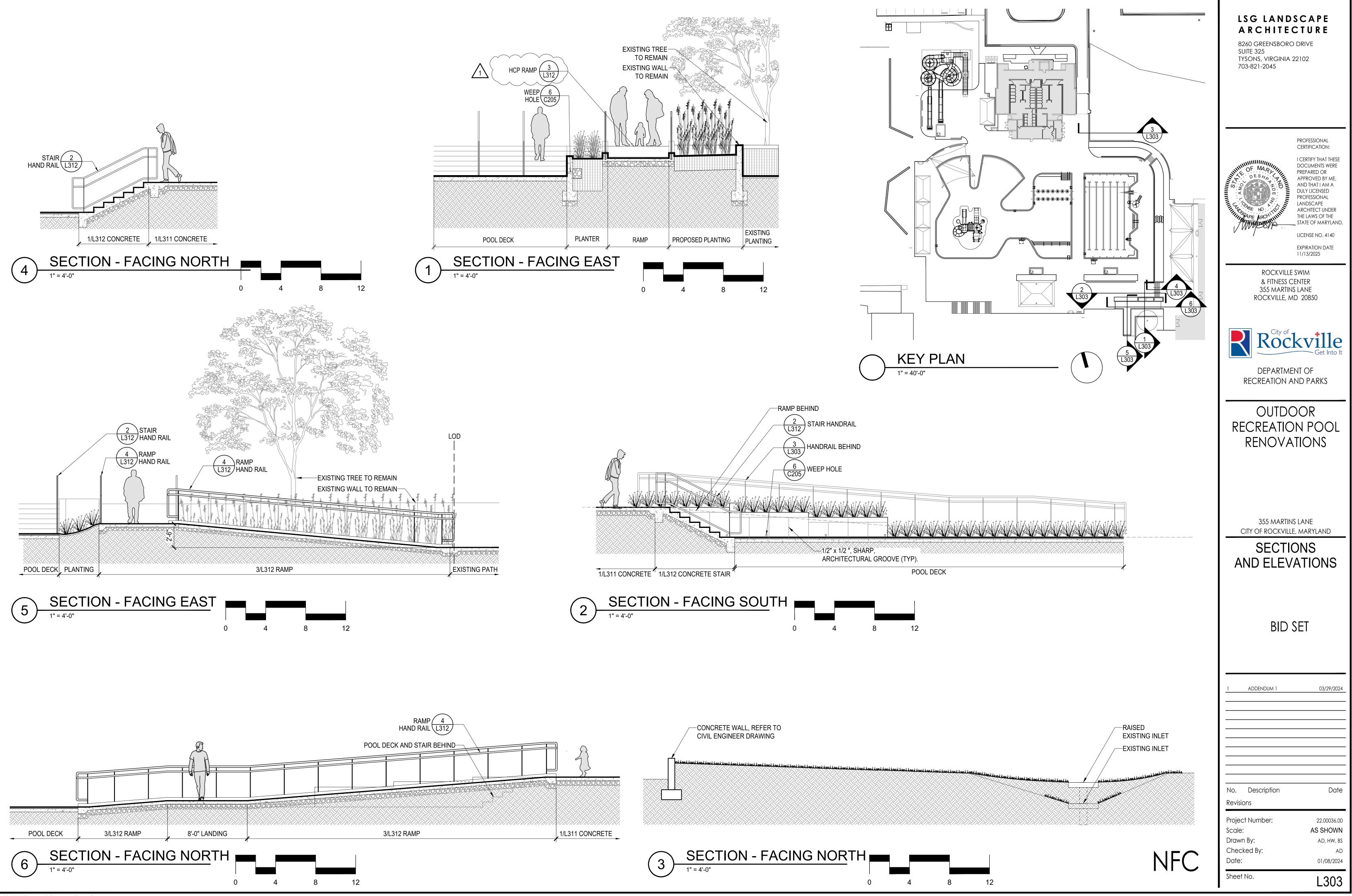
© 2019 LSG LANDSCAPE ARCHITECTURE



IFB # 13-24 ADDENDUM 1

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ROCKVILLE & FITNESS C 355 MARTINS ROCKVILLE, M	ENTER S LANE
DEPARTME RECREATION A	Get Into It
OUTDO RECREATIO RENOVA	N POOL
355 MARTINS CITY OF ROCKVILLE SECTIO AND ELEVA	, MARYLAND
BIDS	Set
ADDENDUM 1	03/29/2024
o. Description evisions	Date
roject Number: cale: rawn By: hecked By: ate:	22.00036.00 <b>AS SHOWN</b> AD, HW, BS AD 01/08/2024

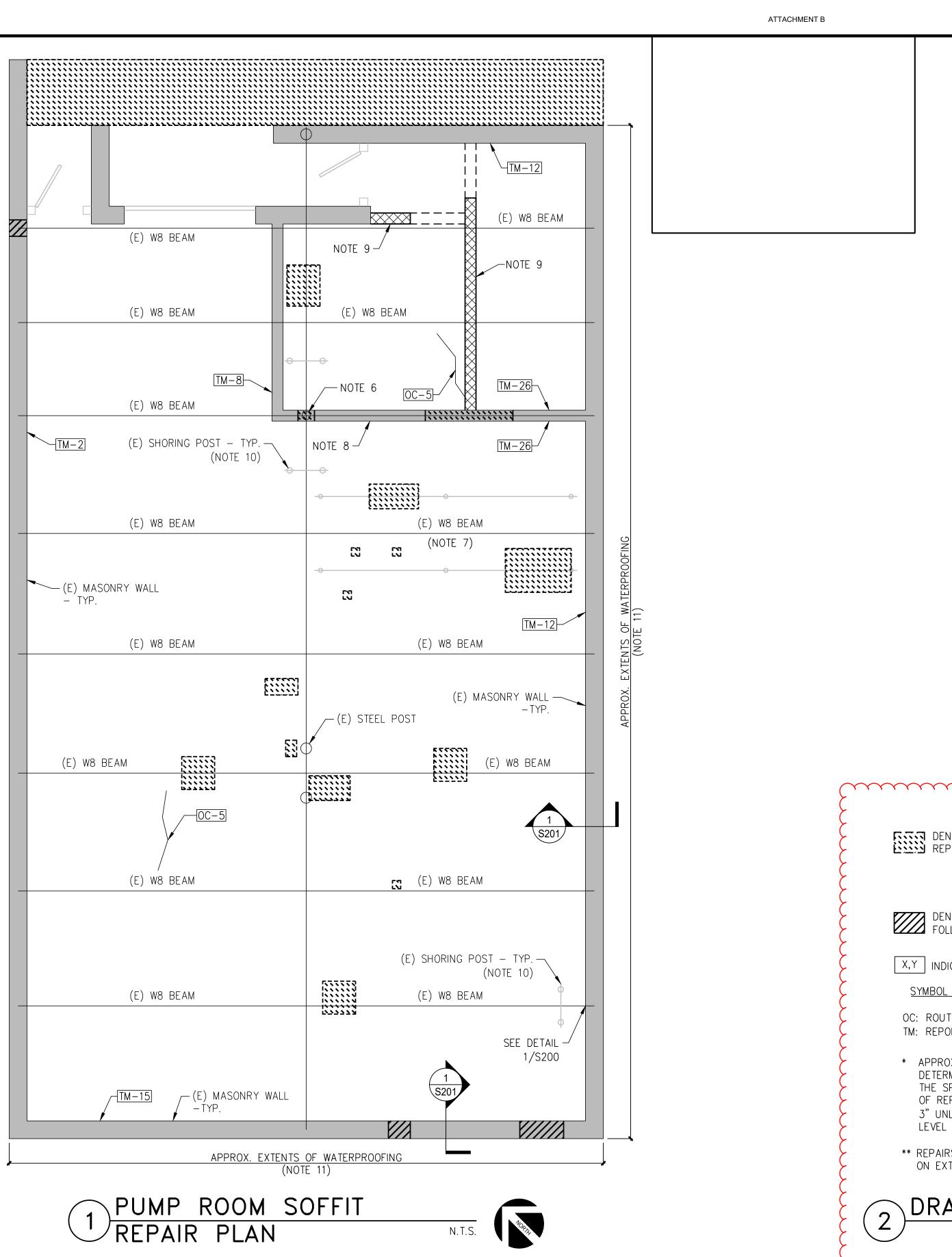
L301



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### PLAN NOTES

- 1) U.N.O. THIS LEVEL'S EXISTING STRUCTURE CONSISTS OF ONE-WAY CONCRETE SLAB SUPPORTED BY STEEL BEAMS AND LOAD BEARING MASONRY WALLS - VERIFY IN FIELD. 2) REBUILD OR REPOINT ALL DAMAGED CMU OR BRICK MASONRY PER 3/S-201.
- 3) CLEAN AND REMOVE ALL RUST FROM ALL CORRODED MISCELLANEOUS METALS USING WIRE BRUSHING OR ABRASIVE BLASTING. THEN REPAINT WITH GALVANIZING PAINT TO MATCH EXISTING.
- 4) CLEAN AND REMOVE ALL RUST FROM ALL CONDUIT AND DRAIN PIPES (NOT SHOWN FOR CLARITY) ON ALL LEVELS USING WIRE BRUSHING OR ABRASIVE BLASTING. THEN REPAINT WITH GALVANIZING PAINT TO MATCH EXISTING.
- 5) CLEAN AND REMOVE RUST FROM ALL STRUCTURAL STEEL. NOTIFY GPI IF EXCESSIVE SECTION LOSS ENCOUNTERED ON ANY MEMBER. REPAINT WITH GALVANIZING PAINT TO MATCH EXISTING.
- 6) REMOVE AND REPLACE EXISTING STEEL COLUMN WITHIN CMU WALL WITH NEW COLUMN AND BASE PLATE TO MATCH EXISTING. CONTRACTOR IS RESPONSIBLE FOR TEMPORARILY SHORING AND PRELOADING COLUMN - SEE GENERAL NOTES. BUILD BACK CMU WALL TO MATCH EXISTING.
- ENCOUNTERED ON MEMBER.

- 10) REMOVE TEMPORARY SHORING AFTER COMPLETING ALL STEEL REPAIRS. 11) IMPROPERLY WATERPROOFED EXISTING MASONRY WALL. EXCAVATE TO FOOTING AND INSTALL
- WATERPROOFING ON EXTERIOR OF WALL PER 1/S201. 12) PAINT ALL EXISTING AND NEW CMU WALLS WITH WHITE, LOW VOC, ACRYLIC PAINT.

REPAIRS AS FOLLOWS: ** ABANDONED BOLT REPAIRS PARTIAL DEPTH SLAB REPA FULL DEPTH REPAIRS	,	
FOLLOWS: **	F CMU WALL SPALL/DELAMINATION.	COMPLETE REPAIRS AS
REBUILD CMU WALL **	PER 3/S-201	
<u>SYMBOL X</u>	SYMBOL Y	<u>REPAIR DETAIL</u>
OC: ROUT/SEAL OPEN CRACKS ** TM: REPOINT CMU WALL JOINT **		8/S-200 3/S-201
* APPROXIMATE EXTENT OF DAMAGE E DETERMINING ACTUAL EXTENT AND I THE SPECIFICATIONS. AREAS SHOWN OF REPAIRS REQUIRED. DEPTH OF R 3" UNLESS NOTED OTHERWISE. WALL LEVEL AND LEVEL ABOVE UNLESS N	LOCATIONS OF REPAIR AREAS IN AC I ARE ONLY FOR REFERENCE AND T REPAIRS SHALL BE ASSUMED TO BE L, COLUMN AND PIPE DAMAGE OCCU	CORDANCE WITH O ILLUSTRATE TYPES A NOMINAL
** REPAIRS MUST MATCH COLOR AND A ON EXTERIOR SURFACES OF BUILDING		E/CMU IF THEY OCCUR
DRAWING SYMB	OL KEY	



- 7) CLEAN, PRIME, AND PAINT EXISTING W8 MEMBER. NOTIFY GPI IF EXCESSIVE SECTION LOSS
- 8) TRUNCATE TOP OF EXISTING INTERIOR CMU WALL TO PROVIDE ISOLATION FROM EXISTING W8 BEAM ABOVE. SEE 4/S201 FOR BRACING TO EXISTING BEAM.

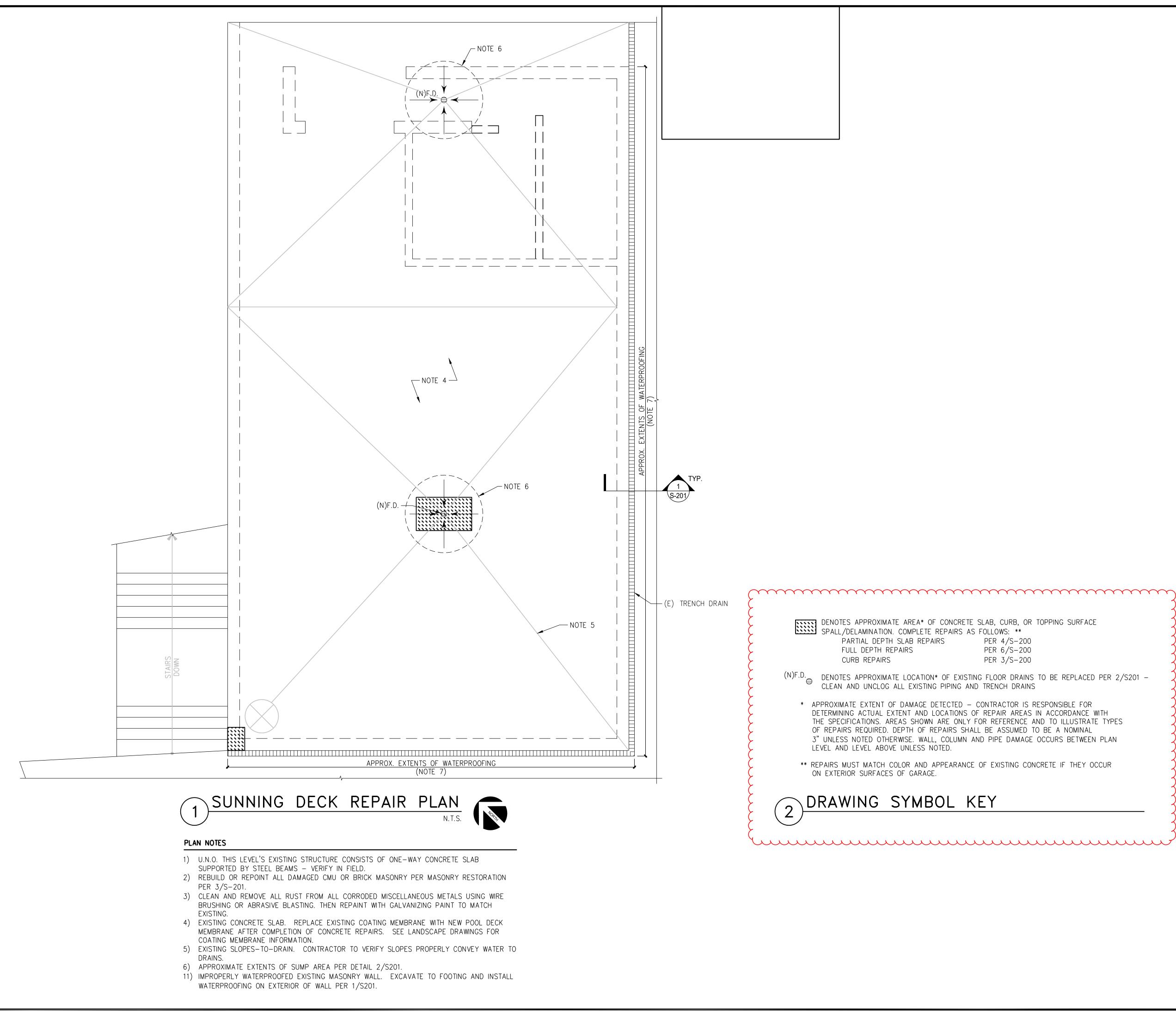
Page 27 of 42

9) NEW NON-LOAD BEARING CMU WALL. SEE 5/S-201 FOR TOP OF WALL BRACING.

IFB # 13-2	24
ADDENDUM	1

LSG LANDSCAPE ARCHITECTURE 8260 GREENSBORO DRIVE SUITE 325 TYSONS, VIRGINIA 22102 703-821-2045
Generation       State         Market State       State </td
ROCKVILLE SWIM
& FITNESS CENTER 355 MARTINS LANE ROCKVILLE, MD 20850
Get Into It DEPARTMENT OF RECREATION AND PARKS OUTDOOR
RECREATION POOL RENOVATIONS
355 MARTINS LANE CITY OF ROCKVILLE, MARYLAND PUMP ROOM REPAIR PLAN
1 ADDENDUM 1 3/29/2024
No. Description Date Revisions
Project Number:22.00036.00Scale:N.T.S.Drawn By:TFChecked By:TSSDate:10/26/2023
Sheet No. S-100

NFC

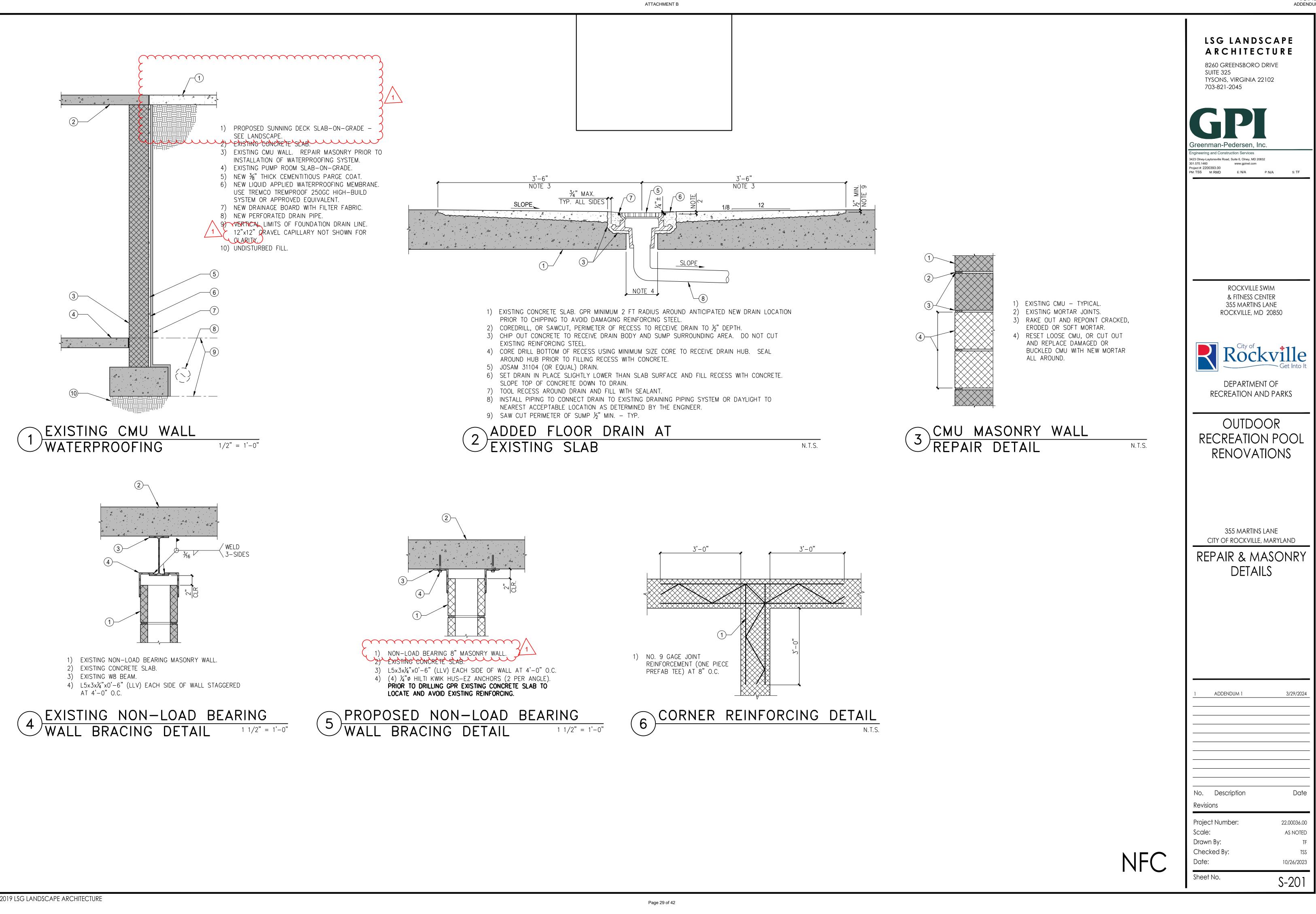


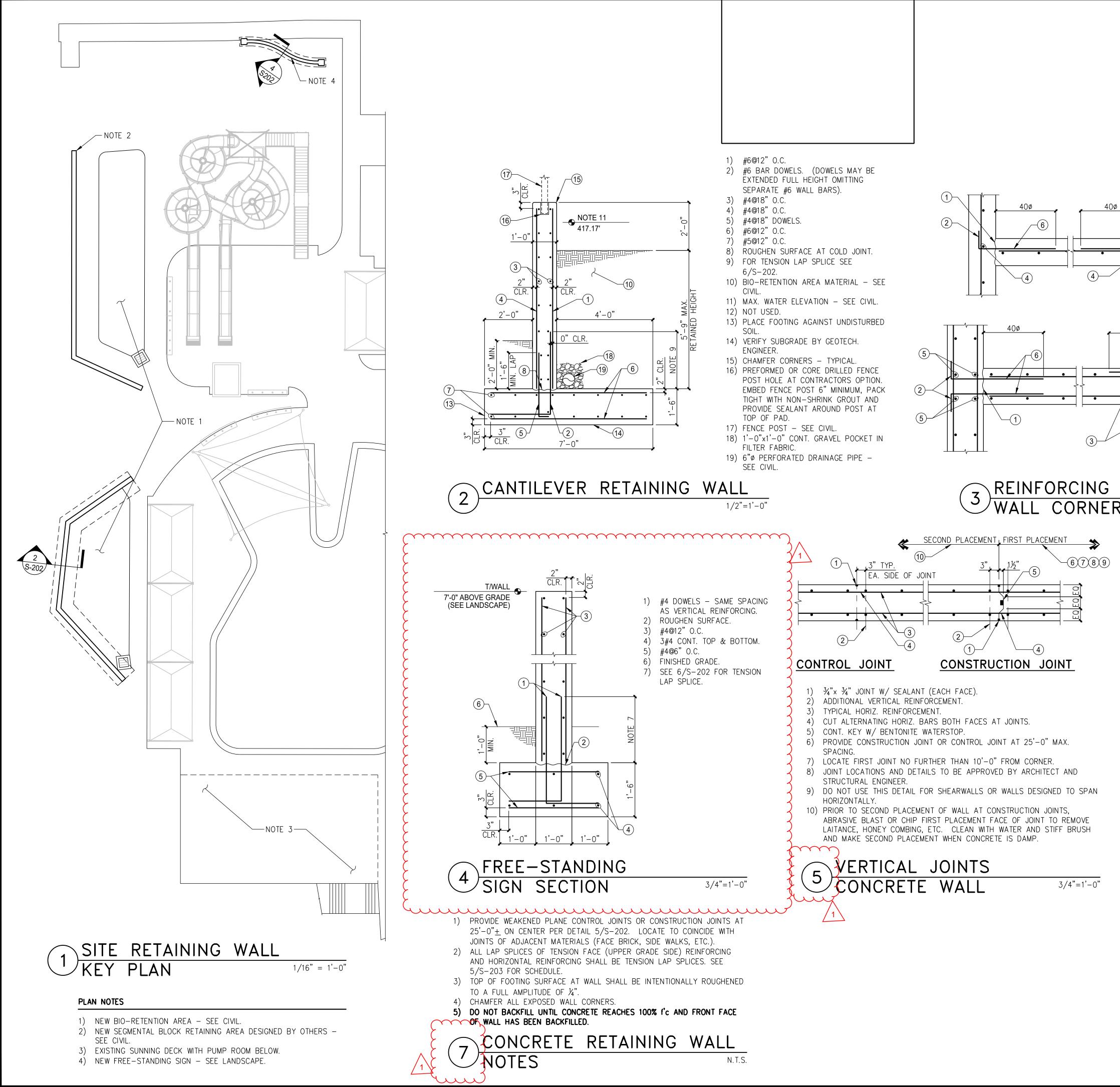
ATTACHMENT B

LSG LANDSCAPE ARCHITECTURE
8260 GREENSBORO DRIVE SUITE 325
TYSONS, VIRGINIA 22102 703-821-2045
Generation       Second structure         Market Structure       Market Structure         Market Structure       <
ROCKVILLE SWIM & FITNESS CENTER 355 MARTINS LANE ROCKVILLE, MD 20850
Rockville Get Into It
DEPARTMENT OF RECREATION AND PARKS
OUTDOOR RECREATION POOL
RENOVATIONS
355 MARTINS LANE CITY OF ROCKVILLE, MARYLAND
SUNNING DECK REPAIR PLAN
1 ADDENDUM 1 3/29/2024
No. Description Date
Revisions
Project Number: 22.00036.00 Scale: N.T.S. Drawn By: TF
Checked By: TSS Date: 10/26/2023
Sheet No. S-101

NFC

SURFACE	$\frac{1}{1}$
EPLACED PER 2/S201 –	
LE FOR DANCE WITH .USTRATE TYPES OMINAL	
BETWEEN PLAN THEY OCCUR	
	}









	LANDS HITEC		
8260 GR Suite 325	EENSBORO [ 5	ORIVE	
	VIRGINIA 22	2102	
G			
Greenman-Po			
Engineering and Constru 3423 Olney-Laytonsville Road	uction Services I, Suite 6, Olney, MD 2083		-
301.570.1460 Project #: 2200393.00 PM: TSS M: RMD	www.gpinet.com E: N/A	P:N/A S: TF	
	ROCKVILLE S	WIM	
	& FITNESS CEI 55 MARTINS		
RO	CKVILLE, MD	20850	
		cville Get Into It	
		Get Into It	
D	EPARTMEN	IT OF	
RECRI	EATION AN	ID PARKS	
KEP	IOVAT	ION2	
3.	55 MARTINS	LANE	
_	ROCKVILLE,		)
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uu	uu		
1 ADDEN		3/29/2024	
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No. Desci Revisions	ription	Date	
		00.0000	
Project Numł Scale:	Jel:	22.00036.00 AS NOTED	
Drawn By: Checked By:		TF TSS	
Date:		10/26/2023	
Sheet No.		S-202	
		J-ZUZ	

N.T.S.

NFC

6) DOWEL BARS SAME SIZE AND  
SPACING AS HORIZONTAL  
REINFORCING.  

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1) CLEAN AND ROUGHEN

SURFACE TYPICAL.

2) STANDARD 90° HOOK.

3) STANDARD 90° HOOK.

DIAM. MIN.).

TYPICAL.

5) 2 VERTICAL BARS –

40ø

6

(CORNER BARS MAY BE

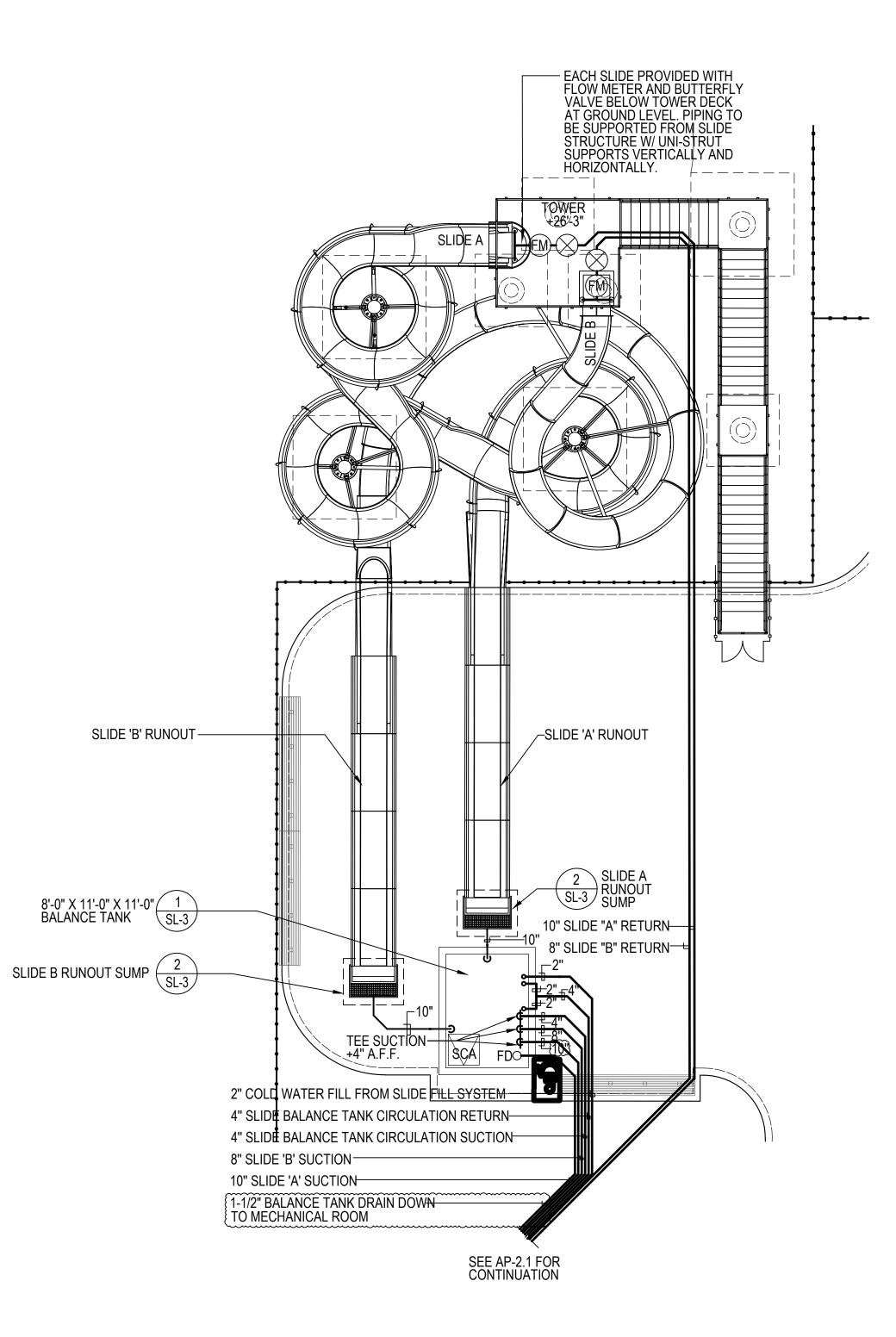
FOR EACH LAYER OF

SUBSTITUTED FOR 90°HOOKS

REINFORCING. LENGTH OF

EACH LEG TO BE 40 x BAR

4) 1 VERTICAL BAR - TYPICAL.



# SLIDE PLUMBING PLAN

ATTACHMENT B

### SLIDE DATA / CLASS D-3 SLIDE LENGTH: SLIDE HEIGHT:

SLIDE LENGTH: SLIDE A: 209.94 FT. (42" OPEN BODY SLIDE) SLIDE B: 144.468 FT. (32" ENCLOSED BODY SLIDE)

# SLIDE BALANCE TANK DATA

SLIDE 'A' BOOSTER PUMP	=	1,000 GPM
SLIDE 'B' BOOSTER PUMP	=	500 GPM
CIRCULATION PUMP RATE	=	130 GPM
TOTAL WATER FLOW	=	1,630 GPM
8'-0"x 11'-0"x 11'-0" DEEP BALANCE TANK	=	5,266 GAL.
60 MIN. TURNOVER	=	<u>88 GPM</u>
(PER ISPSC 604.2) PROPOSED TURN OVER	_	100 GPM
I NOI OSED TONN OVER	-	

SLIDE A & B: 26.25 FT.

SLIDE TOWER HEIGHT:

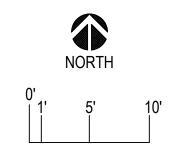
TO PLATFORM: 26.25 FT.

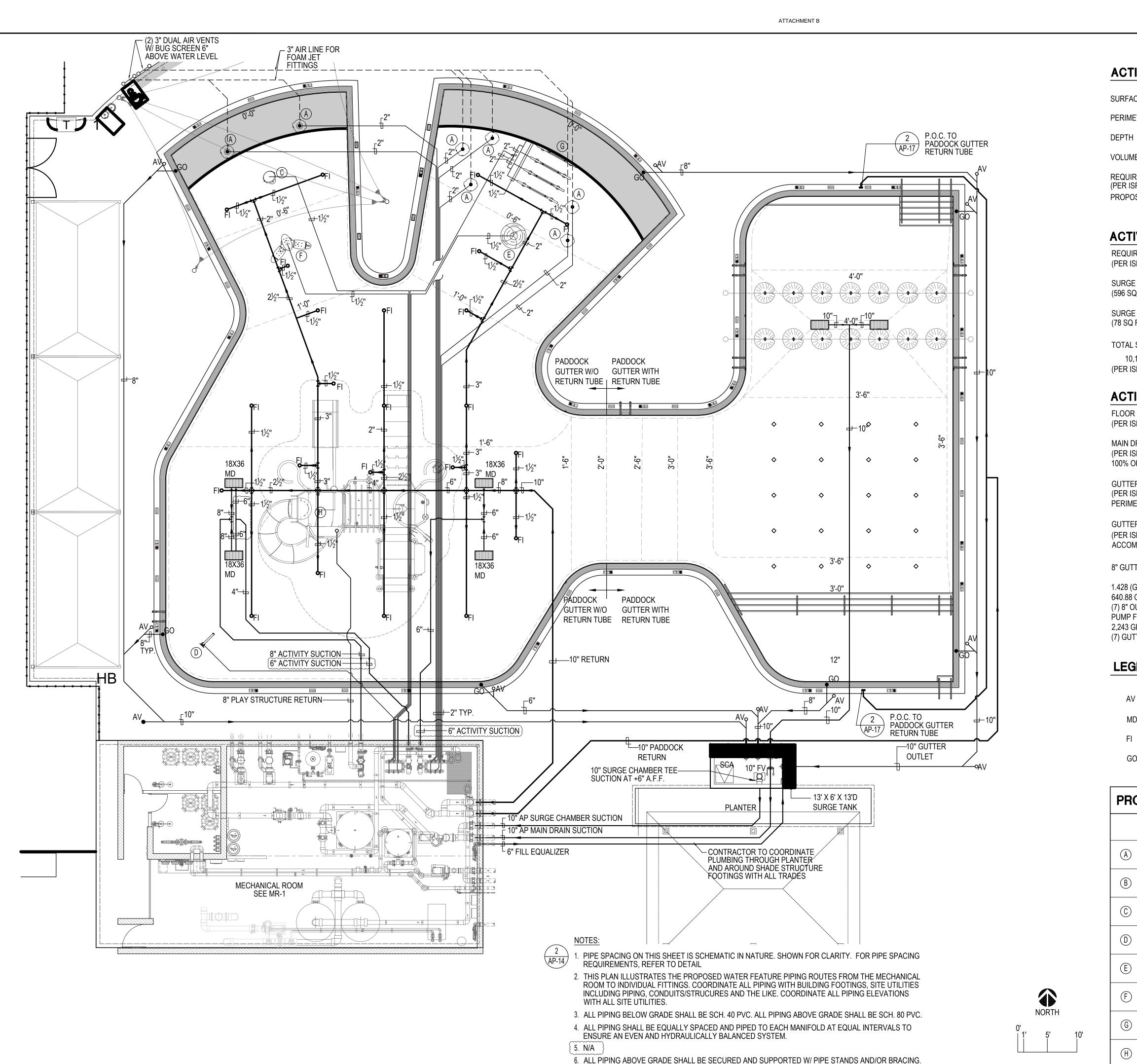
### **GENERAL NOTES**

1. ALL PIPES INTO SLIDE SUMPS SHALL EXTEND A MIN. 6" FROM SIDEWALL TO ALLOW FOR CAPPING OF PIPING FOR WINTERIZATION PROCEDURES. DURING WINTER THE PIPING TO BALANCE TANK SHALL BE CAPPED AND 4" DRAIN DOWN PIPING UNCAPPED. VISA VERSA DURING ON SEASON USAGE.

2. REFER TO SPLASHTACULAR PLANS FOR SLIDES, SUPPORTS AND TOWER, FOOTINGS AND REINFORCEMENT TYP.

LSG LANDSCAPE ARCHITECTURE
8260 GREENSBORO DRIVE SUITE 325
TYSONS, VIRGINIA 22102 703-821-2045
AQUATIC
DESIGN GROUP 2226 Faraday Ave. Carlsbad, CA 92008 AquaticDesignGroup.com 760.438.8400
OF MAR
PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR
APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. <u>20772</u>
ROCKVILLE SWIM & FITNESS CENTER
355 MARTINS LANE ROCKVILLE, MD 20850
Rockville Get Into It
DEPARTMENT OF RECREATION AND PARKS
OUTDOOR RECREATION POOL
RENOVATIONS
355 MARTINS LANE CITY OF ROCKVILLE, MARYLAND
SLIDE PLUMBING
PERMIT SET
1 ADDENDUM 1 2
3
No. Description Date
Revisions
Project Number:         22.00036.00           Scale:         1/8" = 1'-0"
Drawn By: AD, HW Checked By: AD
Date:         5/19/2023           Sheet No.         SL-2



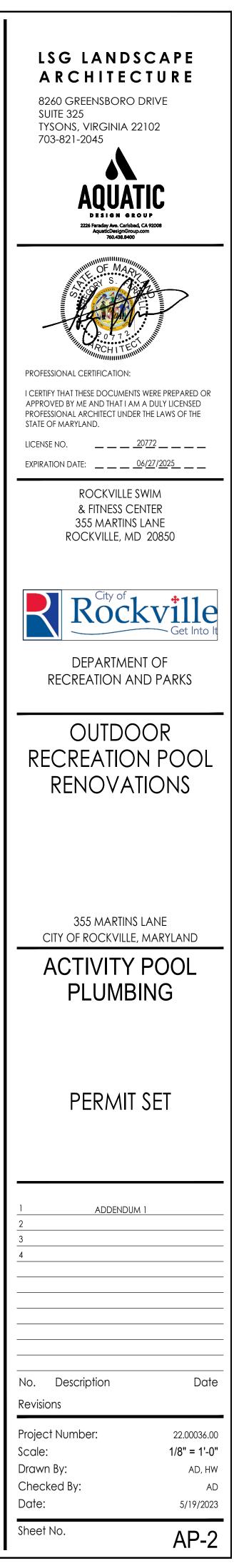


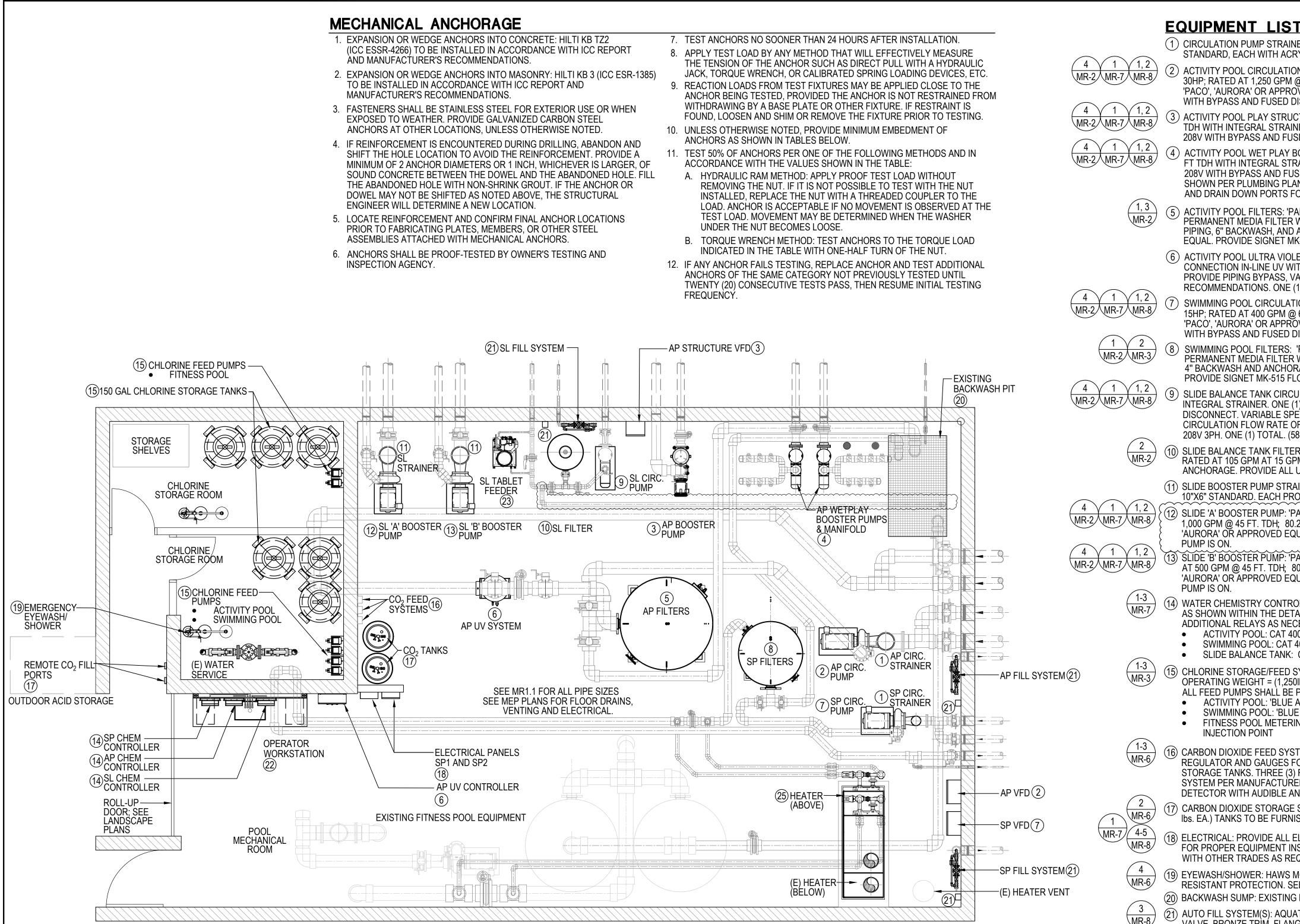
6. ALL PIPING ABOVE GRADE SHALL BE SECURED AND SUPPORTED W/ PIPE STANDS AND/OR BRACING.

ACTIVITY POOL PLUMBING PLAN

Page 32 of 42

RIMETI	AREA	=	9,762	SQ. FT.
	ER	=	617 FT	
PTH		=	0'-0" T	O 4'-0"
LUME		=	131,28	5 GAL.
	D 2 HR TURNOVER SC 604.2 / 2HR MIN)	=	1,095 (	GPM
	ED TURNOVER	=	1,200	GPM
CTIV	ITY POOL SURG	E DATA		
-	D SURGE CAPACITY SC 315.3 / 1 GAL PER SQ FT)	=	9,672	GAL.
-	N PERIMETER GUTTER T X 0.916' H X 7.48 GAL/CUBI	= C FT)	4,272	GAL.
	N SURGE CHAMBER - X 10' H X 7.48 GAL/CUBIC FT	)	5,834	GAL.
)TAL SI	JPPLIED SURGE	=	10,106	GAL.
'	6 GAL. > 9,762 GAL. SC 315.3 / 9,762 GAL. REQ.)			
CTIV	ITY POOL EQUIP	MENT DA	TA	
	ILETS PROVIDED SC 407.4.2 - 20 FT MIN SPACIN	= NG)	22	
ER ISPS	AIN FLOW CAPACITY PROVID SC 704.8 - MUST BE CAPABLE PUMP FLOW = 832 GPM)		2,080	GAL.
JTTER Er ISPS	DESIGN SC 315.4 - 50% OF POOL ER TO HAVE GUTTER)	=	100%	PROVIDED
JTTER Er ISPS	OUTLET FLOW PROVIDED SC 407.3.1 - GUTTER MUST	=	2,243	GAL.
	IODATE 125% OF SYSTEM FL	UVV) =	2,243	GAL.
0.88 GF 8" OU1 JMP FL( 243 GPI	L / CUBIC FT/SEC @ 1% SLO PM / 50% SAFETY FACTOR ILETS PROVIDED OW = 1,250 GPM X 125% M > 1,562 GPM ER OUTLETS MEET MINIMUM		= 640.88 GPM = 320.44 GPM PE = 2,243 GPM = 1,562 GPM W RATE W/ 50% S	
LGL			$\frown$	
AV	= A	IR VENT	4 AP-13	
	= N	IAIN DRAIN		$\begin{pmatrix} 1 \\ 1 \end{pmatrix}$
MD				AP-13
MD FI	= F	LOOR INLET	2 AP-13	
		LOOR INLET	AP-13	
FI GO			AP-13	
FI GO	= G		AP-13	
FI GO	= G DUCT LEGEND PRODUCT	OUTTER OUTLET	AP-13	
FI GO PRO	= G DUCT LEGEND PRODUCT CODE FOAM JET	OUTTER OUTLET	TOTAL FLOW (EA.)	3 AP-14
FI GO PRO	= G DUCT LEGEND PRODUCT CODE FOAM JET 'CRYSTAL FOUNTAINS' WM	O-104	TOTAL FLOW (EA.)	3 AP-14
FI GO PRO (A) (B)	= G DUCT LEGEND PRODUCT CODE FOAM JET 'CRYSTAL FOUNTAINS' WM NOT USED HOPPER	O-104	TOTAL FLOW (EA.) 40 GPM	3 AP-14 3 AP-20
FI GO PRO (A) (C)	= G	UTTER OUTLET	TOTAL FLOW (EA.) 40 GPM 10 GPM	3 AP-14 3 AP-20 1 AP-20 3
FI GO PRO (A) (C) (D)	= G	QTY QTY 0-104 7 9 1 9 1 5 1	TOTAL FLOW (EA.) 40 GPM 10 GPM 40 GPM	3 AP-14 3 AP-20 1 AP-18 3 AP-18 2
FI GO PRO (A) (B) (C) (D) (E)	= G	UTTER OUTLET	TOTAL FLOW (EA.) 40 GPM 10 GPM 40 GPM 14 GPM	3 AP-14 3 AP-20 1 AP-20 1 AP-18 3 AP-18 2 AP-17 2
FI GO PRO (A) (B) (C) (D) (E) (F)	= G	UTTER OUTLET	TOTAL FLOW (EA.) 40 GPM 10 GPM 40 GPM 14 GPM 10 GPM	3 AP-14 3 AP-20 1 AP-20 1 AP-18 3 AP-18 2 AP-17 2 AP-17 2 AP-18 2 AP-18 2

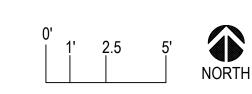




W	WEDGE OR EXPANSION ANCHOR EMBEDMENT DEPTH AND TEST LOAD						
0175	HILTI KB TZ 2 (SS) ANCHORS IN CONCRETE (ESR-4266) KB TZ 2 (SS) ANCHORS IN CMU (ESR-4561)						
SIZE	MIN. EMBED (heff)	TORQUE LOAD (FT-LBS)	MIN. EMBED (heff)	TORQUE LOAD (FT-LBS)			
1/4" DIA	. 1-1/2"	6	1-1/2"	6			
3/8" DIA	. 2-1/2"	30	2-1/2"	15			
1/2" DIA	. 3-1/4"	40	3-1/4"	25			
7/8" DIA	. 4"	60	4"	35			
3/4" DIA	. 4-3/4"	125	4-3/4"	50			

- 1. THE PIPING SYSTEM SHALL HAVE DIRECTION OF FLOW ARROWS INDICATED ON THE PIPES, VALVE TAGS AND COLOR CODED PIPE PER MONTGOMERY COUNTY DEPT. OF HEALTH AND HUMAN SERVICES.
- 2. PUBLIC POOLS SHALL HAVE A FLOW DIAGRAM OF THE POOL'S PIPING SYSTEM WITH OPERATION INSTRUCTIONS.
- THE FLOW DIAGRAM AND INSTRUCTIONS SHALL BE AVAILABLE ON THE PREMISES AT ALL TIME
- 4. ALL PIPING WITHIN THE MECHANICAL ROOM SHALL BE MOUNTED 80" AFF FLOOR. CONTRACTOR TO COORDINATE WITH ALL EQUIPMENT AND UTILITIES.
- MECHANICAL ROOM. PIPE HANGER SYSTEM SHALL BE SUSPENDED FROM ROOF STRUCTURE OR ENGINEERED SUB FRAME. CONTRACTOR TO PROVIDE ENGINEER SEALED SHOP DRAWINGS FOR ARCHITECT AND LOCAL AUTHORITY REVIEW. PLUMBING RETURNS FOR DRAINING AND BLOW DOWN OF PLUMBING DURING WINTERIZATION PROCESS.
- 5. POOL CONTRACTOR TO PROVIDE COMPLETE PIPE HANGER SUPPORT SYSTEM FOR ALL POOL PLUMBING WITHIN 6. ALL PLUMBING LINES SHALL BE PROVIDED WITH DRAIN DOWN PORTS AND VALVES AT THE LOWEST POINT OF ALL

### **GENERAL NOTES**



### MECHANICAL ROOM LAYOUT 1/4" = 1'-0"



MR-9

- ACTIVITY POOL: 'BLUE AND WHITE' A1N20X-7T 91GPD @ 100PSI, TWO (2) TOTAL
- INJECTION POINT
- Ibs. EA.) TANKS TO BE FURNISHED BY GAS SERVICE PROVIDER.
- RESISTANT PROTECTION. SEE MEP SHEETS FOR SUPPLY PIPING. TWO (2) TOTAL. (20) BACKWASH SUMP: EXISTING BACKWASH PIT WITH P-TRAP OUTLET TO STORM.
- OTHERS).
- SUPPLY PIPING.
- CERTIFIED. ONE (1) TOTAL.

- ALTERNATE INTAKE SYSTEM.
- BOTH HEATERS TO BE USED SIMULTANEOUSLY.
- PER THE MANUFACTURERS INSTALLATION REQUIREMENTS. PIPE HANGERS AND SUPPORT SYSTEMS FOR RELATED POOL PLUMBING AND ALL UTILITIES
- PER THE MANUFACTURERS GUIDELINES.

- **RECOMMENDATIONS. ONE (1) SYSTEM TOTAL.**
- PROVIDE SIGNET MK-515 FLOSENSOR WITH DIGITAL READ-OUT. ONE (1) SYSTEM TOTAL
- 208V 3PH. ONE (1) TOTAL. (58 lbs.)

- PUMP IS ON.
- PUMP IS ON.
- ADDITIONAL RELAYS AS NECESSARY
- ACTIVITY POOL: CAT 4000 COMPLETE SYSTEM CONTROL PACKAGE. SWIMMING POOL: CAT 4000 W/ COMPLETE SYSTEM CONTROL PACKAGE.



(1) CIRCULATION PUMP STRAINERS: 'MER-MADE' F.O. SERIES FRP REDUCING BASKET STRAINER: ONE (1) 10"x8" STANDARD. (1) 6"X5" STANDARD, EACH WITH ACRYLIC LIDS AND TWO (2) STAINLESS STEEL STRAINERS EA. (150lbs.)

ACTIVITY POOL CIRCULATION PUMP: 'PACO' #60123, 6"x8"x9-1/2" TYPE 'LC' END SUCTION CENTRIFUGAL PUMP; 1,750 RPM, 208V, 3PH; 30HP; RATED AT 1,250 GPM @ 60 FT. TDH; 80% EFFICIENT; PREMIUM EFFICIENCY TEFC MOTOR; EPOXY COAT ALL WET SURFACES. 'PACO', 'AURORA' OR APPROVED EQUAL. (425 lbs.) PROVIDE WITH ACUDRIVE #AD300X-2303-N4X VARIABLE SPEED DRIVE 30HP 208V WITH BYPASS AND FUSED DISCONNECT. COORDINATE MOUNTING LOCATION TO MAINTAIN DESIRED CLEARANCES

ACTIVITY POOL PLAY STRUCTURE BOOSTER PUMP: 'JANDY' #JCP15-3AT-S JCP SERIES; 15HP; 208V 3PH; RATED AT 708 GPM AT 60 FT TDH WITH INTEGRAL STRAINER. ONE (1) TOTAL. (249 lbs.) PROVIDE WITH ACUDRIVE #AD150X-2303-N4X VARIABLE SPEED DRIVE 15HP 208V WITH BYPASS AND FUSED DISCONNECT. ONE (1) TOTAL COORDINATE MOUNTING LOCATION TO MAINTAIN DESIRED CLEARANCES

4) ACTIVITY POOL WET PLAY BOOSTER PUMPS AND MANIFOLDS: 'JANDY' #JCP05-3AT-S JCP SERIES; 5HP; 208V 3PH; RATED AT 268 GPM AT 60 FT TDH WITH INTEGRAL STRAINER. TWO (2) TOTAL. (72 lbs.) PROVIDE WITH ACUDRIVE #AD050X-2303-N4X VARIABLE SPEED DRIVE 5HP 208V WITH BYPASS AND FUSED DISCONNECT. TWO (2) TOTAL. PROVIDE BOOSTER PUMP WITH 4" MANIFOLD TO WET PLAY FEATURES AS SHOWN PER PLUMBING PLAN. MANIFOLD TO BE PROVIDED W/ INDIVIDUAL ISOLATION BALL VALVES PER FEED LINE. PRESSURE GAUGE AND DRAIN DOWN PORTS FOR WINTERIZATION. ALL FEED LINES TO BE ROUTED AWAY FROM EXISTING FOOTINGS AS NECESSARY.

ACTIVITY POOL FILTERS: 'PADDOCK' #6730-V-3C VERTICAL 3 CELL STAINLESS STEEL FILTER WITH MANUAL FILTER CONTROL HI-RATE PERMANENT MEDIA FILTER WITH 99.6 SQ. FT. OF FILTER AREA RATED AT 1,494 GPM AT 15 GPM/SQ. FT. COMPLETE WITH 10" FACE PIPING, 6" BACKWASH, AND ANCHORAGE. PROVIDE ALL UTILITIES, PIPING, VALVING ETC. (7,400 lbs EACH TANK) PADDOCK, NO KNOWN EQUAL. PROVIDE SIGNET MK-515 FLOSENSOR WITH DIGITAL READ-OUT. ONE (1) SYSTEM TOTAL

(6) ACTIVITY POOL ULTRA VIOLET TREATMENT SYSTEM: 'EVOQUA' WAFER UV MODEL WF-225-8-N, VALIDATED AT 1,540 GPM, 8" FLANGED CONNECTION IN-LINE UV WITH TWO (2) LAMPS @ 1,500 WATTS, 208V 1PH. CONTROL UNIT: 208V 1PH, 23"x31"x12" DEEP. (121 lbs.). PROVIDE PIPING BYPASS, VALVING, ETS EZ VALVE STRAINER AND INSTALLATION AND PIPING PER MANUFACTURER'S

SWIMMING POOL CIRCULATION PUMP: 'PACO' #40129, 4"x5"x12" TYPE 'LC' END SUCTION CENTRIFUGAL PUMP; 1,750 RPM, 208V, 3PH; 15HP; RATED AT 400 GPM @ 60 FT. TDH; 74.55% EFFICIENT; PREMIUM EFFICIENCY TEFC MOTOR; EPOXY COAT ALL WET SURFACES. 'PACO', 'AURORA' OR APPROVED EQUAL. (425 lbs.) PROVIDE WITH ACUDRIVE #AD150X-2303-N4X VARIABLE SPEED DRIVE 15HP 208V WITH BYPASS AND FUSED DISCONNECT. COORDINATE MOUNTING LOCATION TO MAINTAIN DESIRED CLEARANCES

SWIMMING POOL FILTERS: 'PADDOCK' #6726-V-2C VERTICAL 2 CELL STAINLESS STEEL FILTER WITH MANUAL FILTER CONTROL HI-RATE PERMANENT MEDIA FILTER WITH 31.8 SQ. FT. OF FILTER AREA RATED AT 477 GPM AT 15 GPM/SQ. FT. COMPLETE WITH 6" FACE PIPING, 4" BACKWASH AND ANCHORAGE. PROVIDE ALL UTILITIES, PIPING, VALVING ETC. (7,400 lbs EACH TANK) PADDOCK NO KNOWN EQUAL.

SLIDE BALANCE TANK CIRCULATION PUMP: 'JANDY' #SHPF-2.0-3PH SH SERIES: 2HP; 208V 3PH; RATED AT 125 GPM AT 60 FT TDH WITH INTEGRAL STRAINER. ONE (1) TOTAL. PROVIDE WITH DANFOSS VARIABLE SPEED DRIVE 2HP 208V WITH BYPASS AND FUSED DISCONNECT. VARIABLE SPEED DRIVE SHALL BE PROVIDED WITH USER LOCKOUT. VFD TO BE PROGRAMMED WITH NORMAL CIRCULATION FLOW RATE OF 100 GPM. BACKWASH AND NIGHT TIME FLOW RATES SHALL BE SET TO NON-OPERATIONAL HOURS ONLY

(10) SLIDE BALANCE TANK FILTER: 'PENTAIR' TRITON #TR-140C-3 HI-RATE PERMANENT MEDIA FILTERS WITH 7.06 SQ. FT. OF FILTER AREA RATED AT 105 GPM AT 15 GPM/SQ. FT. COMPLETE WITH 3" MANIFOLD, 3" FLANGES AND VALVED TOGETHER, 3" BACKWASH, SEISMIC ANCHORAGE. PROVIDE ALL UTILITIES, PIPING, VALVING, ETC. ONE (1) TANK TOTAL. (1,007LBS.)

(11) SLIDE BOOSTER PUMP STRAINERS: 'MER-MADE' F.O. SERIES FRP REDUCING BASKET STRAINER: ONE (1) 8"x5" STANDARD AND ONE (1) 0"X6" STANDARD. EACH PROVIDED WITH ACRYLIC LID AND TWO (2) STAINLESS STEEL STRAINERS EA. (150lbs.) 2) SLIDE 'A' BOOSTER PUMP: 'PACO' #50123, 6"X5" TYPE 'LC' END SUCTION CENTRIFUGAL PUMP; 1,187 RPM, 208V, 3PH, 15HP, RATED AT

1.000 GPM @ 45 FT. TDH: 80.24% EFFICIENT; PREMIMUM EFFICIENCY TEFC MOTOR; EPOXY COAT ALL WET SURFACES. 'PACO', 'AURORA' OR APPROVED EQUAL. (600 lbs.) INTERCONNECT WITH CIRCULATION PUMP SO IT CAN ONLY OPERATE WHEN CIRCULATION

) SLIDE 'B' BOOSTER PUMP: 'PACO' #4012A, 4"x5"x12" TYPE 'LC' END SUCTION CENTRIFUGAL PUMP; 1,187 RPM, 208V, 3PH, 7.5HP, RATED AT 500 GPM @ 45 FT. TDH; 80.76% EFFICIENT; PREMIMUM EFFICIENCY TEFC MOTOR; EPOXY COAT ALL WET SURFACES. 'PACO', 'AURORA' OR APPROVED EQUAL. (600 lbs.) INTERCONNECT WITH CIRCULATION PUMP SO IT CAN ONLY OPERATE WHEN CIRCULATION

14) WATER CHEMISTRY CONTROLLER(S): (NO KNOWN EQUAL) POOL CONTRACTOR TO PROVIDE INTERLOCKS WITH ALL POOL EQUIPMENT AS SHOWN WITHIN THE DETAIL. CONTRACTOR TO COORDINATE WITH CHEMICAL CONTROLLER MANUFACTURER AND PROVIDE

SLIDE BALANCE TANK: CAT 4000 W/ COMPLETE SYSTEM CONTROL PACKAGE

(15) CHLORINE STORAGE/FEED SYSTEM: PROVIDE 'CHEM-TAINER' 150 GALLON #TC3448C; DUAL STORAGE/CONTAINMENT TANKS WITH LIDS, OPERATING WEIGHT = (1,250lbs). COMPLIES WITH FED. REG #40CFR-264-193. SIX (6) TOTAL. FEED PUMP(S) SHALL BE AS LISTED BELOW. ALL FEED PUMPS SHALL BE PROVIDED WITH FRP SHELF BRACKETS AND HARD PIPED TO POINT OF INJECTION.

SWIMMING POOL: 'BLUE AND WHITE' A1N10X-7T 52GPD @ 100PSI, TWO (2) TOTAL

FITNESS POOL METERING PUMPS: (EXISTING) TO BE RELOCATED TO NEW STORAGE ROOM AND PLUMBED TO EXISTING

(16) CARBON DIOXIDE FEED SYSTEMS: CO2 FLOW CONTROL UNITS WITH FLOW ADJUSTMENTS FROM 0-200 SCFH WITH PRESSURE REGULATOR AND GAUGES FOR UP TO 850 PSI NOMINAL CYLINDER PRESSURE AND 40 PSI OUTPUT TO CO<sub>2</sub> FEED UNIT FED FROM STORAGE TANKS. THREE (3) FEED SYSTEMS FURNISHED BY GAS SERVICE PROVIDER. CONTRACTOR TO CONNECT TO EACH POOL SYSTEM PER MANUFACTURERS REQUIREMENTS. PROVIDE WITHIN MECHANICAL ROOM HARD WIRED 'ANALOX' #API KIT CO2 DETECTOR WITH AUDIBLE AND VISUAL ALARMS, UL 1971 STANDARD LISTED, ONE (1) TOTAL

(17) CARBON DIOXIDE STORAGE SYSTEM: TWO (2) 750lb. STORAGE TANKS WITH REMOTE FILL PORTS (OPERATING WEIGHT = 680 LIQUID

(18) ELECTRICAL: PROVIDE ALL ELECTRICAL WIRING, CONDUIT, PANEL(S), STARTER/DISCONNECT INTERCONNECT(S) ETC. AS REQUIRED FOR PROPER EQUIPMENT INSTALLATION PER MANUFACTURERS RECOMMENDATIONS AND SHOP DRAWINGS. COORDINATE ALL WORK WITH OTHER TRADES AS REQUIRED. REFER TO ELEC. PLANS FOR ALL ADDITIONAL INFO.

(19) EYEWASH/SHOWER: HAWS MODEL #8309WC BARRIER FREE COMBINATION SHOWER AND EYE/FACE WASH WITH CORROSION

(21) AUTO FILL SYSTEM(S): AQUATIC CONTROLLER TECHNOLOGIES' ELS-810 FILL SYSTEM TO INCLUDE 2" BRONZE BODY SOLENOID CONTROL VALVE, BRONZE TRÌM, FLANGED GLOBE PATTERN, 24V SOLENOID WIRING SHALL BE WIRED TO WATER LEVEL CONTROLLER. PROVIDE 6" AIR GAP AT FILL POINT. THREE (3) TOTAL. CONNECTED TO SOURCE DOWN STREAM OF REDUCED PRESSURE BACKFLOW PREVENTOR (BY

(22) POOL OPERATOR WORKSTATION DESK: 'TOTAL LAB SOLUTIONS' EPOXY COUNTERTOP WITH DROP-IN SINK AND TWO (2) END CABINETS. FURNISH WITH WALL MOUNTED FIVE (5) FAUCETS 'BROEN BOSS' OR APPROVED EQUAL. SEE MEP PLANS FOR WATER

(23) SLIDE BALANCE TANK TABLET CHLORINE FEEDER / STORAGE: 'PPG' ACCU-TAB POWERBASE CHLORINATION UNIT MODEL 1030 WITH 67.2lbs/DAY OUTPUT, 30 lb. STORAGE. COMPLETE WITH PIPING, VALVING, VENTURI INJECTION AND 3/4 HP BOOSTER PUMP. NSF 50

(24) SWIMMING POOL HEATER: ADD ALTERNATE, 'LOCHINVAR' #CPN1262, 1,260,000 BTU INPUT, 2" GAS CONNECTION, 2-1/2" FLANGED WATER INFLUENT/EFFLUENT CONNECTIONS AND 12" INTAKE & EXHAUST WITH CATEGORY IV DOUBLE WALL VENTING WITH DRAIN TEES. ONE (1 TOTAL 954lbs.) AS PART OF THE ADD ALTERNATE THE CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS FOR THE PERMITTING AND INSTALLÁTION OF THE NEW HEATER AND MODIFICATION OF THE EXISTING GAS AND VENTING SYSTEM WHICH SHALL INCLUDE: LOCHINVAR STACKING SUPPORT RACK SYSTEM, 4" REINFORCED CONCRETE EQUIPMENT PAD AND ANCHORS. RACK TO BE POSITIONED OVER EXISTING POOL HEATER. CONTRACTOR MAY REPOSITION HEATERS AS NECESSARY ALL NEW NECESSARY PLUMBING FITTINGS VALVES, TEMPERATURE SENSORS, THERMOMETERS, PIPE HANGERS, ETC. FOR

CONNECTION OF THE NEW POOL HEATER TO THE NEW SWIMMING POOL CIRCULATION PLUMBING. THE MODIFICATIONS REQUIRED TO TIE THE NEW HEATER EXHAUST VENTING TO THE EXISTING ROOF VENT SYSTEM.

THE MODIFICATIONS REQUIRED TO TIE THE NEW HEATER INTAKE VENTING TO THE EXISTING ROOF INTAKE SYSTEM OR PROPOSE

 THE MODIFICATIONS REQUIRED TO THE EXISTING GAS SUPPLY PLUMBING AND REGULATOR SYSTEM WITHIN THE MECHANICAL ROOM TO PROVIDE THE NECESSARY GAS VOLUME TO EACH HEATER. THE GAS LINE MODIFICATIONS WILL NOT BE REQUIRED TO ALLOW

CONDUIT, FEEDER LINES, DISCONNECTS AND INTERLOCK CONNECTIONS TO THE CHEMICAL CONTROLLER AND ELECTRICAL PANEL

ALL MODIFICATIONS REQUIRED BY THE MANUFACTURER FOR A FULLY FUNCTIONING HEATING SYSTEM WITH START-UP AND TRAINING

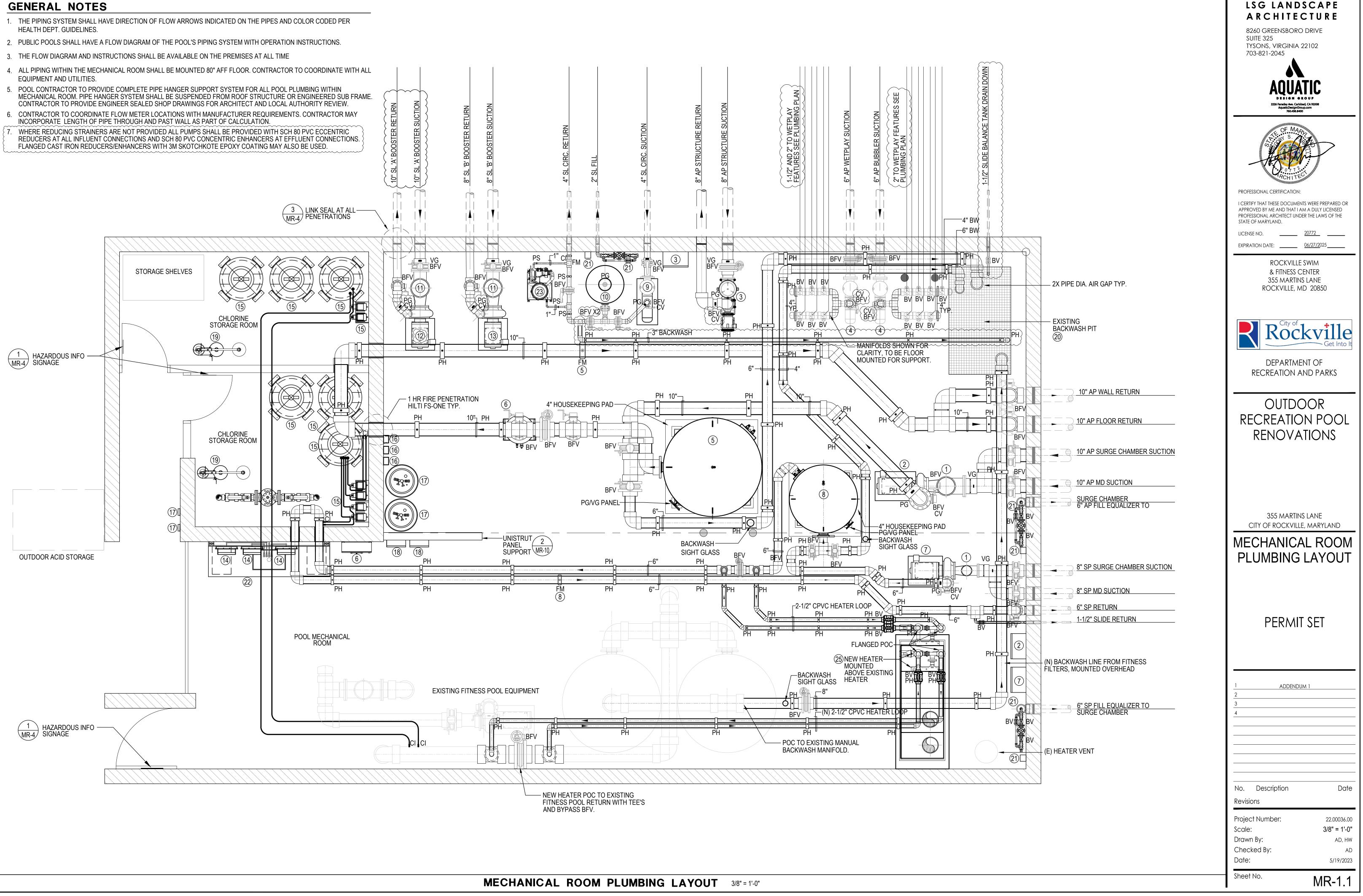
### **GENERAL NOTES**



- EQUIPMENT AND UTILITIES.

MECHANICAL ROOM. PIPE HANGER SYSTEM SHALL BE SUSPENDED FROM ROOF STRUCTURE OR ENGINEERED SUB FRAME. CONTRACTOR TO PROVIDE ENGINEER SEALED SHOP DRAWINGS FOR ARCHITECT AND LOCAL AUTHORITY REVIEW

- INCORPORATE LENGTH OF PIPE THROUGH AND PAST WALL AS PART OF CALCULATION.
- REDUCERS AT ALL INFLUENT CONNECTIONS AND SCH 80 PVC CONCENTRIC ENHANCERS AT EFFLUENT CONNECTIONS. FLANGED CAST IRON REDUCERS/ENHANCERS WITH 3M SKOTCHKOTE EPOXY COATING MAY ALSO BE USED.



ATTACHMENT B

# **ROCKVILLE SWIM & FITNESS CENTER OUTDOOR RECREATION POOL** RENOVATIONS

DEPARTMENT OF RECREATION AND PARKS

# BID DOCUMENTS



## **GENERAL NOTES:**

	GENERAL NOTES:				
1.	BUT NOT LIMITED TO, ALL OF THE DRA PRIOR TO THE INITIATION AND COMM AND/OR DISCREPANCY BETWEEN THE APPLICABLE CODES, REGULATIONS, I SOLE RESPONSIBILITY TO NOTIFY TH DISCREPANCY PRIOR TO THE START ARCHITECT SHALL CONSTITUTE CON COMPLETE THE SCOPE OF WORK AS	BILITY TO REVIEW ALL CONSTRUCTION CONTRA AWINGS AND SPECIFICATIONS ASSOCIATED W ENCEMENT OF CONSTRUCTION. SHOULD THE E DOCUMENTS RELATIVE TO THE SPECIFICATIO AWS, RULES, STATUTES AND/OR ORDINANCE E PROJECT ARCHITECT OF RECORD, IN WRITIN OF CONSTRUCTION. CONTRACTOR'S FAILURE TRACTOR'S FULL AND COMPLETE ACCEPTANC DEFINED BY THE DRAWINGS AND IN FULL COM WS, STATUTES, ORDINANCES AND CODES AND STS ASSOCIATED WITH SAME.	ITH THE PROJECT WORK SCOPE CONTRACTOR FIND A CONFLICT ONS OR THE RELATIVE OR S, IT IS THE CONTRACTOR'S NG, OF SAID CONFLICT AND/OR TO NOTIFY THE PROJECT SE OF ALL RESPONSIBILITY TO IPLIANCE WITH ALL FEDERAL,	11. 12. 13.	ALL IMPROVEMENTS S SUBJECT TO FINAL AP CITY OF ROCKVILLE AI ALL EQUIPMENT SERV MARCH – OCTOBER. ALL WORK SHALL CON STANDARDS OF CITY O APPLICATION. OBTAIN CODES AND STANDAR SUBCONSULTANTS DE
2.		RIOR TO THE START OF CONSTRUCTION. CON D PRIVATE UNDERGROUND UTILITIES, PIPES A			i. Montgomer ii. Montgomer iii. Code of Maf
3.		NOT LIMITED TO, RIGHTS-OF-WAY, EASEMENT OSED GRADING PROVIDED BY CLARK   AZAR &			MARYLAND RI iv. AMERICANS V MARYLAND A(
4.	DISCREPANCIES BETWEEN SITE FIEL ARCHITECT OF ANY DISCREPANCIES	ONSIBLE FOR VERIFYING EXISTING SITE CONE CONDITIONS AND STAKING PLAN PRIOR TO C PRIOR TO COMMENCEMENT OF WORK. CONTI CATION OF STAKING PLAN. CONTRACTOR SHA , AS DIRECTED BY ARCHITECT.	CONSTRUCTION. NOTIFY RACTOR IS RESPONSIBLE FOR		v. BUILDING COI vi. MECHANICAL vii. PLUMBING - 2 viii. ELECTRICAL - ix. GAS – 2015 IN
5.	ARCHITECT SHALL APPROVE STAKIN HOURS IN ADVANCE OF STAKEOUT.	G IN FIELD OF ALL WORK PRIOR TO CONSTRU	ICTION. NOTIFY ARCHITECT 72		x. SPRINKLER – xi. FIRE ALARM – xii. AMERICAN CO
6.		, CONTRACTOR IS RESPONSIBLE FOR VERIFYI ST TOP OF WALL ELEVATIONS, AS APPROVED B			xii. AMERICAN CC xiii. MARYLAND ST EDITION xiv. ENERGY EFFI
7.	ALERT ARCHITECT OF SUCH CONDIT	ION WHEN OBSTRUCTIONS AND/OR GRADE CO IONS IN WRITING. THE CONTRACTOR SHALL A DUE TO FAILURE TO GIVE SUCH NOTIFICATION	SSUME COMPLETE		xv. CITY OF ROCH xvi. CITY OF ROCH HTTPS://WWW
8.		S PLANS ARE PARALLEL AND PERPENDICULAF CES OF WALLS AND BACKS OF CURBS, UNLESS IGS.			xvii. CITY OF ROCH HTTPS://WWW xviii. CITY OF ROCH
9.	HORIZONTAL RELATIONSHIPS, MATER	OF DESIGN INTENT ONLY AND, AS SUCH, DEN RIALS AND FINISHES. SUBMIT SHOP DRAWINGS TURAL DESIGNS APPROPRIATE TO ENSURE DE	S FOR ARCHITECT'S REVIEW	14.	LATEST EDITIO xviij. 2021 INTERNA PERMIT NUMBERS ASS
10.	ORDERING/CONSTRUCTING. CONTRA	IGS, SAMPLES, AND MOCKUPS FOR REVIEW BY ACTOR SHALL BEAR RESPONSIBILITY FOR WOP AINING THE ARCHITECT'S APPROVAL. CONTRA	RK UNDERTAKEN AND/OR	15.	EQUIPMENT SERVING MARCH – OCTOBER.
	ASSOCIATED WITH REMEDIAL ACTION			16.	CONTRACTOR RESPO FOR FINAL DECISION ( LINE RELOCATION. NF
LS	NDSCAPE ARCHITECT SGLANDSCAPE RCHITECTURE	<u>CIVIL ENGINEER</u> Clark   Azar & Associates, inc.	RECREATIONAL POOL AQUATIC SPECIALIST AQUATIC DES GROUP, INC.		ADA COMPL UNIVER DESIGN CONSU

8260 GREENSBORO DRIVE SUITE 325 TYSONS, VA 22102 703-821-2045

20440 CENTURY BOULEVARD, SUITE 220 GERMANTOWN, MD 20874 204-912-3499

2226 FARADAY AVE. CARLSBAD, CA 92008 800.938.0542

301.442.6437



5300 WELLINGTON BRANCH DRIVE SUITE 100 GAINESVILLE, VA 20155 410.672.5990

530 GAITHER ROAD, SUITE 100 ROCKVILLE, MD 20850 240.268.1820

9501 FOXLAIR PLACE

GAITHERSBURG, MD 20882

301.717.1353

9501 FOXL GAITHERS 301.717.13

Page 35 of 42

<u>ן</u>	)	RA	WIN	IGS			
	ſ	SHE	ET #		DESCRIPTION	LSG LANDSCAPE ARCHITECTURE	
	g	74	AP-1		OOL LAYOUT	8260 GREENSBORO DRIVE	
~	E	75	AP-2		OOL PLUMBING	SUITE 325 TYSONS, VIRGINIA 22102	
	6	76	AP-2.1	OVERALL F	PLUMBING PLAN	703-821-2045	
	2	77	AP-3	ACTIVITY P	OOL SECTIONS		
	2	78	AP-4	ACTIVITY P	OOL SECTIONS		
	Ę,	79	AP-5	DETAILS			
	2	80	AP-6	DETAILS			$\sim$
	$\left\{ + \right\}$	81 82	AP-7 AP-8	DETAILS			<b>-</b>
	F	83	AP-9	DETAILS		PROFESSIONAL CERTIFICATION:	
	2	84	AP-10	DETAILS		I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARY AND	
	2	85	AP-11	DETAILS		PREPARED OR APPROVED BY ME,	
	Ę,	86	AP-12	DETAILS		AND THAT I AM A DULY LICENSED	
	2	87	AP-13	DETAILS		PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLANE	
	6	88 89	AP-14 AP-15	DETAILS		ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND	
	Ž	09 90	AP-15 AP-16	DETAILS		STATE OF MARYLANE	).
	5	91	AP-17	DETAILS		LICENSE NO. 4140	
_	6	92	AP-18	DETAILS		EXPIRATION DATE 11/13/2025	
	5	93	AP-19	DETAILS	4		2
	]ح	94	AP-20	DETAILS		ROCKVILLE SWIM & FITNESS CENTER	
	$\left  \right $	95	MR-1		CAL ROOM LAYOUT	355 MARTINS LANE	
	5	96	MR-1.1		CAL ROOM PLUMBING LAYOUT	ROCKVILLE, MD 20850	
$\sim$	$\left\{ \right\}$	97	MR-2 MR-3	DETAIL			
	8	98 99	MR-3 MR-4			City of 🚽 🔹 🛥	
	8-	100	MR-5	DETAIL		<b>R</b> ockville	1
	8	101	MR-6	DETAIL		Get Into I	t
	\$F	102	MR-7	DETAIL	-	DEPARTMENT OF	
د د	&[	103	MR-8	DETAIL		RECREATION AND PARKS	
	8	104	MR-9	DETAIL			
	8	105	MR-10	DETAIL		OUTDOOR	
	Źŀ	106	E001		PIONS AND SIMBOLS		
-		107 108	E002		DN SITE PLAN	RECREATION POOL	
	Źŀ	109	E003	SITE PLAN		RENOVATIONS	
	5	110	E005	SITE PLAN			
_	21	111	E006	POOL EQU	IPMENT ROOM DEMOLITION, POWER & LIGHTING PLANS		
	2[	112	E007	BATH HOU	SE & SNACK BAR DEMOLITION AND NEW WORK PLANS		
	3	113	E008	FITNESS PC	OL STORAGE ROOM DEMOLITION & NEW WORK PLANS		
	2 -	114	E009		SE RISER DIAGRAMS		
	Źŀ	115	E010 E011		R AND POOL EQUIPMENT ROOM RISER DIAGRAMS	355 MARTINS LANE	
	$\mathbf{z}$	117	E012	PANEL SCH		CITY OF ROCKVILLE, MARYLAND	
	21	118	E013	PANEL SCH		COVER SHEET	
	إ∖	119	P001	SPECIFICA	TIONS AND SYMBOLS		
_	3[	120	P002	SITE PLAN			
	2	121	P003	FLOOR PLA			
4	ノ	122	P004				
	F	123 124	M-001 M-101		TIONS, LEGEND, NOTES, ABBREVIATIONS & SCHEDULES		
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		N D B			<b>GREENMAN</b> -	Revisions	_
		EER			PEDERSEN, INC.	Project Number: 22.00036.0	)
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XLA	١R				530 GAITHER ROAD, SUIT 100	Drawn By: AD, HW, B	
RSE	BUF	RG, MD 2	0882		ROCKVILLE, MD 20850	Checked By: AI Date: 01/08/202-	
135	3				240.268.1820	Shoot No	
					Construction/Installation subject to	Sheet No. L001	

Construction/Installation subject to inspection by Fire Marshal. Schedule all fire inspections on-line through My Government On-line portal

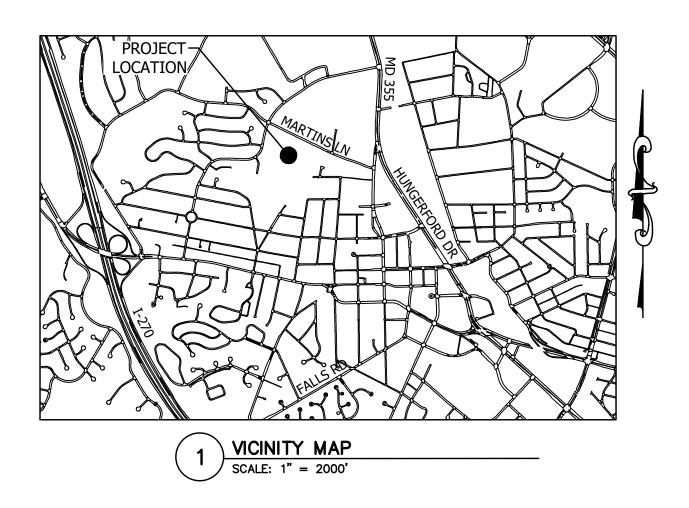
BID SET 02/23/2024

# ROCKVILLE SWIM AND FITNESS CENTER OUTDOOR RECREATION POOL RENOVATIONS

GENERAL NOTES

- 1. TOPOGRAPHY SURVEY PERFORMED BY KCW. DATED SEPTEMBER 2022 AND UPDATED JUNE 2023.
- 2. THE HORIZONTAL DATUM OF THIS SURVEY IS MARYLAND STATE PLANE (NAD83/91) 3. THE VERTICAL DATUM OF THIS SURVEY IS NAVD 88
- 4. THE LOCATION OF UNDERGROUND UTILITIES IS BASED ON AVAILABLE RECORDS. CONTRACTOR TO VERIFY IN FIELD.
- 5. THERE IS NO MAPPED FLOODPLAIN ASSOCIATED WITH THIS SITE PER FEMA FLOOD INSURANCE RATE MAP NUMBER 24031C0333D DATED SEPT. 29, 2006.
- 6. DETAIL DRAWINGS AND SCHEDULES DESCRIBE CONSTRUCTION AT GIVEN AREAS. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL UTILIZE EQUIVALENT CONSTRUCTION METHODS IN ALL AREAS NOT DETAILED.
- 7. ALL NOTES ON DRAWINGS SHALL BE ASSUMED AS TYPICAL, UNLESS OTHERWISE SHOWN OR NOTED ON THE DRAWINGS. 8. IT SHALL BE THE DUTY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS GIVEN ON THE DRAWINGS AND TO
- REPORT TO THE ENGINEER ANY ERROR OR INCONSISTENCY WITH THE ACTUAL CIRCUMSTANCES IN THE FIELD BEFORE COMMENCING
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ITEMS REQUIRED TO PROVIDE A SITE CLEAR OF OBSTRUCTIONS (ABOVE & BELOW GRADE) AND GRADED TO SPECIFIED ELEVATIONS. 10. ALL BIDDERS: THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIM/HERSELF WITH THE EXISTING CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED PRIOR TO SUBMITTING BID.
- 11. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL SITE SUB-CONTRACTORS/BIDDERS WITH FULL AND COMPLETE SETS OF ALL CIVIL DRAWINGS AND SPECIFICATIONS FOR THEIR USE IN PREPARING BIDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DELAYS AND COSTS ARISING DURING CONSTRUCTION FROM BIDS BASED UPON INCOMPLETE SETS OF SITE BID DOCUMENTS.
- 12. PRIOR TO VEGETATIVE STABILIZATION, ALL DISTURBED AREAS MUST BE TOPSOILED PER THE SPECIFICATION FOR TOPSOIL (SEE SHEET C-410) AND TECHNICAL SPECIFICATIONS. IF ON-SITE MATERIALS DO NOT MEET REQUIREMENTS OF TOPSOIL, COORDINATE WITH CITY OF ROCKVILLE REGARDING TILLING-IN OF CERTIFIED COMPOST TO ON-SITE SOILS IN ORDER TO MEET SPECIFICATION.
- 13. ANY DISCREPANCIES, OMISSIONS, AMBIGUITIES, OR CONFLICTS IN AND AMONG THE CONSTRUCTION DOCUMENTS OR DOUBT ABOUT THEIR MEANING, SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR DIRECTION BEFORE PROCEEDING WITH WORK. IF AMBIGUITIES EXIST, THE BETTER QUALITY AND GREATER QUANTITY OF WORK SHALL BE BID UPON AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE INDICATED BY THE OWNER IN WRITING.
- 14. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL TRADE PERMITS AND PAY FEES ASSOCIATED WITH SAID PERMITS. CITY OF ROCKVILLE PERMIT FEES WILL BE WAIVED
- 15. ALL WORK ASSOCIATED WITH THE CITY OF ROCKVILLE PUBLIC WORKS PERMIT SHALL BE PERFORMED BY A WSSC LICENSED CONTRACTOR IN ACCORDANCE WITH WSSC REGULATIONS.
- 16. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH WASHINGTON GAS FOR FINAL DECISION ON GAS LINE MOVEMENT. BASE BID SHALL INCLUDE ANY FEES ASSOCIATED WITH THE GAS LINE RELOCATION
- 17. CLARK | AZAR & ASSOCIATES WILL RELEASE CAD BASE FILES OF THE SITE CIVIL DRAWINGS TO THE SUCCESSFUL CONTRACTOR WITHOUT FEE AFTER A RELEASE IS SIGNED. NO CAD FILES WILL BE RELEASED PRIOR TO AWARD OF CONTRACT.

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.



### **GENERAL COMMENTS**

1. All work performed, whether detailed on the approved plans or not, shall comply with all applicable codes, ordinances and referenced standards as adopted and amended by the City of Rockville and the State of Maryland.

2. This construction must comply with all applicable provisions outlined in the Maryland State Accessibility Code.

3. Any changes to the "APPROVED PLANS" shall be submitted to and approved by this Division prior to the change being made in the field.

4. Review all comments prior to scheduling an inspection.

5. Approved plans MUST be on-site for all inspections. INSPECTIONS WILL NOT BE PERFORMED WITHOUT THE APPROVED PLANS PRESENT. Permits must be posted where visible from the street or front entrance.

6. Field inspections shall determine code compliance. Any omissions or errors on the approved plans do not constitute approval of non-compliant installations. 7. The approval of these drawings does not allow the installation of the required/non-required

fire protection system. OBTAIN A SEPARATE FIRE ALARM and SPRINKLER PERMIT.

### Refer to trade-specific drawings for trade-specific comments.

No further items found at this time; any future findings will require proper resolution to code conformance.

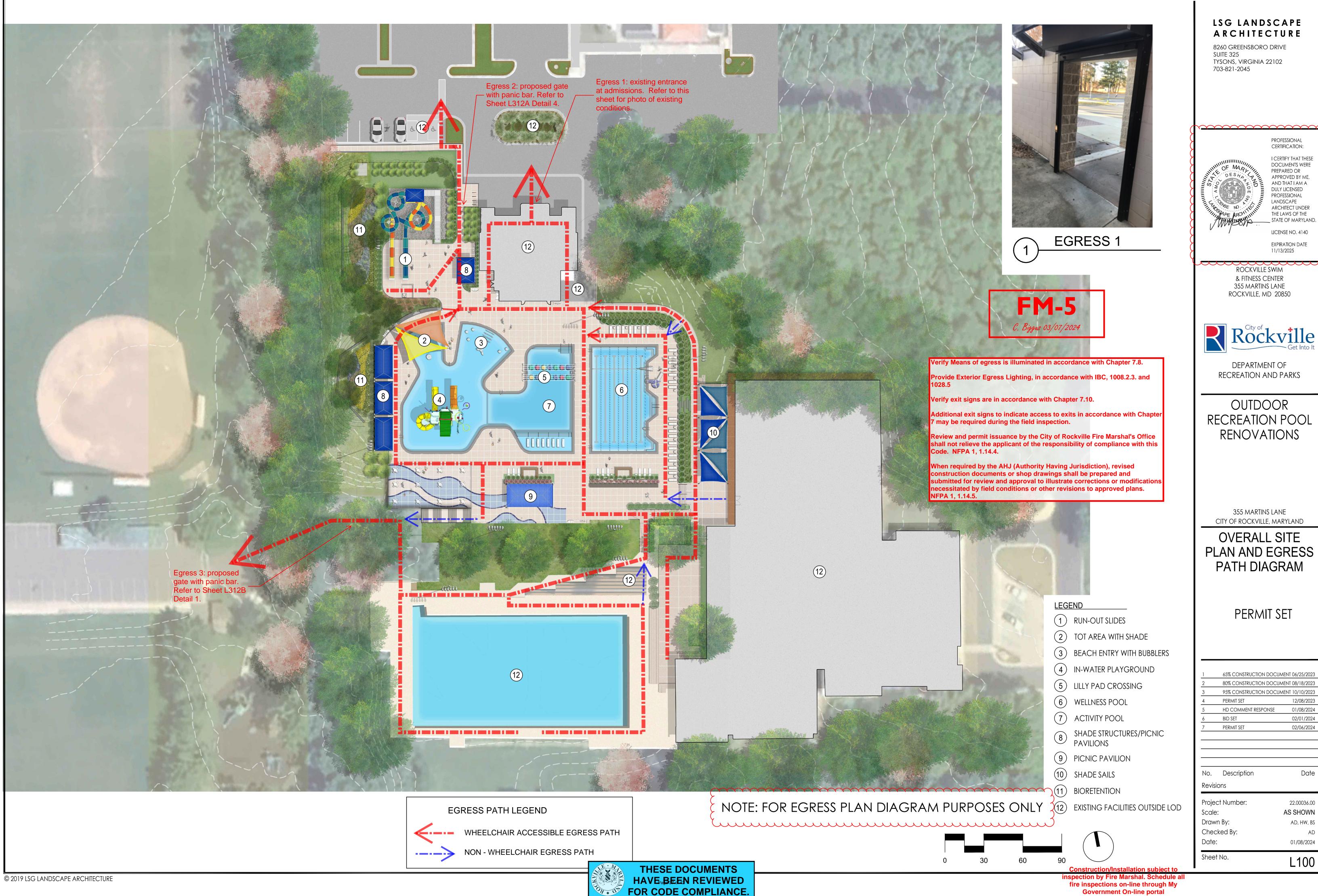
Other agency approvals may be required prior to the final inspections and or occupancy of this structure



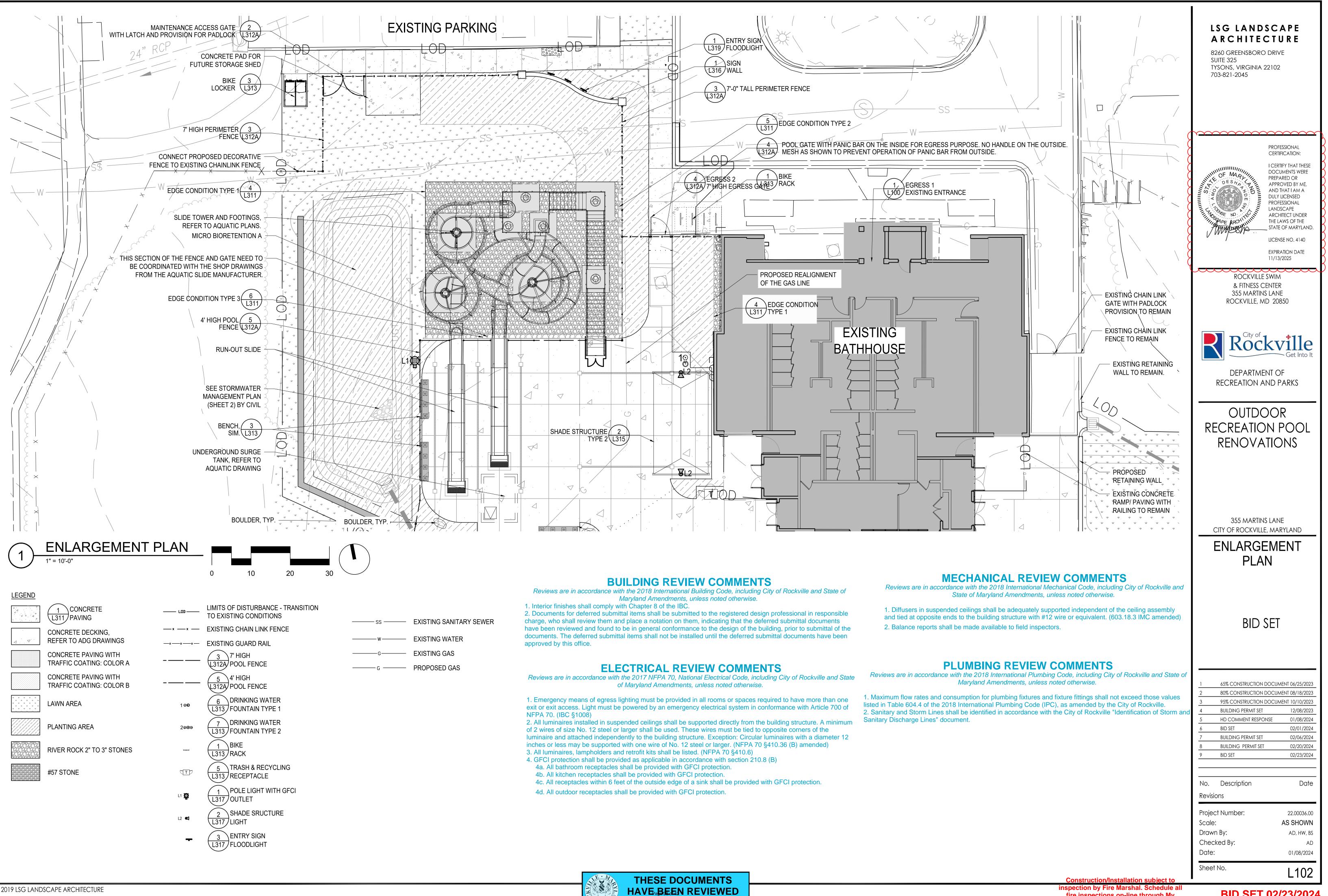
<b>A R C H I T E C T U R E</b> 8260 GREENSBORO DRIVE
SUITE 325 TYSONS, VIRGINIA 22102 703-821-2045
CLARK   AZAR & ASSOCIATES 20440 Century Blvd, Suite 220
Germantown, MD. 20874 T(301) 528-2010 www.clarkazar.com
A Woman Owned Small Business
PROFESSIONAL CERTIFICATION: I CERTIFICATION: I CERTIFICAT
ROCKVILLE SWIM & FITNESS CENTER 355 MARTINS LANE
ROCKVILLE, MD 20850
City of _
Rockville Get Into It
DEPARTMENT OF
RECREATION AND PARKS
OUTDOOR
RECREATION POOL
RENOVATIONS
CITY OF ROCKVILLE, MARYLAND
CITY OF ROCKVILLE, MARYLAND
CIVIL COVER SHEET
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CIVIL COVER SHEET         PERMIT SET         1       65% CONSTRUCTION DOCUMENT 06/25/2023         2       80% CONSTRUCTION DOCUMENT 08/18/2023         3       95% CONSTRUCTION DOCUMENT 08/18/2023         4       PERMIT SET         12/08/2023         4       PERMIT SET         12/08/2023         No.       Description         Date         Revisions         Project Number:       22.00036.00         Scale:       1" = 2000'         Drawn By:       st
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Construction/Installation subject to inspection by Fire Marshal. Schedule all fire inspections on-line through My **Government On-line portal** 

# **BID SET 02/23/2024**







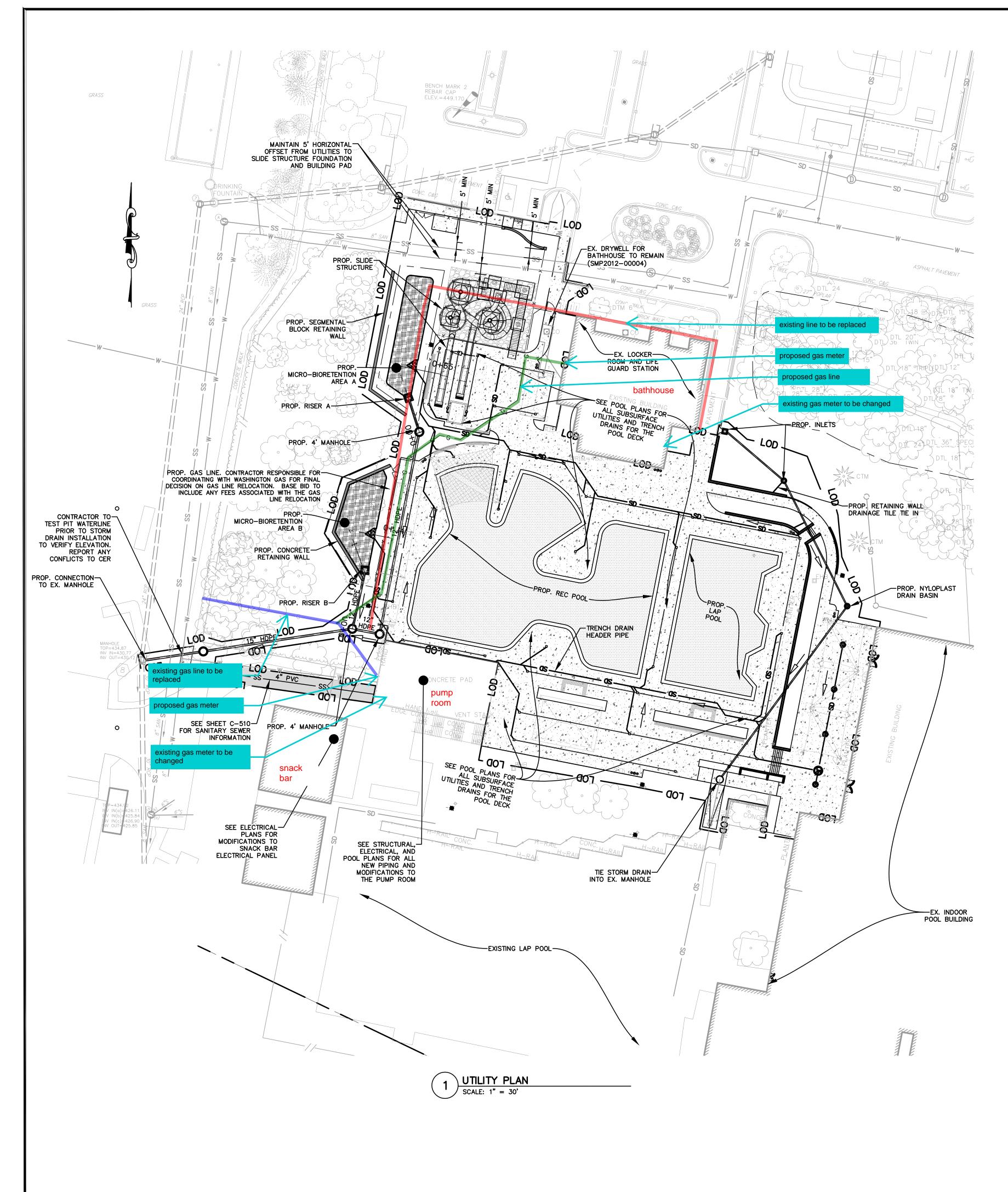


FOR CODE COMPLIANCE.

### IFB # 13-24 ADDENDUM 1

fire inspections on-line through My Government On-line portal

**BID SET 02/23/2024** 



LSG LANDS ARCHITEC	_
8260 GREENSBORO D	
SUITE 325 TYSONS, VIRGINIA 22	102
703-821-2045	
CLARK   AZAR & AS	
20440 Century Blvd, S Germantown, MD. 2	20874
T(301) 528-201 www.clarkazar.c	om
A Woman Owned Smal	Business
ROCKVILLE SV	A/IA A
& FITNESS CEN	ITER
355 MARTINS L ROCKVILLE, MD	
City of	
Rock	ville
	Get Into It
DEPARTMEN	T OF
RECREATION AN	d parks
OUTDO	
RECREATION	I POOL
RENOVAT	IONS
CITY OF ROCKVILLE, 1	
UTILITY PI	_AN
PERMIT	Set
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2 80% CONSTRUCTION DO	CUMENT 08/18/2023
3         95% CONSTRUCTION DO           4         PERMIT SET	CUMENT 10/10/2023 12/08/2023
No. Description	Date
Revisions	
Project Number:	22.00036.00
Scale:	1'' = 30'
Drawn By: Checked By:	SL JA
Date:	02/08/2024
Sheet No.	C-500

See IFB 13-24 Addendum 1 Clarification 3 for more information.



### ATTACHMENT D INVITATION FOR BIDS #13-24 SECTION V: BID PRICING FORMS/BID PACKET

### OUTDOOR RECREATION POOL RENOVATIONS THIS FORM MUST BE COMPLETED AND INCLUDED WITH THE BID SUBMITTAL FAILURE TO SUBMIT THIS FORM SHALL DEEM THE BIDDER NON-RESPONSIVE

IN ACCORDANCE WITH ALL TERMS, SPECIFICATIONS AND REQUIREMENTS, WE PROPOSE TO FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES AND THE PERFORMANCE OF ALL WORK NECESSARY FOR THE PROJECT. PROVIDE PRICING BELOW TO INCLUDE OVERHEAD, PROFIT, TAXES, INSURANCE AND OTHER APPLICABLE FEES AND COSTS. ALTERATIONS TO THIS FORM OR BID ALTERNATES (UNLESS OTHERWISE SPECIFIED) ARE NOT ACCEPTABLE. LINE ITEMS LEFT BLANK OR MARKED "\$0" SHALL DEEM THIS BID NON-RESPONSIVE.

Bid Item No.	Description	Qty.	Unit	Unit Bid Price	Total Bid Price
1	GENERAL CONDITIONS	1	LS	Subtotal:	
2	DEMOLITION (SITE AND SELECTIVE)	1	LS	Subtotal:	
3	EARTHWORK: SITE CLEARING & EARTHMOVING	1	LS	Subtotal:	
4	MASONRY	1	LS	Subtotal:	
5	METALS	1	LS	Subtotal:	
6	THERMAL & MOISTURE	1	LS	Subtotal:	
7	HIGH-PERFORMANCE COATINGS	1	LS	Subtotal:	
8	DOORS & WINDOWS	1	LS	Subtotal:	
9	ENTRY SIGN FINISHES: LOGO, LETTERS, MOSAIC TILE	1	LS	Subtotal:	
10	EXTERIOR STRUCTURES – TENSILE, PAVILION, STORAGE, ETC.	1	LS	Subtotal:	
11	PLUMBING	1	LS	Subtotal:	
12	MECHANICAL	1	LS	Subtotal:	
13	ELECTRICAL: SPORTS LIGHITNG	1	LS	Subtotal:	
14	ELECTRICAL: ALL OTHER SITE LIGHTING, WIRING	1	LS	Subtotal:	
15	EXTERIOR IMPROVEMENTS: VERTICAL CONCRETE	1	LS	Subtotal:	
16	EXTERIOR IMPROVEMENTS: HORIZONTAL CONCRETE	1	LS	Subtotal:	
17	EXTERIOR IMPROVEMENTS: FENCE AND GATES	1	LS	Subtotal:	
18	EXTERIOR IMPROVEMENTS: SITE FURNISHINGS	1	LS	Subtotal:	
19	EXTERIOR IMPROVEMENTS: OTHER	1	LS	Subtotal:	
20	SITE UTILITIES	1	LS	Subtotal:	
21	SPECIAL CONSTRUCTION: POOL EXCAVATION	1	LS	Subtotal:	
22	SPECIAL CONSTRUCTION: POOL CONCRETE	1	LS	Subtotal:	
23	SPECIAL CONSTRUCTION: POOL SHOTCRETE	1	LS	Subtotal:	
24	SPECIAL CONSTRUCTION: POOL CERAMIC TILE	1	LS	Subtotal:	
25	SPECIAL CONSTRUCTION: POOL PLASTER	1	LS	Subtotal:	
26	SPECIAL CONSTRUCTION: POOL EQUIPMENT	1	LS	Subtotal:	
27	SPECIAL CONSTRUCTION: POOL MECHANICAL	1	LS	Subtotal:	
28	SPECIAL CONSTRUCTION: POOL ELECTRICAL	1	LS	Subtotal:	
29	SPECIAL CONSTRUCTION: POOL WATER SLIDE	1	LS	Subtotal:	
30	SPECIAL CONSTRUCTION: POOL PLAY EQUIPMENT	1	LS	Subtotal:	
31	GAS RELOCATION ALLOWANCE (ADDENDUM NO. 1)	1	LS	Subtotal:	\$60,000
	Base Bid Grand Total (Bid items 1	throug	h 31.)		

### ATTACHMENT D

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	UNIT RATES (Not Part of Base Bid Grand Total)						
U-1	EXCAVATION & REMOVE –SOIL	1	CY	Unit Rate:			
U-2	EXCAVATION & REMOVE – ROCK REMOVAL	1	CY	Unit Rate:			
U-3	EXCAVATION & REMOVE – CONCRETE	1	CY	Unit Rate:			
U-4	IMPORTED FILL	1	CY	Unit Rate:			
U-5	ADDITIONAL CONCRETE	1	SF	Unit Rate:			

### GRAND TOTAL IN WORDS

### EXCEPTIONS

All exceptions taken to the specifications contained in this document must be clearly indicated in the space provided below. Unless noted as an exception, the bidder will be held responsible for providing each component or standard called for.

The City Manager for the City of Rockville, Maryland retains the exclusive right to approve or reject any exception taken to the specifications contained in this bid. It is hereby agreed that if this bid is rejected due to an exception taken to a specification by the bidder, the rejection taken will be final and no further action may be taken.

Do you claim an exception to any specification to this bid? If yes, please explain.

### Add / Deduct Alternates

Bid Item		Estimated			
No.	Description	Quantity	Unit	Unit Bid Price	Total Bid Price
A-1	ADD 2ND FLOATING LILY PAD COURSE ASSEMBLY TO ACTIVITY POOL (SEE AQUATIC SET SHEET AP-1)	1	LS	Subtotal:	
A-2	ADD SMALL SEMI-COMMERCIAL WATER SLIDE TO WELLNESS POOL (SEE AQUATIC SET SHEET SP-1)	1	LS	Subtotal:	
A-3	ADD NEW PLASTER "WHITE" COAT TO THE FITNESS POOL	1	LS	Subtotal:	
	UNIT RATES for A-3 (Not Part of Base Bid Grand Tota	al)			
A-3a	Spot Removal of Hollow Plaster Areas (in excess of 500 SF)	1	SF	Subtotal:	
A-3b	Pool Floor / Wall Crack Repair (in excess of 400 LF)	1	LF	Subtotal:	
A-4	ADD THERMAL POOL COVER AND REELS FOR WELLNESS POOL	1	LS	Subtotal:	
A-5	ADD ATHLETIC LIGHTING AND PUBLIC ADDRESS SYSTEM AROUND FITNESS POOL (SEE ELECTRICAL SET E005)	1	LS	Subtotal:	
A-6	ADD WATER HEATER FOR WELLNESS POOL (SEE AQUATIC SET SHEET MR-1)	1	LS	Subtotal:	
A-7	ADD POOL AREA FURNISHINGS (SEE APPENDIX B: SITE FURNISHING ADD ALTERNATE PRODUCT LISTING)	1	LS	Subtotal:	
D-1	DEDUCT SIGN WALL & REPLACE WITH FENCE (ADDENDUM NO. 1)	1	LS	Subtotal	
	Grand Total Add/Deduct Alternates (Bid Items A-1	through A-7 a	nd D-1)		
		-		1	

Note The drawing references provided above are for convenience only. The bidder is responsible for full coordination with other areas of the plans/drawings whether expressly mentioned or not.

**<u>ADDENDUM</u>** In the event that any addenda to this solicitation are issued, all solicitation terms and conditions will retain in effect unless they are specifically changed in the addendum. It is the responsibility of the bidder to make inquiry as to addenda issued. Oral answers to questions relative to interpretation of specifications or the proposal process will not be binding on the City.

Such addendums, if issued, will posted via the city's designated electronic, software solution:

### https://contracts.rockvillemd.gov/gateway/Default.aspx

Please note, that it is the bidder's responsibility to check this site frequently for Addendums, which may impact pricing, this document's requirements, terms and/or conditions. Failure to acknowledge an addendum on the bid proposal form or to sign and return an Addendum with your response may result in disqualification of proposal.

Acknowledgment is hereby made of the following Addenda (identified by number) received since the issuance of this bid:

Addendum #	_Date	Addendum #	Date
Addendum #	_Date	Addendum #	Date

### **CONTRACT DURATION**

Contractor shall begin the project within ten (10) calendar days following issuance of a City of Rockville Purchase Order (Notice to Proceed). All work shall be completed within 12 months (365 consecutive calendar days). Important note: Substantial completion of the project must be made prior to 05/01/2025, and all inspections required for operations and occupancy must be successfully obtained no later than 05/16/2025. The time allotted for the work is of the essence. It is possible that the City may issue a Limited Notice to Proceed (LNTP) to allow for coordination, field measuring, shop drawing review/approval, submission of work plan and ordering long lead time components. The recreation pool will be available for construction activities to begin on site starting 08/19/2024.

Liquidated damages shall be assessed at One Thousand Seven Hundred Dollars (\$1,700) per day for each calendar day the work exceeds beyond the specified time allotted, commencing on 05/16/2025 should occupancy and operations permits not be received from the authorities having jurisdiction as described in the paragraph above.

Confirm your ability to meet the above schedule. YES NO

### This bid and its Firm Fixed Prices shall remain valid through October 31, 2024 for acceptance by the City.

The City of Rockville reserves the right to reject any or all bids, offer or proposals, to waive informalities, and to accept all or any part of any bid, offer proposal as they may deem to be in the best interest of the City of Rockville.

I hereby certify that I have read and understand the requirements of this Invitation for Bid No. 13-24 and, that I, as the Bidder, will comply with all requirements, and that I am duly authorized to execute this proposal/offer document and any contract(s) and/or other transactions required by award of this Invitation For Bid.